



Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 18-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates on the 15 day of July, 2018.

[Signature]
 Presiding member or Administrator

SHARED PARKING INFORMATION

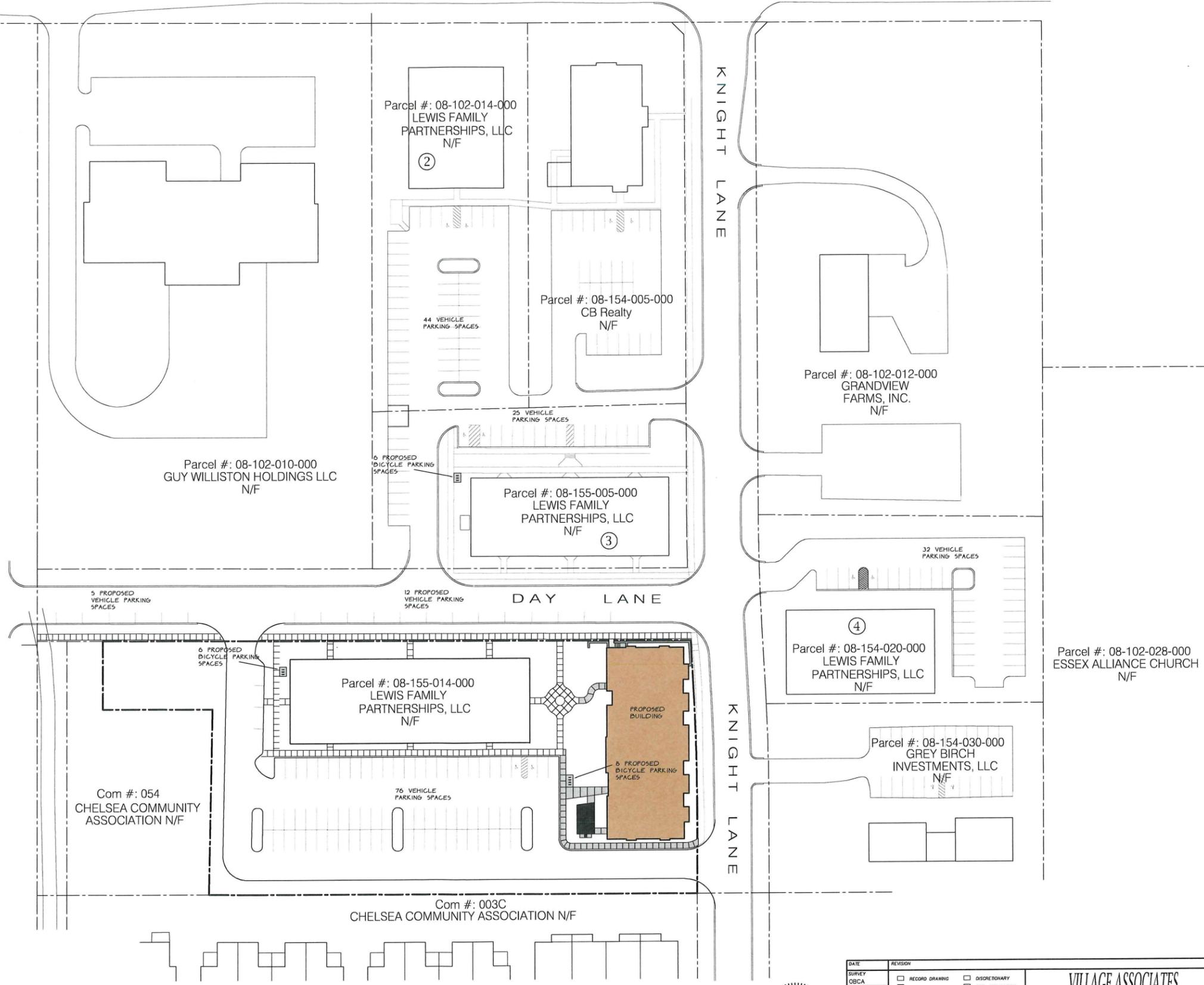
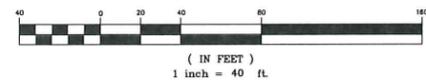
	REQUIRED	PROPOSED
VEHICLE PARKING	192*	194
BICYCLE PARKING	16**	20
LONG TERM BICYCLE PARKING	11	31

* FIGURE CALCULATED ACCORDING TO WDD TABLE 1.A FOR SHARED PARKING WITH LOTS 2, 3, 4, AND 6. SEE SHARED PARKING CALCULATION ON SHEET 2.
 ** FIGURE CALCULATED ACCORDING TO WDD TABLE 1.A FOR ALL BUILDINGS IN SHARED PARKING STUDY.

LEGEND

- PROJECT PROPERTY LINE
- - - ADJUTTER PROPERTY LINE
- - - EASEMENT
- N/F NOW OR FORMERLY
- - - EXISTING GRADE CONTOUR
- U UTILITY POLE
- W EXISTING WATERLINE
- S EXISTING SEWERLINE
- EXISTING STORMLINE
- IRON PIPE
- CONC MONUMENT
- CATCHBASIN WITH UNDERDRAIN
- ☆ LIGHT
- - - FINISH GRADE CONTOUR

GRAPHIC SCALE



DATE	REVISION	BY
SURVEY	RECORD DRAWING	DATE 10-9-18
DESIGN	FINAL	JOB# 2017-68
P.J.D.	DISCRETIONARY	FILE# 2017-68-53
DRAWN	PRE-APPLICATION	PLAN SHEET #
SEC		2
DREKED		
P.J.D.		
SCALE		
1"=40'		

