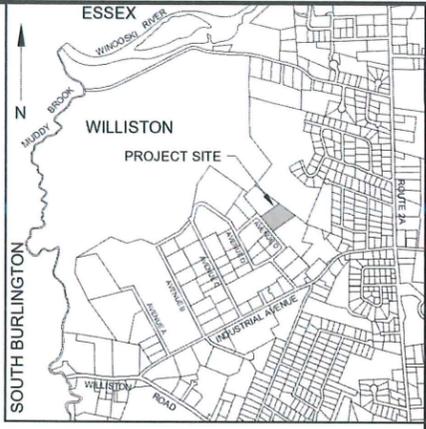
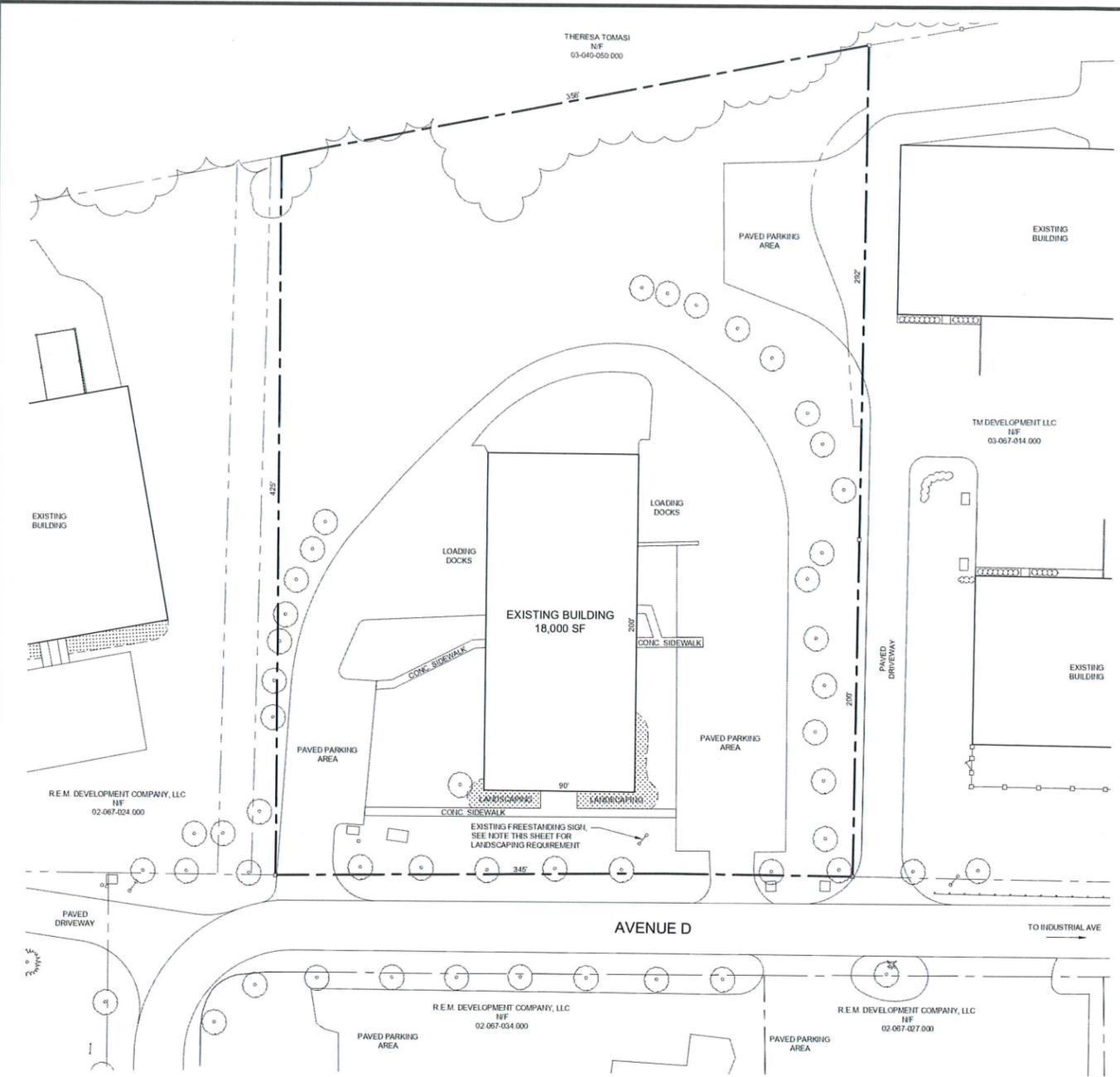


