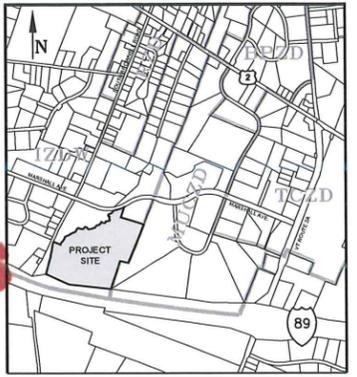


RECEIVED  
 SEP 14 2018  
 DP 19-01  
 PLANNING/ZONING



LOCATION PLAN  
 N.T.S.

# FINAL PLANS

## SIGN SUMMARY

SUMMARY OF BUILDING NUMBER AND REGULATORY SIGNS  
 (EXEMPT FROM THE TOTAL NUMBER AND AREA OF SIGNS)

KEY AREA	SIGN TYPE	EXIST./PROP.	SIGN AREA	# OF SIGNS	TOTAL
Z	WALL / BUILDING NUMBER FIRE SAFETY PLAN SIGNAGE	EXISTING PROPOSED	1.5 SF EACH	9	13.5 SF
D1	DIRECTIONAL SIGN (RESTRICTED AREA)	EXISTING	2 SF	1	2 SF
D2	DIRECTIONAL SIGN (NO SMOKING)	EXISTING	1 SF	1	1 SF
D3	DIRECTIONAL SIGN (DRIVERS MUST SIGN IN)	EXISTING	2 SF	3	6 SF
D4	DIRECTIONAL SIGN (NOTICE VIDEO SURV.)	EXISTING	2 SF	1	2 SF
D5	DIRECTIONAL SIGN (NOTICE AUTHOR. PERS.)	EXISTING	2 SF	1	2 SF

## SUMMARY OF APPROVED EXISTING & PROPOSED SIGNS

KEY AREA	SIGN TYPE	EXIST./PROP.	SIGN AREA	# OF SIGNS	TOTAL AREA
A	FREESTANDING (#685 & #687)	EXISTING	59 SF	1	59 SF
B	FREESTANDING (#687)	EXISTING	12 SF	1	12 SF
			TOTAL FREESTANDING SIGNS		71 SF
W1	WALL SIGN	PROPOSED	72 SF	1	72 SF
W2	WALL SIGN	EXISTING	8 SF	1	8 SF
W3	WALL SIGN	EXISTING	6 SF	1	6 SF
W6	WALL SIGN	EXISTING	4 SF	1	4 SF
W7	WALL SIGN	EXISTING	12 SF	1	12 SF
W9	WALL SIGN	EXISTING	12 SF	1	12 SF
W11	WALL SIGN	PROPOSED	20 SF	1	20 SF
W12	WALL SIGN	PROPOSED	72 SF	1	72 SF
W13	WALL SIGN	PROPOSED	36 SF	1	36 SF
W15	WALL SIGN	PROPOSED	16 SF	2	32 SF
W16	WALL SIGN	PROPOSED	72 SF	1	72 SF
W17	WALL SIGN	PROPOSED	72 SF	1	72 SF
			TOTAL WALL SIGNS		418 SF
W4	WALL SIGN (AWNING)	EXISTING	32 SF	1	32 SF
W5	WALL SIGN (AWNING)	EXISTING	32 SF	1	32 SF
W8	WALL SIGN (AWNING)	EXISTING	16 SF	1	16 SF
W10	WALL SIGN (AWNING)	EXISTING	16 SF	1	16 SF
W14	WALL SIGN (AWNING)	PROPOSED	16 SF	4	64 SF
			TOTAL AWNING SIGNS		160 SF
W	WINDOW SIGN (SEE NOTES, MAX. ASSUMED)	EXIST./PROP.	3 SF	13 DOORS	39 SF
			TOTAL WINDOW SIGNS		39 SF
OH	OVERHEAD DOOR SIGNAGE "CAUTION: BACK IN OR PULL OUT..." "NO IDLING..." "LOCK WHEELS..."	EXISTING	2 SF	38	76 SF
		EXISTING	1 SF	19	19 SF
		EXISTING	1 SF	19	19 SF
WD	WALL DOCK SIGNS (#685)	EXISTING	4 SF	13	52 SF
			TOTAL DIRECTIONAL SIGNS		166 SF
					TOTAL AREA ALL APPROVED EXISTING & PROPOSED SIGNS = 854 SF