VILLAGE ASSOCIATES
 13 CORPORATE DRIVE
 ESSEX JCT., VT
 PHONE: 878-9990
 FAX: 878-9989

VT 24/KNIGHT LANE WILLISTON, VT

OVERALL SHARED VEHICLE AND BICYCLE PARKING PLAN

FINAL PLANS

GENERAL SPECIFICATIONS

1. THE TERM "OWNER" HEREAFTER REFERRED TO IN THESE SPECIFICATIONS SHALL BE TOWN CITY, VILLAGE, OR DISTRICT. THE TERM "ENGINEER" SHALL MEAN THE DESIGN ENGINEER OR INSPECTING ENGINEER FOR THIS PROJECT. THE TERM "CONTRACTOR" SHALL MEAN THE BUILDER OF THIS PROJECT.
2. NOTWITHSTANDING THE FOLLOWING SPECIFICATIONS, ALL WORK SHALL CONFORM TO THE LOCAL STANDARDS FOR CONSTRUCTION. THESE CONSTRUCTION NOTES RECOGNIZE THE STATE OF VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION, AS A SUPPLEMENTAL SOURCE FOR STANDARDS.
3. COORDINATION-ALL CONSTRUCTION SEQUENCING SHALL BE COORDINATED WITH THE OWNER, WITH RESPECT TO ACTIVITY RESTRICTING THE OWNER'S USE OF THE PROPERTY.
4. THE ENGINEER/CONTRACTOR OR THEIR AUTHORIZED AGENT/ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL RELEVANT FEDERAL, STATE AND LOCAL BUILDING PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER REPRESENTING THE OWNER, IN WRITING, WITHIN 24 HOURS OF THEIR INTENTION TO CONSTRUCT ANY UTILITY FOR WHICH THE ENGINEER SHALL BE RESPONSIBLE TO CERTIFY TO THE CONSTRUCTION THEREOF. IN ADDITION, THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7231) AND THE OWNER AT LEAST FORTY EIGHT HOURS PRIOR TO EXCAVATION OF WATER, SEWER OR UTILITIES LINES.
5. PROJECT SITE MANAGEMENT - THE CONTRACTOR SHALL ENSURE THAT AT THE END OF EACH WORKING DAY, THE JOB SITE SHALL BE LEFT IN A CONDITION SATISFACTORY TO THE ENGINEER OF OWNER. ALL EXCESS AND UNNECESSARY CONSTRUCTION EQUIPMENT AND DEBRIS SHALL BE REMOVED FROM THE JOB SITE AS WORK PROGRESSES.
6. PROTECTION OF THE PUBLIC-THE PUBLIC SHALL BE PROTECTED BY THE CONTRACTOR FROM ANY AND ALL HAZARDS CONNECTED WITH THE WORK. OPEN TRENCHES, MATERIALS OR OTHER EQUIPMENT WITHIN THE WORKING LIMITS ARE TO BE GUARDED BY THE USE OF ADEQUATE BARRICADES, SNOW FENCES OR FLAG MEN.
7. SITE PREPARATION AND DEBRIS REMOVAL-THE CONTRACTOR SHALL STRIP AND STOCKPILE ALL TOPSOIL IN THE AFFECTED AREA. NO TOPSOIL SHALL BE REMOVED FROM THE SITE. ALL CONSTRUCTION DEBRIS FROM THE DEMOLITION OF EXISTING FOUNDATIONS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN ANY ENVIRONMENTALLY SOUND, LAWFUL MANNER.
8. ALTERNATIVES-IF ALTERNATIVE MATERIALS AND/OR METHODS ARE PROPOSED, FULL SUBSTANTIATION MUST ACCOMPANY THE BID. SUCH ALTERNATIVES MUST BE LISTED IN DETAIL, WITH ACCOMPANYING COSTS, ALONG WITH A CONCURRENT LISTING OF ITEMS AND THEIR COSTS FOR WHICH THE ALTERNATIVES ARE BEING PROPOSED SO THAT AN ACCURATE COMPARISON AND EVALUATION BE MADE BY THE ENGINEER OR OWNER. ALL BIDS MUST REFLECT THE USE OF THE EQUIPMENT AND MATERIALS SPECIFIED BY THE LOW BIDDER, WITH THEIR BID, WILL BE EVALUATED AFTER THE AWARD OF CONTRACT.
9. PROTECTION AND REPAIR OF EXISTING UTILITIES-WHENEVER CULVERTS, MANHOLES, CATCH BASIN CONNECTIONS, WATER MAINS, GAS MAINS, VALVE CHAMBERS, UTILITY POLES, GUT WIRES, OVERHEAD LINES, FENCES OR OTHER UNDERGROUND CONSTRUCTIONS ARE ENCOUNTERED THEY SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR AT HIS OWN EXPENSE. APPROVED BY THE ENGINEER OR INVOLVED UTILITY. EXTEND EXISTING VALVE BOXES AND MANHOLES IN FILL AREAS. INJURY TO ANY SUCH STRUCTURE CAUSED BY OR RESULTING FROM CONTRACTOR'S METHODS WILL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN A TIME PERIOD THAT WILL NOT PLACE AN UNREASONABLE BURDEN ON THE USER. THE OWNER, ENGINEER AND THE AUTHORITY HAVING CHARGE OF ANY PARTICULAR UNDERGROUND STRUCTURE SHALL BE NOTIFIED PROMPTLY OF INJURY TO ITS STRUCTURE.
10. RECONSTRUCTION OF EXISTING UTILITIES-IN CASE IT SHALL BECOME NECESSARY, IN THE OPINION OF THE ENGINEER, TO MOVE OR RECONSTRUCT ANY WATER MAIN, ELECTRIC CONDUIT, TELEPHONE CONDUIT, ANY CONNECTIONS THERETO OR ANY APPURTENANT STRUCTURES, WORK WILL BE DONE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NOTICE TO USERS BEFORE INTERRUPTING SERVICE, UNLESS SPECIFICALLY PROVIDED FOR IN THE CONTRACT. RECONSTRUCTION OF THE UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE. IN NO CASE SHALL THE CONTRACTOR ALTER ANY WATER MAIN, ELECTRIC CONDUIT, TELEPHONE CONDUIT OR ANY UNDERGROUND CABLES, CONDUIT OR STRUCTURES, WITHOUT THE WRITTEN PERMISSION OF THE UTILITY OWNER OR UNTIL THE ENGINEER/CITY IS SATISFIED THAT ADEQUATE WARNING TO THE USERS HAS BEEN PROVIDED.
11. WORK TO CONFORM-DURING THE PROGRESS AND UPON ITS COMPLETION ALL WORK SHALL CONFORM TO THE LINES, LEVELS AND GRADIES INDICATED ON THE DRAWINGS OR GIVEN BY THE ENGINEER AND SHALL BE BUILT IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND THE CORRECTIONS GIVEN FROM TIME TO TIME BY THE OWNER. IN NO CASE SHALL ANY WORK IN EXCESS OF THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS BE PAID FOR UNLESS ORDERED IN WRITING BY THE OWNER.
12. COMPACTION-WHERE BACKFILL IS DESIGNATED COMPACTED ON THE DRAWINGS, COMPACTION SHALL BE AT LEAST 90% TO 75% STANDARD PROCTOR. ROADWAY AND PARKING SUB GRADES SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR. THE CONTRACTOR WILL BE REQUIRED TO HAVE SPECIALIZED COMPACTION EQUIPMENT ON THE JOB SITE AS MAY BE NEEDED TO PROPERLY COMPACT MATERIAL SPECIFICALLY FOR THIS PROJECT.
13. STORM RUNOFF CONTROL-CONTRACTOR SHALL ASSURE THAT NO PART OF A SANITARY OR STORM SEWER SYSTEM IS SUBJECT AT THE END OF EACH WORKDAY TO THE INFLOW OF STORM WATER RUNOFF AND THE SEDIMENT THAT IS OFTEN ASSOCIATED WITH CONSTRUCTION SITE RUNOFF. FOR EXAMPLE, AT ALL MANHOLES AND CATCH BASINS, A SEWER SHALL BE INSTALLED AND SEALED IN ALL OPENINGS, ANY OPENINGS INTO WHICH SEWERS HAVE NOT BEEN INSTALLED SHALL BE PLUGGED. MANHOLE AND CATCH BASIN TOPS SHALL BE SUFFICIENTLY HIGH AND SEALED TO PREVENT RUNOFF FROM FLOWING INTO THESE STRUCTURES. THE OPEN ENDS OF SEWER LINES, INCLUDING LOT OR BUILDING SERVICES, SHALL BE CAPED OR PLUGGED.
14. SUPERVISORS ON THE JOB SITE-THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THERE IS A SUPERVISOR UNDER HIS DIRECT EMPLOY ON THE JOB SITE AT ALL TIMES THAT CONSTRUCTION IS UNDERWAY, WHETHER OR NOT THE CONSTRUCTION IS BEING ACCOMPLISHED BY THE PRIME CONTRACTOR OR SUBCONTRACTOR HIRED BY THE GENERAL CONTRACTOR.
15. INSPECTION AND TESTING-UPON COMPLETION OF CONSTRUCTION AND WRITTEN CERTIFICATION THAT THE REQUIRED TESTING HAS BEEN CONDUCTED, A FINAL WALK-THROUGH INSPECTION SHALL BE CONDUCTED WITH THE ENGINEER, CONTRACTOR AND THE OWNER. ONCE A SATISFACTORY WALK-THROUGH INSPECTION HAS BEEN COMPLETED, AND THE AS-BUILT DRAWINGS ACCEPTED, THE OWNER WILL ACCEPT THE CONSTRUCTION AND WARRANTY PERIOD WILL BEGIN.