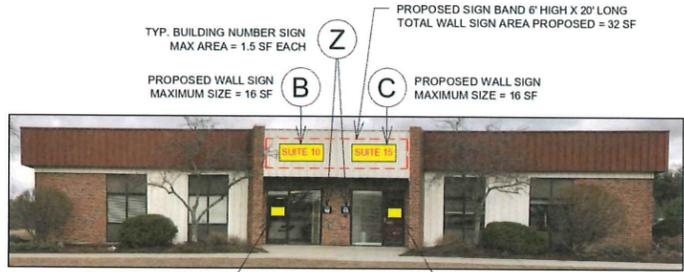
**RECEIVED**  
**JUN 14 2019**  
**PLANNING/ZONING**



**LOCATION PLAN**  
 N.T.S.



**(A) TYP. FREESTANDING SIGN**  
 2' x 6' (12 SF) 5' MAX HEIGHT



**EAST ELEVATION**  
 NOT TO SCALE



**WEST ELEVATION**  
 NOT TO SCALE

**TENANT NAMES & GRAPHICS**  
 SUBJECT TO CHANGE

MAXIMUM TOTAL SIGN AREA  
 USING THE EAST FACE OF BUILDING (FACING AVENUE D):  
 90' X 14.75' AVG HEIGHT = 1327.5 SF  
 8% X 1327.5 SF = 106.2 SF

MAXIMUM WINDOW SIGN COVERAGE  
 THE COMBINED AREA OF PERMANENT AND TEMPORARY WINDOW  
 SIGNS SHALL NOT EXCEED 20% COVERAGE OF THE GLASS AREA  
 FACING PUBLIC WAYS.

**FREESTANDING SIGN NOTES:**  
 1. LANDSCAPING SHALL BE PROVIDED AROUND THE BASE OF THE SIGN.  
 2. FREESTANDING SIGNS SHALL BE A MINIMUM OF 5 FEET OFF  
 PROPERTY LINE. EXISTING FREESTANDING SIGN TO REMAIN.

**GENERAL NOTES:**  
 1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE PROPOSED  
 MASTER SIGN PLAN FOR THE BUILDING LOCATED AT 296 AVENUE D.  
 2. SITE PLAN AND UTILITIES INFORMATION SHOWN ON THIS PLAN ARE  
 SHOWN FOR THE PURPOSES OF THE MASTER SIGN PLAN ONLY.

**SUMMARY OF BUILDING NUMBER AND DIRECTIONAL SIGNS**  
 (EXEMPT FROM THE TOTAL NUMBER AND AREA OF SIGNS)

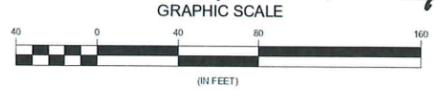
KEY	SIGN TYPE	AREA
Z	WALL / BUILDING NUMBER	1.5 SF EACH

**SUMMARY OF EXISTING & PROPOSED SIGNS**

KEY	SIGN TYPE	AREA/SIGN	#	AREA TOTAL
A	FREESTANDING	EXISTING 12 SF	1	12 SF
TOTAL AREA FREESTANDING SIGNS 12 SF				
B	WALL SIGN	PROPOSED 16 SF	1	16 SF
C	WALL SIGN	PROPOSED 16 SF	1	16 SF
D	WALL SIGN	PROPOSED 4 SF	1	4 SF
E	WALL/DOOR SIGN	PROPOSED 4 SF	1	4 SF
F	WALL/DOOR SIGN	PROPOSED 4 SF	1	4 SF
G	WALL/DOOR SIGN	PROPOSED 4 SF	1	4 SF
H	WALL SIGN	PROPOSED 16 SF	1	16 SF
I	WALL/DOOR SIGN	PROPOSED 4 SF	1	4 SF
TOTAL AREA WALL SIGNS 80 SF				
W	WINDOW SIGN	PROPOSED 3 SF	4	12 SF
TOTAL AREA WINDOW SIGNS 12 SF				
<b>TOTAL AREA BUILDING SIGNS = 104 SF</b>				

