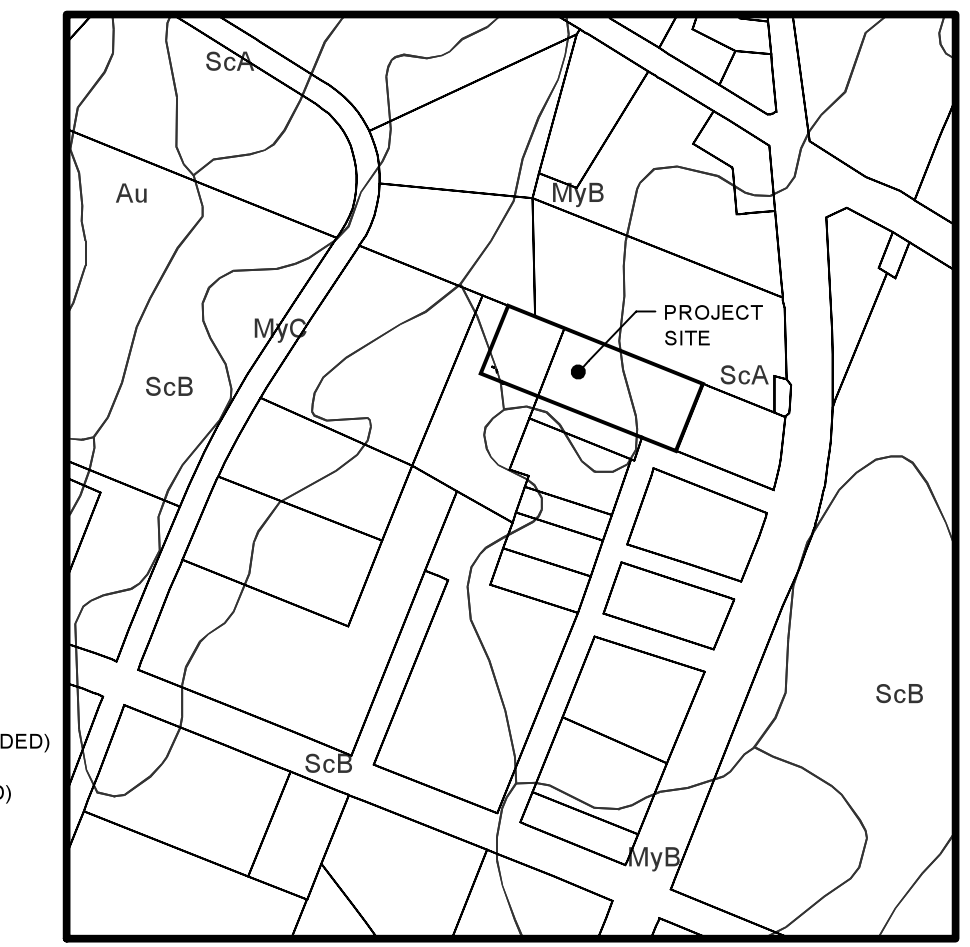


LOCATION MAP (WITH ZONING)
NOT TO SCALE



SOIL MAP
SCALE: 1" = 500'

PARCEL DATA

PARCEL NUMBERS:
08-103-007-001

TOTAL PROJECT AREA: 2.34 ACRES (WRIGHT AVE R.O.W. EXCLUDED)

ZONING DISTRICT: TAFT CORNERS ZONING DISTRICT (TCZD)

MINIMUM LOT AREA: NONE

MINIMUM LOT FRONTAGE: NONE

FRONT SETBACK: NONE

MAX. BUILDING HEIGHT: 36 FEET

PROPOSED DESIGN ELEMENTS TO MEET WBD 41.5.3:

41.5.3.1 ... MULTIPLE USES, CONTAINING A COMBINATION OF ONE RETAIL USE AND AT LEAST ONE OF THE FOLLOWING: RETAIL, OFFICE OR RESIDENTIAL USES ON THE SAME PROPERTY.