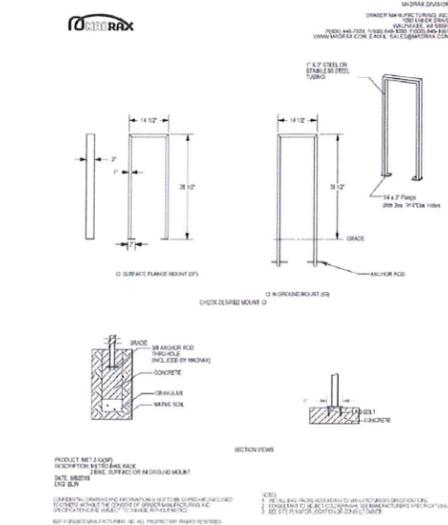
Date: 7/5/2018
Project #: 2017-08
By: SEC

Use of Blgd Floor Area	Blgd Floor Area (sq ft)	Peak Parking Spaces Required
Residential (Apts)	31	55
Rest	0	0
Drive-In Bank	0	0
Movie Theatre	0	0
General Office	11,117	155
Medical Office	0	0
Restaurant	0	0
Total	11,148	200

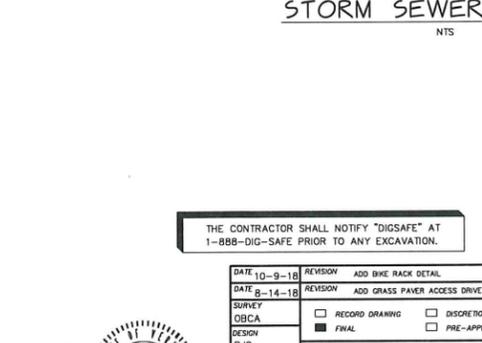
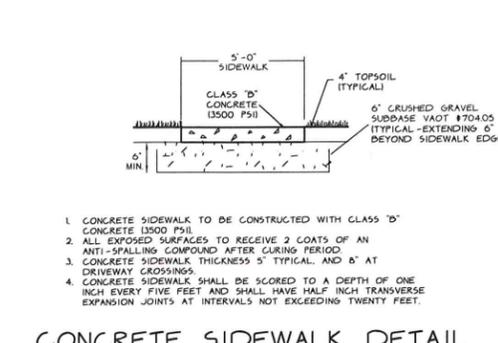
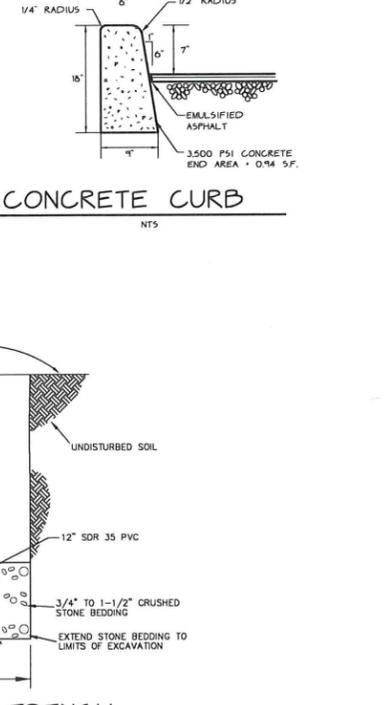
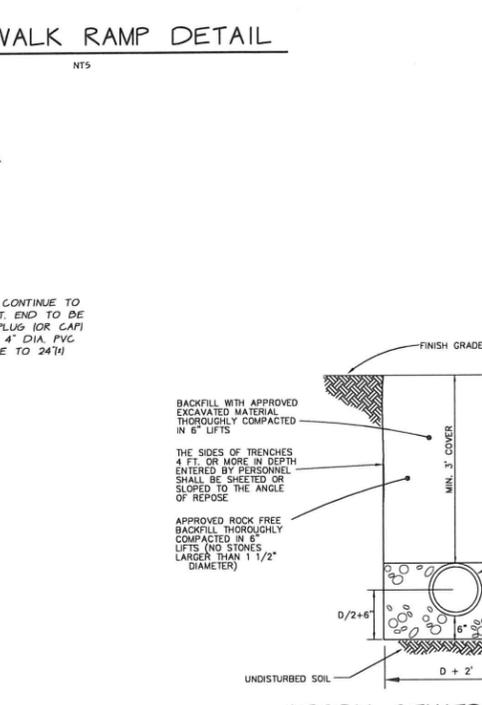
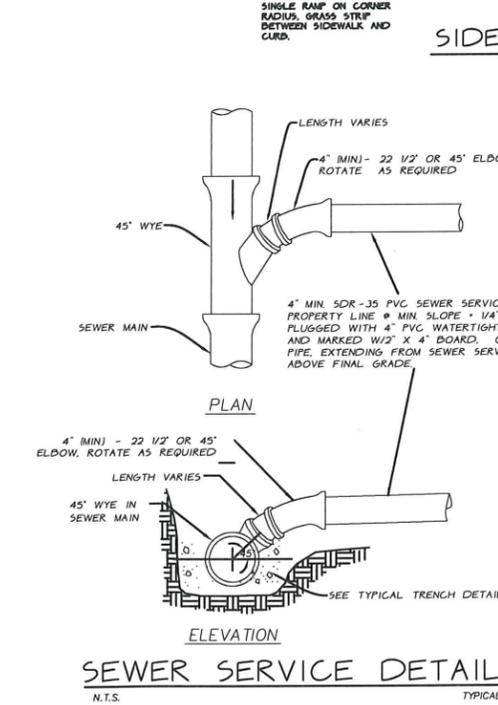
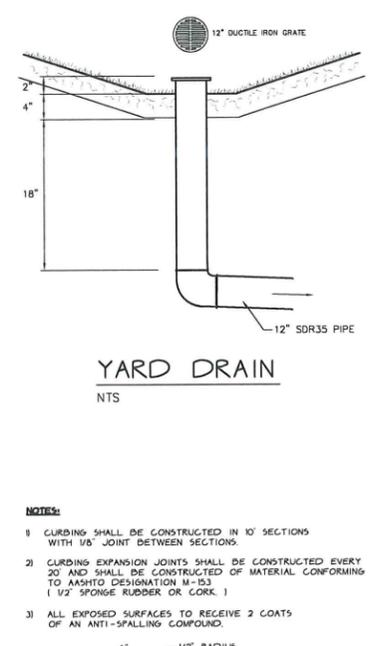
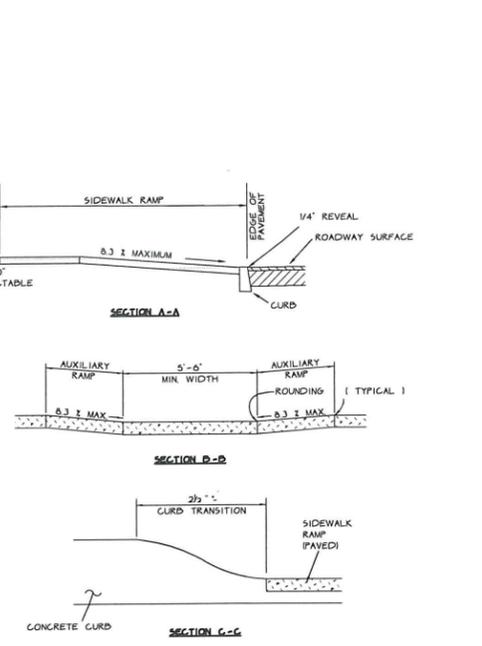
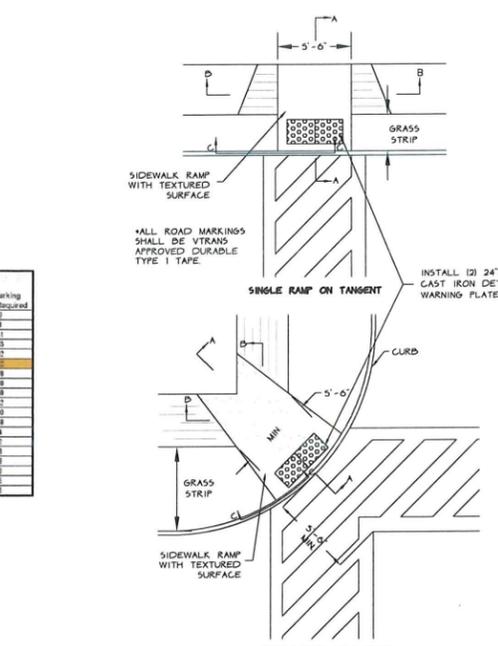
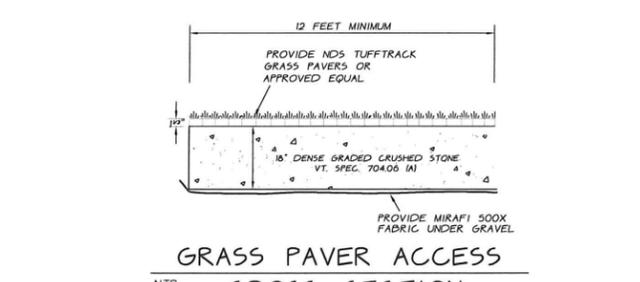
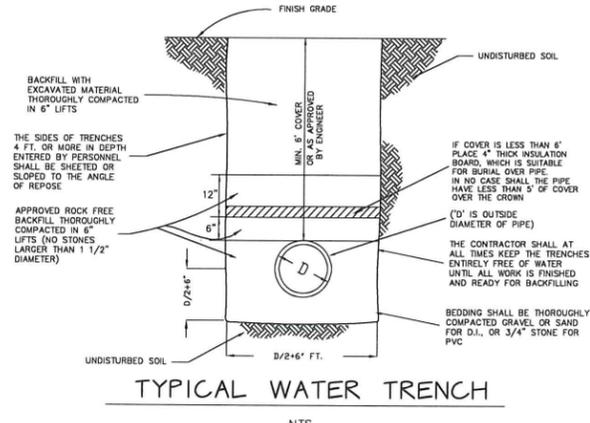
Use of Blgd Floor Area	Blgd Floor Area (sq ft)	Peak Parking Spaces Required
Lot 2 Existing	8,012	112
Lot 3 Existing	10,728	149
Lot 4 Existing	8,890	125
Lot 6 Existing	14,000	193
Total	41,630	589

Business Hours	% of Peak		Calculated		% of Peak		Calculated		Total Parking Spaces Required
	Required (Apts)	Required (Apts)	Spaces Required (Retail)	Spaces Required (Office)	Required (Retail)	Required (Office)	Required (Restaurant)		
6:00 a.m.	100	55	0	0	0	0	0	55	
7:00 a.m.	95	52	0	0	0	0	0	52	
8:00 a.m.	90	50	18	0	0	0	0	68	
8:30 a.m.	87	48	42	0	0	0	0	90	