EXISTING FREESTANDING SIGN  
 6.5' x 9' (58.5 SF)  
 11.5' HEIGHT (12' MAX.)  
 REQUIRED LANDSCAPING AT BASE OF SIGN  
 PLANT TOTAL OF 10 DAYLILIES (Hemerocallis spp.)  
 5 EACH SIDE OF SIGN  
 #SP5 CONTAINER, 1 OR 2 FAN DIVISION,  
 YELLOW & RED VARIETIES



INTERIOR FREESTANDING SIGN  
 3' x 4' (12 SF)  
 5.5' HEIGHT (6' MAX.)

NOTE:  
 SEE ELEVATION AND PHOTOS FOR ALL  
 LOCATION AND SIZE OF DIRECTIONAL  
 SIGNS, BUILDING NUMBER SIGNS, WINDOW  
 SIGNS AND DOCK NUMBER SIGNS

MAXIMUM ALLOWABLE TOTAL SIGN AREA = 288 SF  
 THE NORTH FACE OF THE BUILDING 685 FRONTS ON MARSHALL AVE:  
 BUILDING FACE: 250 FEET X 1/2(32' EAVE + 34.5' PEAK) = 8,313 SF  
 8% X 8,313 SF = 665 SF

THE NORTH FACE OF THE BUILDING 687 FRONTS ON MARSHALL AVE:  
 BUILDING FACE: 425 FEET X 1/2(32' EAVE + 36' PEAK) = 14,450 SF  
 8% X 14,450 SF = 1,156 SF

TOTAL MAXIMUM ALLOWABLE SIGN AREA = 1,821 SF

MAXIMUM WINDOW SIGN COVERAGE  
 THE COMBINED AREA OF PERMANENT AND TEMPORARY WINDOW  
 SIGNS SHALL NOT EXCEED 20% COVERAGE OF THE GLASS AREA  
 FACING PUBLIC WAYS.