41.5.3.5 ... MULTIPLE STORIES, NOT JUST THE APPEARANCE OF MULTIPLE STORIES WHERE THE FLOOR AREA OF UPPER LEVEL STORIES MUST BE AT LEAST 60% OR MORE OF THE FIRST STORY FLOOR AREA.

41.5.3.6 ... WIDE SIDEWALKS THAT MAY BE USED FOR OUTDOOR DINING AND/OR WITH SEATING THAT ENCOURAGES OUTDOOR SOCIAL INTERACTION.

41.5.3.9 ... AN URBAN PARK, AS DISCUSSED IN 4.4 OF THE 2016-2024 WILLISTON COMPREHENSIVE PLAN CREDIT FOR COMPLIANCE WILL BE PROVIDED ONLY WHERE A PROPOSED PARK IS VISIBLE AND ACCESSIBLE TO THE PUBLIC SO THAT IT COMPLEMENTS OTHER PROPOSED USES. A PICNIC TABLE FOR EMPLOYEE LUNCH BREAKS IS NOT AN URBAN PARK.

41.5.3.7 ... PUBLIC ARTWORK, THE NATURE OF WHICH MUST BE APPROVED BY THE DRB, WITH THE ADVICE OF THE HAAC, PUBLIC ART MUST BE PROPORTIONATE IN SIZE AND SCALE TO THE BUILDINGS IN THE PROPOSED DEVELOPMENT, AND BE INCORPORATED INTO THE DESIGN OF AN URBAN PARK

UTILITIES: MUNICIPAL WATER AND SANITARY SEWER
OFFSITE STORMWATER MANAGEMENT

PARKING:
SUPERMARKET/GROCERIES RETAIL USE (08-103-007-001)
REQUIRED 5.0 SPACES / 1,000 SF = 91 SPACES
MULTI-FAMILY RESIDENTIAL
REQUIRED 1.75 SPACES / DWELLING UNIT = 42 SPACES
PROPOSED 133 SPACES (4 ACCESSIBLE)
115 SURFACE SPACES + 19 GARAGE SPACES

LANDSCAPED BUFFERS:
SOUTH STREET TREES ALONG WRIGHT AVENUE
NORTH 9' WIDE TYPE 3 BUFFER
EAST 9' WIDE TYPE 3 BUFFER
WEST STREET TREES ALONG FUTURE TRADER LANE

LEGEND SOIL DESCRIPTION

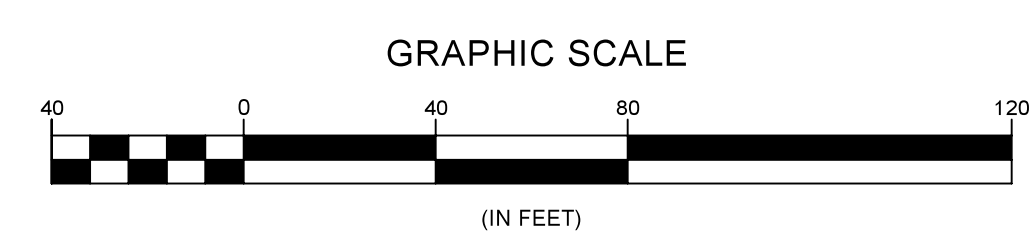
Au	AU GRES FINE SANDY LOAM
MyB	MUNSON AND RAYNHAM SILT LOAMS, 2-6% SLOPES
MyC	MUNSON AND RAYNHAM SILT LOAMS, 6-12% SLOPES
ScA	SCANTIC SILT LOAM, 0-2% SLOPES
ScB	SCANTIC SILT LOAM, 2-6% SLOPES

APPLICANT & LANDOWNER:

TAFT CORNERS ASSOCIATES, INC.
2 CHURCH STREET
BURLINGTON, VT 05401

LEGEND

	DEVELOPMENT REVIEW AREA
	EXISTING PROPERTY LINES
	PROPOSED LOT LINE
	EXISTING EASEMENT
	LANDSCAPE BUFFER SETBACK
	PROPOSED CENTERLINE
	CONTOUR MAJOR
	CONTOUR MINOR
	EXISTING BUILDING
	EXISTING DITCH



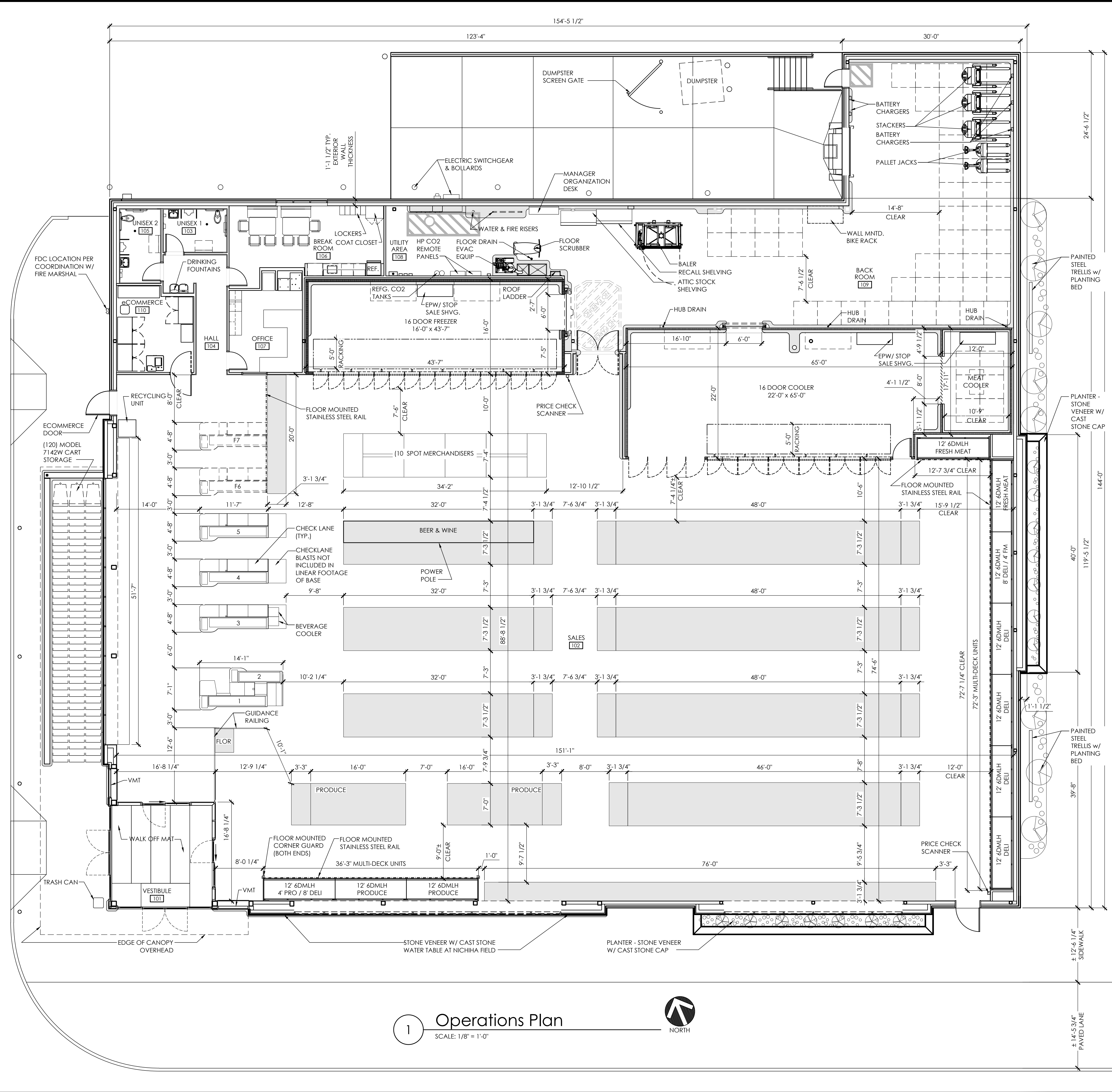
THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION

11-19-21	REV PROJECT AREA, FUTURE BUILDING, ADD URBAN PARK/ART	ABR
Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input checked="" type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	Project No. 19080 Survey & L&D Design NDS Drawn NDS Checked ABR Date 7/7/2021 Scale 1" = 30' Sheet number 1
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
WRIGHT AVENUE MIXED USE DEVELOPMENT		
SKETCH PLAN		
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		

WILLISTON, VT CFP-9 AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,542
	UNISEX 2	84
	UNISEX 1	76
	HALL	137
SUBTOTAL (MERCANTILE)		12,839
BUSINESS (B)	OFFICE	190
	BREAK ROOM	306
	eCOMMERCE	179
SUBTOTAL (BUSINESS)		675
STORAGE / STOCK (S-2)	BACKROOM	2,629
	COOLER	1,313
	FREEZER	648
SUBTOTAL (STORAGE / STOCK)		4,590
SUBTOTAL (OCCUPANCIES)		18,104
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		1,167
BUILDING SQUARE FOOTAGE		19,271
EXTERIOR CANOPY		958
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		20,229

OPERATIONS DATA		
ITEM	WILLISTON, VT CFP-9	V7.0 PROTOTYPE
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	828'-7"	827'-2"
ASSUMED PALLET STORAGE	53 + 6 IN M.C. = 59 TOTAL	57
BUILDING DIMENSIONS	119'-5 1/2" x 154'-5 1/2"	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-6" x 151'-1"	74'-6" x 151'-1"
LENGTH OF MULTIDECK	120'	120'
COOLER MILK DOORS	4	4
COOLER GENERAL DOORS	12	12
FREEZER GENERAL DOORS	16	16
SPOT MERCHANDISERS	10	10
CART STORAGE	120 MODEL 7142W	10

- NOTES:
- THIS DRAWING IS FOR GENERAL FIXTURING LAYOUT AND REFERENCE TO EQUIPMENT ONLY. ALL INFORMATION IS FOR ALDI OPERATIONAL USE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
 - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL SHELVING DIMENSIONS ARE TO FACE OF GONDOLA.
 - THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
 - ALL FOOD IS PREPACKAGED. THERE IS NO ON-SITE FOOD PREPARATION.
 - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPTM).



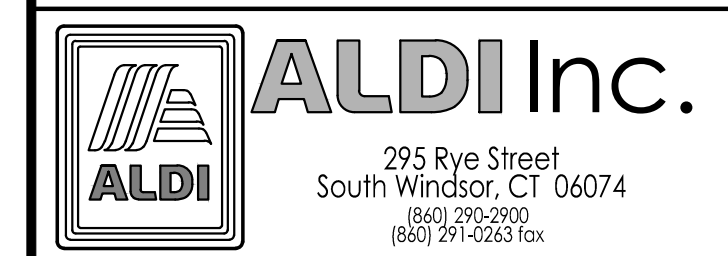
1 Operations Plan
SCALE: 1/8" = 1'-0"



Issued:	Date:
A Issued for Client Review	05/13/21
B Issued for Client Review	11/02/21
C Issued for Client Review	11/12/21
D Issued for Client Review	12/06/21
E Issued for Client Review	12/07/21

Revisions:	Date:
1	
2	
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8	
9	

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60 Wright Ave.
Williston VT 05495
Chttenden County
Project Name & Location:

Operations Plan	
Drawing Name:	Project No.
Date: 10/30/20	19-0211A
Type: MOD-V7	
Drawn By: RDM	CFP-9
Scale: As Noted	Drawing No.