9:00 a.m.	85	47	58	0	0	0	0	105	
11:00 a.m.	85	47	87	0	0	0	0	134	
12:00 noon	85	47	97	0	19	0	0	166	
1:00 p.m.	85	47	100	0	39	0	0	186	
2:00 p.m.	85	47	97	0	39	0	0	186	
3:00 p.m.	85	47	95	0	30	0	0	165	
4:00 p.m.	87	49	87	0	30	0	0	159	
5:00 p.m.	90	50	78	0	29	0	0	149	
6:00 p.m.	92	51	82	0	60	0	0	142	
7:00 p.m.	94	52	89	0	80	0	0	139	
8:00 p.m.	98	53	87	0	100	0	0	157	
9:00 p.m.	98	54	81	0	60	0	0	111	
10:00 p.m.	99	54	32	0	100	0	0	132	
11:00 p.m.	100	55	13	0	60	0	0	73	
12:00 mid	100	55	0	0	73	0	0	73	

Parking Breakdown	
Total Required	192 Spaces
Lot 2 Existing	44 Spaces
Lot 3 Existing	25 Spaces
Lot 4 Existing	32 Spaces
Lot 6 Proposed	91 Spaces
Day Lane On-Street Parking	17 Spaces



WORK DIVISION
OWNER: VILLAGE ASSOCIATES
PROJECT: VILLAGE ASSOCIATES
ADDRESS: 2017-08
DATE: 7/5/2018
DRAWN BY: SEC
CHECKED BY: SEC



1. CONCRETE SIDEWALK TO BE CONSTRUCTED WITH CLASS "D" CONCRETE (3000 PSI).

2. ALL EXPOSED SURFACES TO RECEIVE 2 COATS OF AN ANTI-SPALLING COMPOUND AFTER CURING PERIOD.

3. CONCRETE SIDEWALK THICKNESS 5" TYPICAL AND 6" AT DRIVEWAY CROSSINGS.

4. CONCRETE SIDEWALK SHALL BE SCORED TO A DEPTH OF ONE INCH EVERY FIVE FEET AND SHALL HAVE HALF INCH TRANSVERSE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING TWENTY FEET.