**TOWN OF WILLISTON - FIRE SAFETY PLAN REVIEW STANDARDS**  
**EXTERIOR DOOR SIGNAGE REQUIREMENTS:**  
 - ALL EXTERIOR DOORS SHALL BE MARKED WITH A COMBINATION LETTER/NUMERICAL SIGN OR STICKER  
 - ALL SIDES OF THE BUILDING SHALL BE DESIGNATED A LETTER, STARTING WITH 'A', AND PROCEEDING AROUND THE BUILDING CLOCKWISE TO LETTER 'B', 'C' AND 'D'. EACH DOOR ON EACH SIDE OF THE BUILDING SHALL BE NUMBERED SEQUENTIALLY, ALONG WITH THE LETTER DESIGNATED FOR THAT SIDE OF THE BUILDING.  
 - ALL LETTERS/NUMBERS SHALL BE A MINIMUM OF 10 INCHES HIGH, BE REFLECTIVE, AND SHALL CONTRAST WITH THE BACKGROUND  
 - SIGNAGE SHALL BE PLACED AT THE INTERIOR AND EXTERIOR OF EACH DOOR  
**BUILDING IDENTIFICATION REQUIREMENTS:**  
 - STREET ADDRESS NUMBERS SHALL BE PLACED IN A LOCATION THAT IS CLEARLY VISIBLE FROM THE STREET FRONTING THE PROPERTY.  
 - NUMBERS SHALL BE REFLECTIVE AND SHALL CONTRAST WITH THEIR BACKGROUND  
 NOTE THAT THE ABOVE BUILDING AND DOOR SIGNS ARE EXEMPT SIGNS

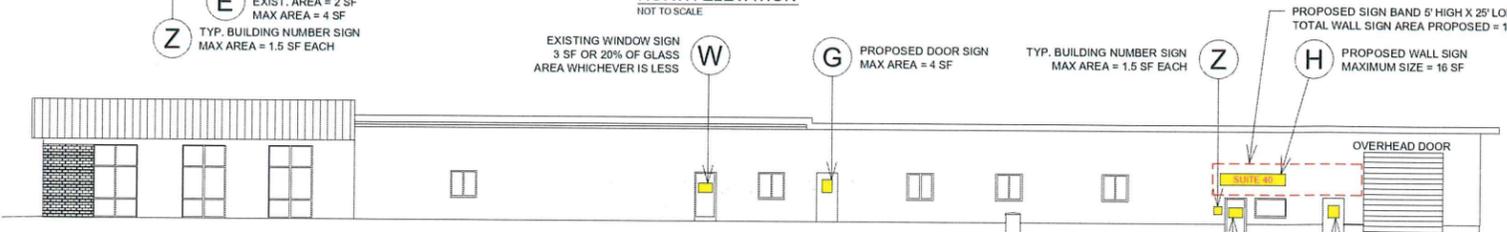
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 19-23, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 28, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR MASTER SIGN PLAN AT 296 AVENUE D.  
 ON THE 10 DAY OF JUNE, 2019.  
 DEVELOPMENT REVIEW BOARD CHAIRMAN ADMINISTRATOR'S SIGNATURE



**OWNER & APPLICANT**  
 R.E.M. DEVELOPMENT COMPANY, LLC  
 599 AVENUE D  
 WILLISTON, VT 05495



**NORTH ELEVATION**  
 NOT TO SCALE



**SOUTH ELEVATION**  
 NOT TO SCALE

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT		1
<input type="checkbox"/> PRELIMINARY		
<input type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		
<b>R.E.M. DEVELOPMENT COMPANY, LLC</b> 296 AVENUE D WILLISTON, VT <b>MASTER SIGN PLAN</b>		proj. no. 00044E survey --- design NDS drawn NDS checked ABR date 04/11/19 scale 1"=40' sht. no. 1
<b>LAMOUREUX &amp; DICKINSON Consulting Engineers Inc.</b> 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450 Engineers-Planners-Surveyors		00044E-MASTER PLAN

**FINAL PLANS**  
 DP 19-23