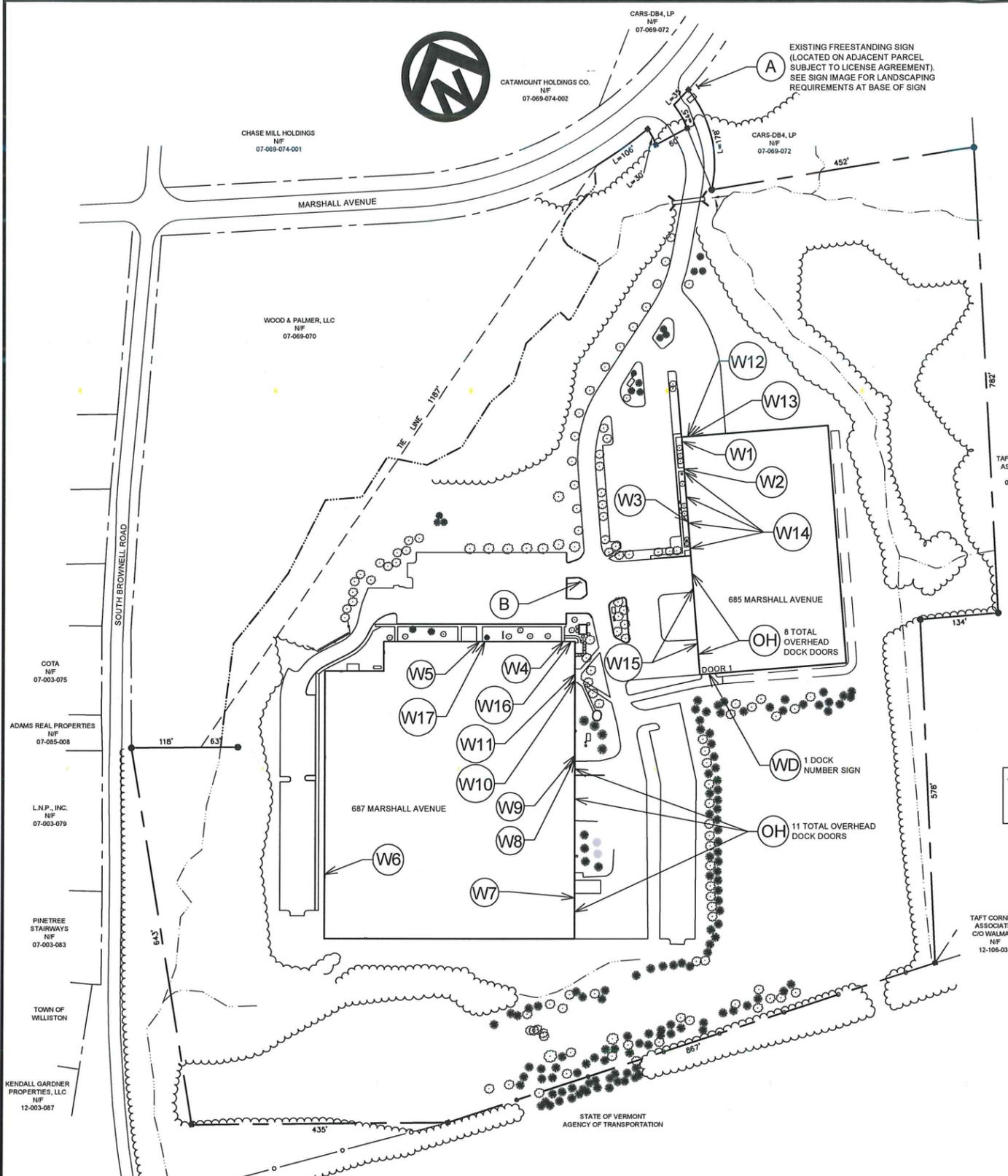
FREESTANDING SIGN NOTES:  
 1. LANDSCAPING SHALL BE PROVIDED AROUND THE BASE OF THE  
 FREESTANDING SIGN.  
 2. THE FREESTANDING SIGN SHALL BE A MINIMUM OF 5 FEET OFF  
 PROPERTY LINE.

GENERAL NOTES:  
 1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE PROPOSED MASTER  
 SIGN PLAN FOR THE MULTI TENANT BUILDINGS LOCATED AT 685 & 687  
 MARSHALL AVENUE.  
 2. SITE PLAN AND UTILITIES INFORMATION SHOWN ON THIS PLAN ARE  
 SHOWN FOR THE PURPOSES OF THE MASTER SIGN PLAN ONLY.

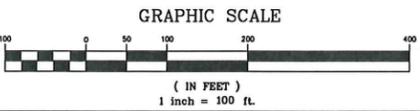
TENANT NAMES & GRAPHICS  
 SUBJECT TO CHANGE

OWNER & APPLICANT  
 THE MILLER REALTY GROUP, LLP  
 599 AVENUE D  
 WILLISTON, VT 05495

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL  
 REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL  
 CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT  
 DP 19-01, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW  
 BOARD ON AUGUST 28, 2018, THE ADMINISTRATOR / DRB APPROVED  
 THE FINAL PLANS FOR THE MASTER SIGN PLAN ON THE 17 DAY  
 OF September 2018.  
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