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

DATE: 10-9-18	REVISION: ADD BIKE RACK DETAIL	BY: SEC
DATE: 8-14-18	REVISION: ADD GRASS PAVER ACCESS DETAIL	BY: SEC
DESIGN: OCB	RECORD DRAWING	DATE: 6-15-18
PLO: OCB	DISCREETARY	DATE: 2017-68
DRAWN: OCB	PRE-APPLICATION	DATE: 2017-68-53
SEC		DATE: 2017-68-53
PLO		DATE: 2017-68-53
SCALE: 1"=20'		DATE: 2017-68-53

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 18-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates on the 13 day of Nov 2018.

President/Administrator's signature



O'LEARY-BURKE
CIVIL ASSOCIATES, PLC

13 CORPORATE DRIVE
ESSEX JCT., VT
PHONE: 878-9990
FAX: 878-9989

VILLAGE ASSOCIATES
WILLISTON, VT

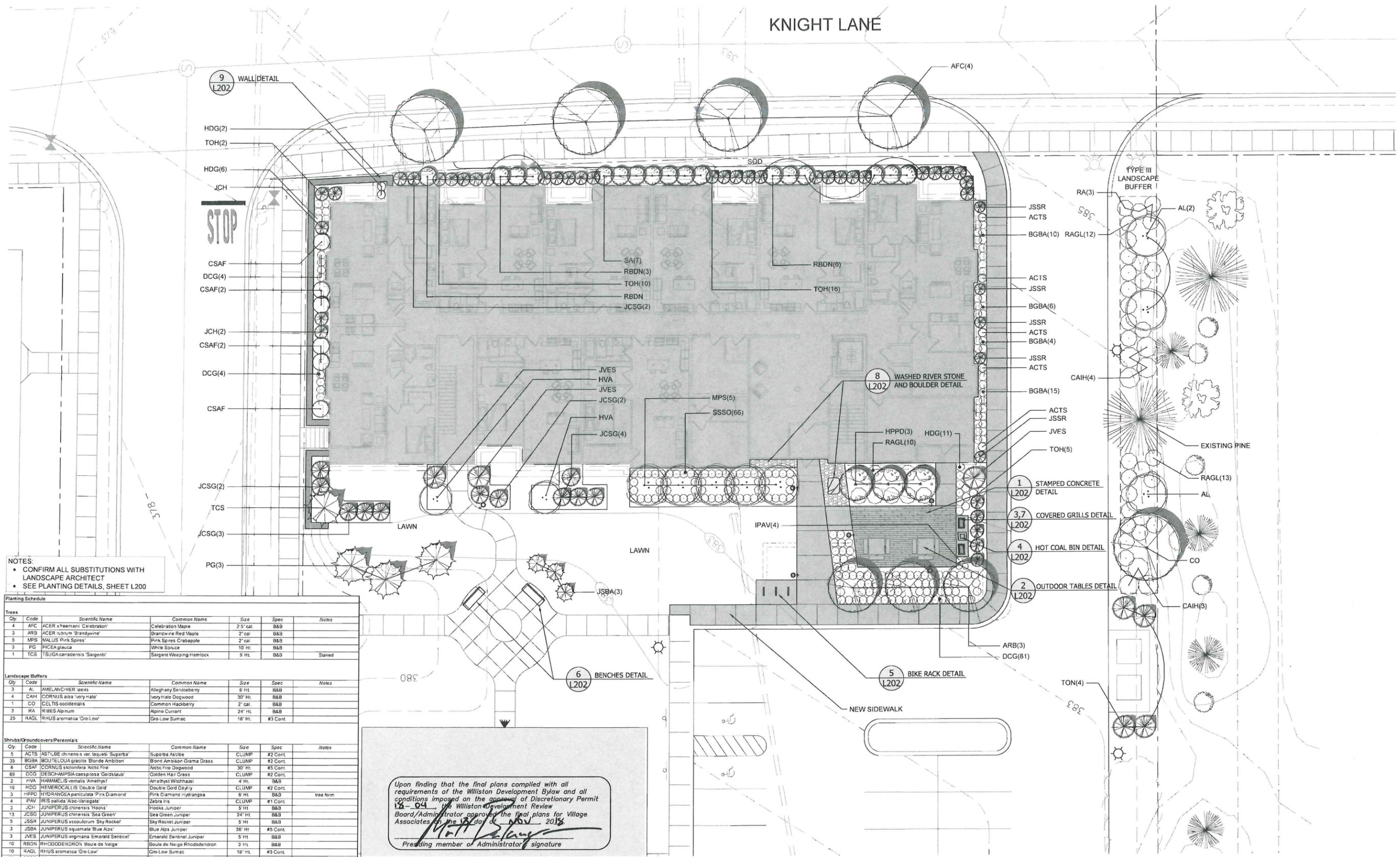
2017-68-53

DETAILS
LOT 6 - MANSFIELD BUSINESS PARK

PLAN SHEET # 4

FINAL PLANS

KNIGHT LANE



NOTES:
 • CONFIRM ALL SUBSTITUTIONS WITH LANDSCAPE ARCHITECT
 • SEE PLANTING DETAILS, SHEET L200

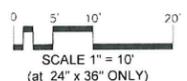
Qty	Code	Scientific Name	Common Name	Size	Spec	Notes
4	AFC	ACER x thomasi 'Celebration'	Celebration Maple	2.5' cal	B&B	
3	ARB	ACER rubrum 'Brandywine'	Brandywine Red Maple	2' cal	B&B	
5	MFS	MALUS Pink Spire	Pink Spire Crabapple	2' cal	B&B	
3	PG	PICEA glauca	White Spruce	10' HL	B&B	
1	TCS	TSUGA canadensis 'Sargentii'	Sargent Weeping Hemlock	5' HL	B&B	Staked

Qty	Code	Scientific Name	Common Name	Size	Spec	Notes
3	AL	AMELANCHIER alata	Allegheny Serviceberry	6' HL	B&B	
4	CAH	CORNUS alba 'Ivory Halo'	Ivory Halo Dogwood	30" HL	B&B	
1	CO	CELTIS occidentalis	Common Hackberry	2' cal	B&B	
3	RA	RIBES alpinum	Alpine Currant	24" HL	B&B	
25	RAGL	RHUS aromatica 'Gro-Low'	Gro-Low Sumac	16" HL	#3 Cont.	