PLOTTED: 12/17/2021 10:39 AM

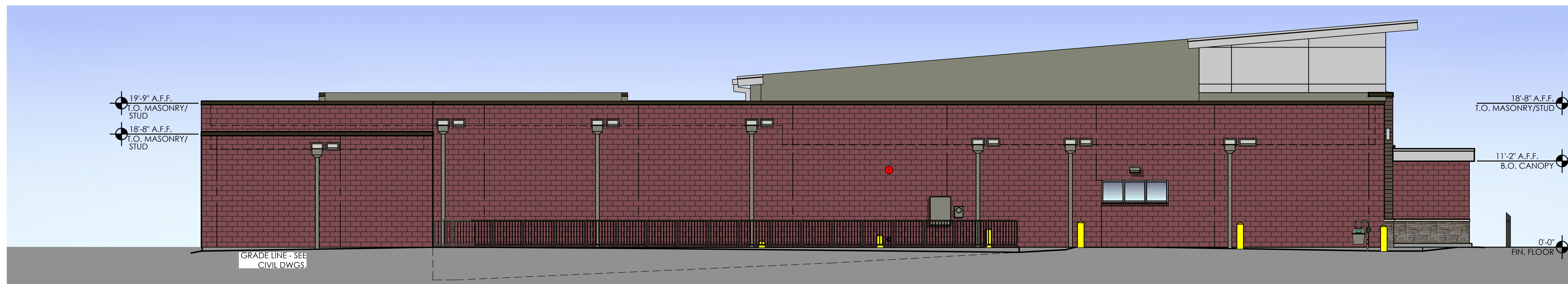
SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	120.7	241.4
LOGO SIGN	2	74.9	149.8
TOTAL SIGNAGE			391.2

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.



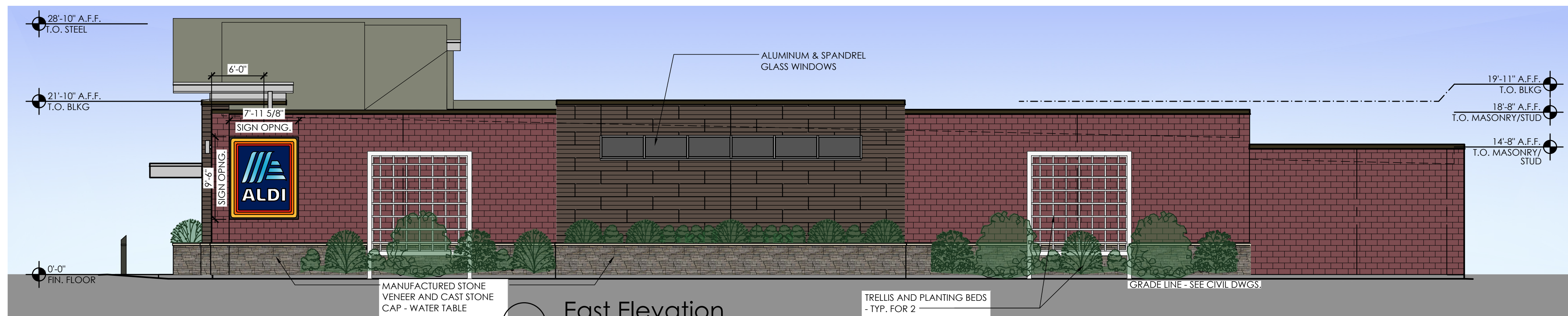
4 South Elevation
SCALE: 1/8" = 1'-0"



3 North Elevation
SCALE: 1/8" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"



1 East Elevation
SCALE: 1/8" = 1'-0"

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Revisions:	Date:
1	
2	
3	
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8	
9	

Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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(860) 291-0563 Fax

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Williston VT
60 Wright Ave.
Williston VT 05495
Chttenden County
Project Name & Location:

Exterior Elevations Drawing Name:	Project No. 19-0211A
Date: 10/30/20	
Type: MOD-V7	
Drawn By: RDM	CEE-9
Scale: As Noted	Drawing No.