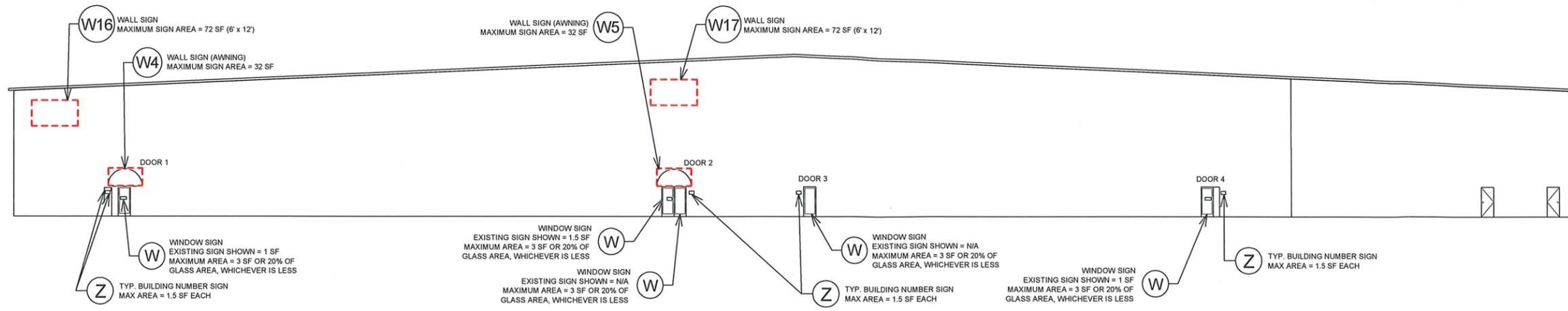
TOWN OF WILLISTON - FIRE SAFETY PLAN REVIEW STANDARDS  
 EXTERIOR DOOR SIGNAGE REQUIREMENTS:  
 - ALL EXTERIOR DOORS SHALL BE MARKED WITH A COMBINATION LETTER/NUMERICAL  
 SIGN OR STICKER  
 - ALL SIDES OF THE BUILDING SHALL BE DESIGNATED A LETTER, STARTING WITH 'A',  
 AND PROCEEDING AROUND THE BUILDING CLOCKWISE TO LETTER 'B', 'C' AND 'D'.  
 - EACH DOOR ON EACH SIDE OF THE BUILDING SHALL BE NUMBERED SEQUENTIALLY,  
 ALONG WITH THE LETTER DESIGNATED FOR THAT SIDE OF THE BUILDING.  
 - ALL LETTERS/NUMBER SHALL BE A MINIMUM OF 10 INCHES HIGH, BE REFLECTIVE,  
 AND SHALL CONTRAST WITH THE BACKGROUND  
 - SIGNAGE SHALL BE PLACED AT THE INTERIOR AND EXTERIOR OF EACH DOOR  
 BUILDING IDENTIFICATION REQUIREMENTS:  
 - STREET ADDRESS NUMBERS SHALL BE PLACED IN A LOCATION THAT IS CLEARLY  
 VISIBLE FROM THE STREET FRONTING THE PROPERTY.  
 - NUMBERS SHALL BE REFLECTIVE AND SHALL CONTRAST WITH THEIR BACKGROUND



09-14-18	ADD LANDSCAPING AT FREESTAND SIGN BASE	ABR
REVISIONS		
THE MILLER REALTY GROUP, LLP		proj. no. 98036D
685 & 687 MARSHALL AVENUE WILLISTON, VT		survey --
MASTER SIGN PLAN		design ABR
LAMOUREUX & DICKINSON Consulting Engineers Inc.		drawn NDS
14 Morse Drive		checked ABR
Essex Junction, VT 05452		date 06-27-18
(802) 878-4450		scale 1"=100'
Engineers-Planners-Surveyors		sht. no. 1