Qty	Code	Scientific Name	Common Name	Size	Spec	Notes
5	ACTS	ASTILBE chinensis var. taquetii 'Superba'	Superba Astilbe	CLUMP	#2 Cont.	
35	BGBA	BOULEDOUA gracilis 'Blonde Ambition'	Blonde Ambition Gramma Grass	CLUMP	#2 Cont.	
6	CSAF	CORNUS stolonifera 'Arctic Fire'	Arctic Fire Dogwood	30" HL	#5 Cont.	
89	DCG	DESCHAMPUSA caespitosa 'Goldstar'	Golden Hair Grass	CLUMP	#2 Cont.	
2	HVA	HIMANTHUS normalis 'Amethyst'	Amethyst Wishbone	4' HL	B&B	
19	HOG	HEVEROCALLIS Double Gold	Double Gold Daylily	CLUMP	#2 Cont.	
3	HPPD	HYDRANGEA paniculata 'Pink Diamond'	Pink Diamond Hydrangea	6' HL	B&B	tree form
4	IPAV	IRIS pallida 'Alo-Variegata'	Zebra Iris	CLUMP	#1 Cont.	
3	JCH	JUNIPERUS chinensis 'Hooks'	Hooks Juniper	5' HL	B&B	
13	JCSG	JUNIPERUS chinensis 'Sea Green'	Sea Green Juniper	24" HL	B&B	
5	JSSA	JUNIPERUS scopulorum 'Sky Rocket'	Sky Rocket Juniper	5' HL	B&B	
3	JSBA	JUNIPERUS squamata 'Blue Alps'	Blue Alps Juniper	36" HL	#5 Cont.	
3	JVES	JUNIPERUS virginiana 'Emerald Sentinel'	Emerald Sentinel Juniper	5' HL	B&B	
10	RBDN	RHOODENDRON 'Boule de Neige'	Boule de Neige Rhododendron	3' HL	B&B	
10	RAGL	RHUS aromatica 'Gro-Low'	Gro-Low Sumac	16" HL	#3 Cont.	
66	SSSO	SCHIZACHYRIUM scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	CLUMP	#2 Cont.	
7	SA	SYMPHORICARPUS albus	Snowberry	30" HL	B&B	
33	TOH	THUJA occidentalis 'Holmsstrup'	Holmsstrup Arborvitae	3' HL	B&B	
4	TON	THUJA occidentalis 'Nigra'	Dark Green Arborvitae	6' HL	B&B	
1	TCS	TSUGA canadensis 'Sargentii'	Sargent Weeping Hemlock	5' HL	B&B	Staked

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 15-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates on the 14th day of May, 2018.

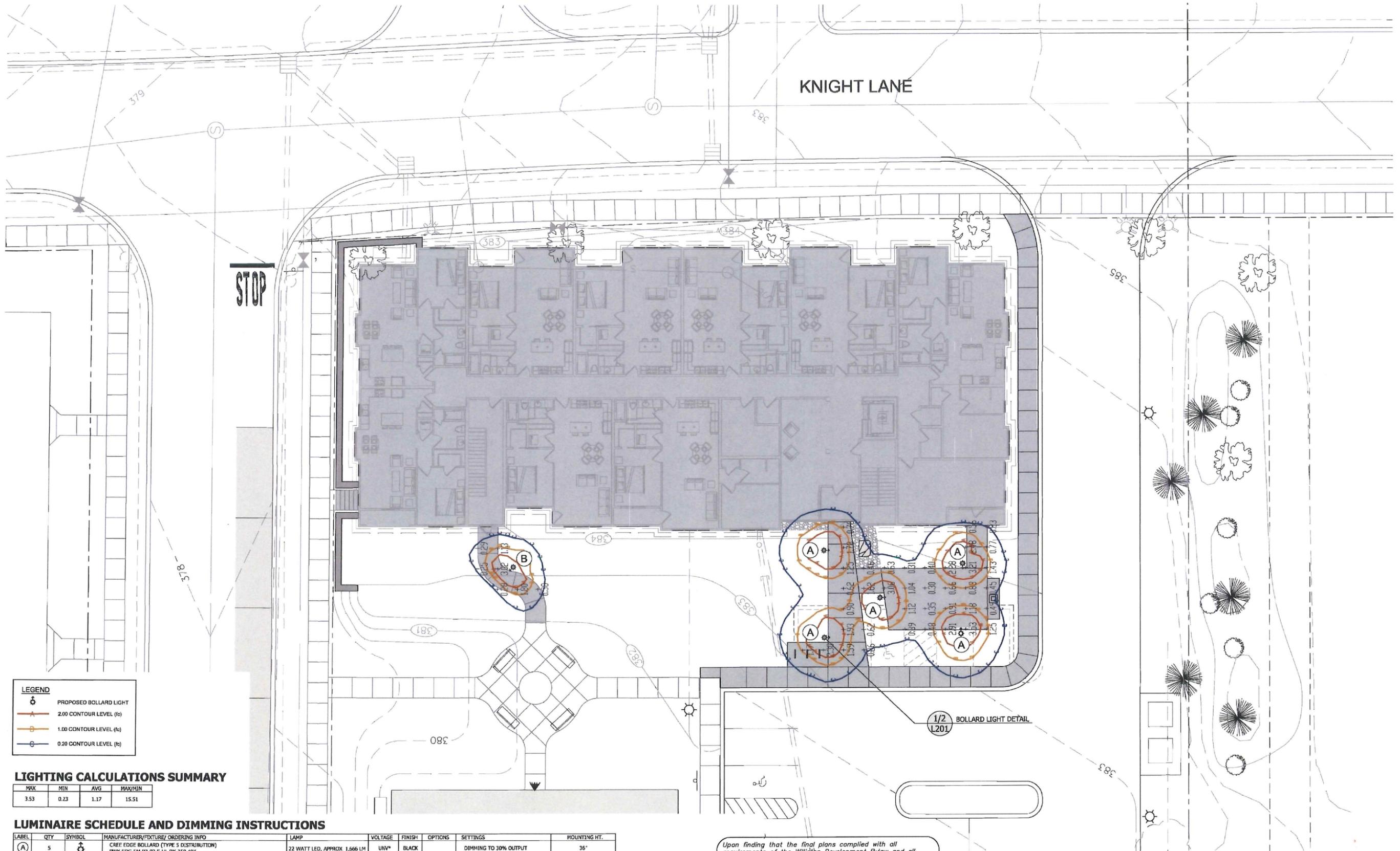
[Signature]
 Presiding member of Administrator signature



DRAFT FOR REVIEW
 10/08/2018

FINAL PLANS

KNIGHT LANE



LEGEND

- PROPOSED BOLLARD LIGHT
- 2.00 CONTOUR LEVEL (ft)
- 1.00 CONTOUR LEVEL (ft)
- 0.20 CONTOUR LEVEL (ft)

LIGHTING CALCULATIONS SUMMARY

MAX	MIN	AVG	MAX/MIN
3.53	0.23	1.17	15.51

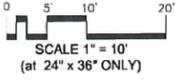
LUMINAIRE SCHEDULE AND DIMMING INSTRUCTIONS

LABEL	QTY	SYMBOL	MANUFACTURER/FIXTURE/ ORDERING INFO	LAMP	VOLTAGE	FINISH	OPTIONS	SETTINGS	MOUNTING HT.
(A)	5		CREE EDGE BOLLARD (TYPE 5 DISTRIBUTION) PWT-EDG-5M-P3-02-E-UL-BK-350-40K	22 WATT LED, APPROX. 1,566 LM	UNV*	BLACK		DIMMING TO 30% OUTPUT	36'
(B)	1		CREE EDGE BOLLARD (TYPE 3 DISTRIBUTION) PWT-EDG-3M-P3-02-E-UL-BK-350-40K	22 WATT LED, APPROX. 1,389 LM	UNV*	BLACK		DIMMING TO 30% OUTPUT	36'

NOTES:
* VOLTAGE TO BE VERIFIED BY ELECTRICIAN OR ELECTRICAL ENGINEER PRIOR TO ORDERING

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 13-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates of the 15th day of NOV, 2018.

Matthew Boyle
Presiding member or Administrator's signature



RELEASED FOR REVIEW
07/09/2018

FINAL PLANS

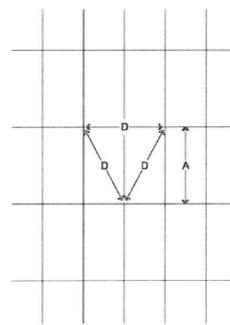
GENERAL PLANTING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. CONTACT DIG SAFE TWO FULL BUSINESS DAYS BEFORE PLANTING. (48 HOUR MIN.)
2. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. THE PLAN QUANTITIES SHALL ALWAYS SUPERCEDE THE PLANT LIST.
- 3.
4. ALL PLANT MATERIAL SHALL CONFORM AND BE INSTALLED TO THE GUIDELINES ESTABLISHED BY THE CURRENT ANSI Z60.1.
5. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AMENDED PLANTING SOIL AS PER THE CONTRACT SPECIFICATIONS.
7. SOIL DEPTH SHOULD BE AS LISTED BELOW WITH A 2/3 PLANTING SOIL TO 1/3 COMPOST MIX. EXISTING SOIL ON SITE WHICH MEETS THE CONTRACT SPECIFICATIONS MAY BE USED. REMOVE SUB GRADE AND OTHER GRAVEL FILL IN PLANTING AREAS ON SITE.
 - 7.1. GROUND COVER BEDS: 12" DEPTH.
 - 7.2. LAWN AREAS: 6" DEPTH
 - 7.3. SHRUB/PLANT BEDS: 18" DEPTH
8. PLANTS SHALL BE INSTALLED SUCH THAT THE ROOT FLARE IS AT OR SLIGHTLY ABOVE FINAL GRADE (DUE TO NURSERY PRACTICES THIS MAY REQUIRE REMOVING SOIL FROM THE TOP OF THE ROOT BALL TO LOCATE THE ROOT FLARE).
9. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF METAL, BURLAP, SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
10. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
11. THE DAY PRIOR TO PLANTING, ALL TREES AND SHRUBS SHALL BE FLAGGED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
12. STAKING PLANTS IS AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR.
13. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
14. THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
15. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR ANY SEASONAL REQUIREMENTS RELATED TO THE TIME OF PLANTING.

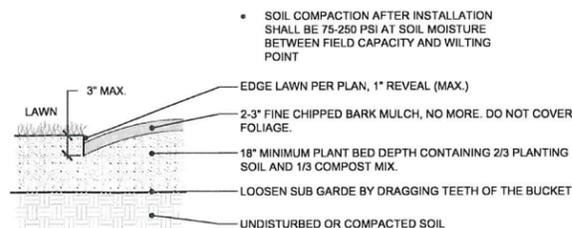
PLANT SPACING CHART

Spacing 'D'	Row 'A'	Number of Plants	Area Unit
6" O.C.	5.2'	4.61	1 SQ. FT.
8" O.C.	6.93'	2.6	
10" O.C.	8.66'	1.66	
12" O.C.	10.4'	1.15	
15" O.C.	13.0'	0.78	10 SQ. FT.
18" O.C.	15.6'	0.51	
24" O.C.	20.8'	0.29	
30" O.C.	26.0'	0.15	
36" O.C.	30.0'	0.12	
4" O.C.	3.46'	7.25	100 SQ. FT.
5" O.C.	4.38'	4.61	
6" O.C.	5.2'	3.2	
8" O.C.	6.93'	1.8	
10" O.C.	8.66'	1.16	
12" O.C.	10.4'	0.8	1000 SQ. FT.
15" O.C.	13.0'	0.5	
20" O.C.	17.3'	0.28	
25" O.C.	21.85'	0.15	
30" O.C.	26.0'	0.12	
40" O.C.	34.6'	0.07	10,000 SQ. FT.

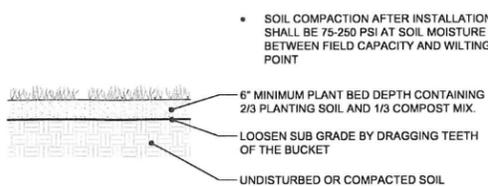
O.C. = ON CENTER FOR USE WHEN PLANTS ARE SHOWN EQUIDISTANT FROM EACH OTHER (AS SHOWN)