TAX PARCEL # 07-069-075.000 DP 19-01





**NORTH ELEVATION - 687 MARSHALL AVENUE**

NOT TO SCALE

W4 PROPOSED WALL SIGN (AWNING)  
MAXIMUM AREA = 32 SF  
EXISTING SIGNS = 32 SF

Z TYP. BUILDING NUMBER SIGN  
MAX AREA = 1.5 SF EACH

W TYPICAL WINDOW SIGN  
MAXIMUM AREA = 3 SF OR 20% OF GLASS AREA, WHICHEVER IS LESS

687 MARSHALL AVE  
NORTH ELEVATION DOOR 1 (ABOVE)

W5 PROPOSED WALL SIGN (AWNING)  
MAXIMUM AREA = 32 SF  
EXISTING SIGNS = 32 SF

Z TYP. BUILDING NUMBER SIGN  
MAX AREA 1.5 SF EACH

W TYPICAL WINDOW SIGN  
MAXIMUM AREA = 3 SF OR 20% OF GLASS AREA, WHICHEVER IS LESS

687 MARSHALL AVE  
NORTH ELEVATION DOOR 2 (ABOVE)

WINDOW SIGN  
EXISTING SIGN SHOWN = N/A  
MAXIMUM AREA = 3 SF OR 20% OF GLASS AREA, WHICHEVER IS LESS

D4 DIRECTIONAL SIGN  
EXISTING SIGN SHOWN = 1.5 SF  
MAXIMUM AREA = 2 SF

W6 WALL SIGN  
EXISTING SIGN SHOWN = 1 SF  
MAXIMUM AREA = 4 SF

WEST ELEVATION  
687 MARSHALL AVENUE

NOT TO SCALE

D4 DIRECTIONAL SIGN  
EXISTING SIGN SHOWN = 1.5 SF  
MAXIMUM AREA = 2 SF

W WINDOW SIGN  
EXISTING SIGN SHOWN = N/A  
MAXIMUM AREA = 3 SF OR 20% OF GLASS AREA, WHICHEVER IS LESS

W6 WALL SIGN  
EXISTING SIGN SHOWN = 1 SF  
MAXIMUM AREA = 4 SF

687 MARSHALL AVE  
WEST ELEVATION (LEFT)

W7 PROPOSED WALL SIGN (ON OPAQUE MAN DOOR)  
EXISTING SIGN SHOWN = 5 SF  
MAXIMUM SIGN AREA = 12 SF

W TYPICAL WINDOW SIGN  
MAXIMUM AREA = 3 SF OR 20% OF GLASS AREA, WHICHEVER IS LESS

687 MARSHALL AVE  
EAST ELEVATION

W8 EXISTING WALL SIGN (AWNING)  
EXISTING SIGN SHOWN = 12.5 SF  
MAXIMUM AREA = 16 SF

W9 PROPOSED WALL SIGN  
EXISTING SIGN SHOWN = 8.5 SF  
MAXIMUM SIGN AREA = 12 SF

687 MARSHALL AVE  
EAST ELEVATION

W10 EXISTING WALL SIGN (AWNING)  
EXISTING SIGN SHOWN = 12.5 SF  
MAXIMUM AREA = 16 SF

W11 PROPOSED WALL SIGN  
EXISTING SIGN SHOWN = 10 SF  
MAXIMUM SIGN AREA = 20 SF

687 MARSHALL AVE  
EAST ELEVATION

OH TYPICAL OVERHEAD DOOR SIGNAGE  
TOTAL MAXIMUM AREA PER DOCK = 6 SF  
EXISTING SIGN AREA PER DOCK = 6 SF EACH

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 19-01, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON AUGUST 28, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR THE MASTER SIGN PLAN, ON THE 12 DAY OF September 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

TENANT NAMES & GRAPHICS  
SUBJECT TO CHANGE

TAX PARCEL # 07:069:075.000 DP 19-01

REVISIONS		proj. no. 9803ED
THE MILLER REALTY GROUP, LLP		survey ---
685 & 687 MARSHALL AVENUE WILLISTON, VT		design ABR
MASTER SIGN PLAN		drawn NDS
BUILDING 687 ELEVATION		checked ABR
LAMOUREUX & DICKINSON Consulting Engineers Inc.		date 06-27-18
14 Morse Drive Essex Junction, VT 05452 (802) 878-4450		scale N.T.S.
Engineers-Planners-Surveyors		sht. no. 3