7 PLANT SPACING CHART DETAIL
L200 NTS

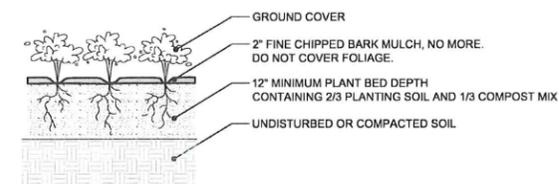


6 PLANT BED
L200 NTS

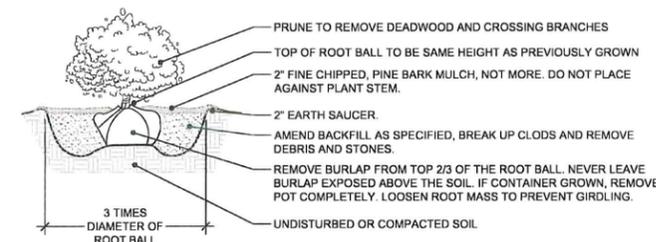


5 LAWN & SEEDING AREA
L200 NTS

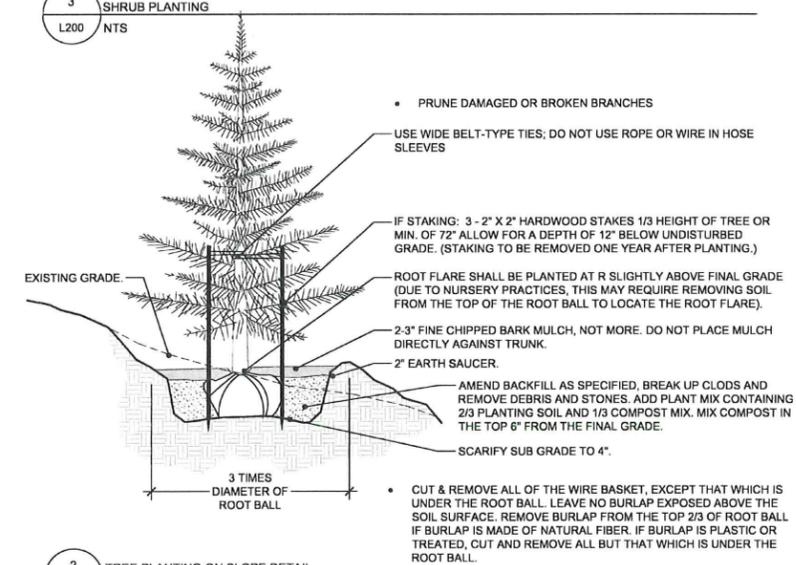
RELEASED FOR REVIEW
07/09/2018



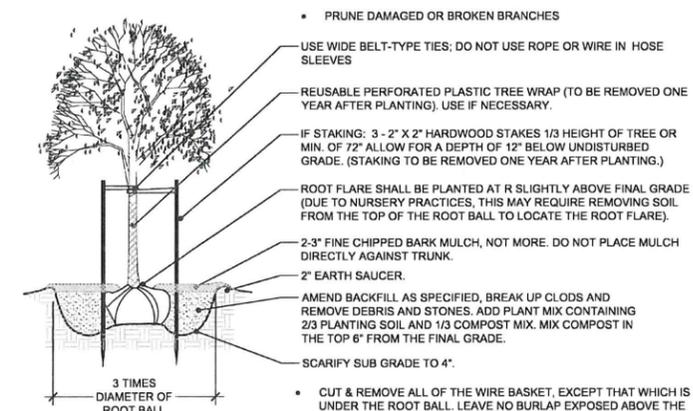
4 GROUND COVER PLANTING
L200 NTS



3 SHRUB PLANTING
L200 NTS

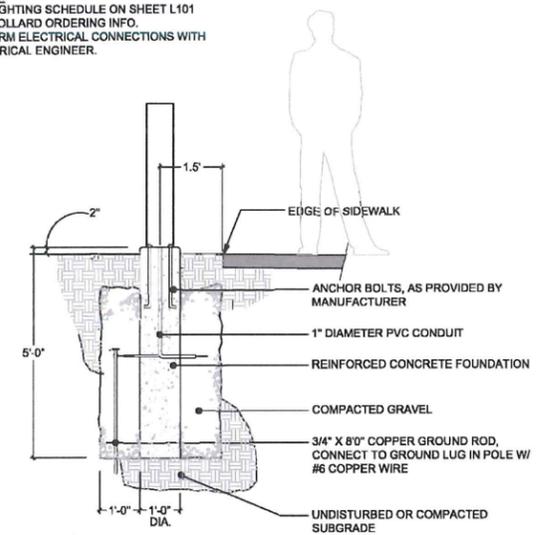


2 TREE PLANTING ON SLOPE DETAIL
L200 NTS



1 TREE PLANTING DETAIL
L200 NTS

NOTES:
SEE LIGHTING SCHEDULE ON SHEET L101
FOR BOLLARD ORDERING INFO.
CONFIRM ELECTRICAL CONNECTIONS WITH
ELECTRICAL ENGINEER.



2 LIGHT FIXTURE INSTALLATION DETAIL
L201 NTS

Cree Edge™ Series
LED Pathway Luminaire

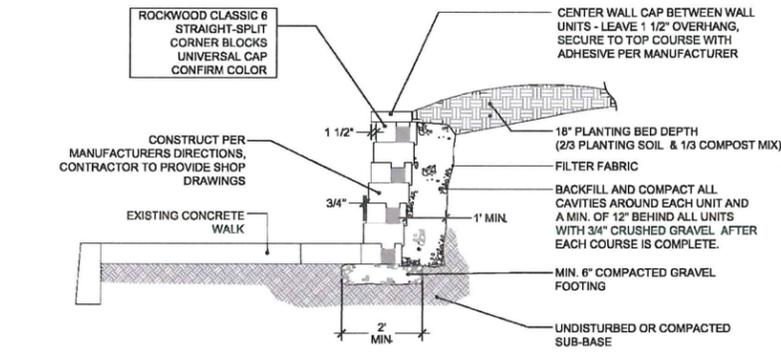
Product Description
The Cree Edge™ Series LED Pathway Luminaire is a cast aluminum luminaire housing, made of die-cast aluminum, with a black powder-coated finish. The luminaire is designed for use in outdoor applications. It features a 1.5-inch diameter and a 1.5-foot height. The luminaire is mounted on a 5-foot diameter reinforced concrete foundation. The foundation is set in a 1-foot diameter hole in the ground, which is filled with compacted gravel. A 3/4-inch x 8-foot copper ground rod is connected to a ground lug in a pole with #6 copper wire. The luminaire is secured with anchor bolts. The top of the luminaire is 1.5 inches from the edge of the sidewalk. The foundation is 1 foot from the edge of the sidewalk. The ground around the foundation is undisturbed or compacted subgrade.



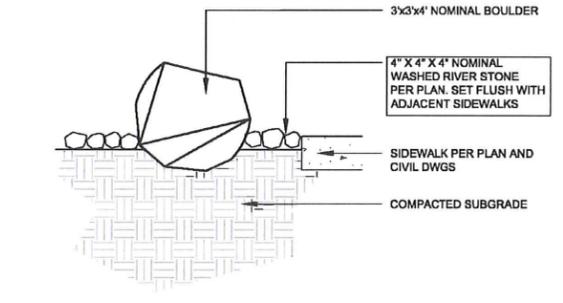
Model	Dim. "A"	Weight*
Landscape (P1)	18" (457mm)	12.7 lbs (5.8 kg)
Landscape (P2)	18" (457mm)	12.2 lbs (5.6 kg)
Pathway (P3)	30" (762mm)	15.9 lbs (7.2 kg)
Pathway (P4)	42" (1067mm)	15.4 lbs (7.0 kg)
Pathway (P5)	60" (1524mm)	20.4 lbs (9.3 kg)

Ordering Information
Lamp: 4-PIN-LSC-2P-2P-2P-4-5U-5V-250

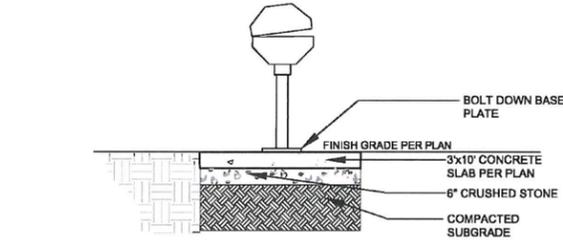
Product	Optic	Mounting	LED Count (W)	Series	Wattage	Color Options	Drive Current	Options
PW1000	2M	PS	18	SL	10W	SR	350	F: Pole Mount (See Schedule for details)
	4M	PS	36	SL	20W	SR	350	F: Pole Mount (See Schedule for details)
	8M	PS	72	SL	40W	SR	350	F: Pole Mount (See Schedule for details)
	16M	PS	144	SL	80W	SR	350	F: Pole Mount (See Schedule for details)
	32M	PS	288	SL	160W	SR	350	F: Pole Mount (See Schedule for details)
	64M	PS	576	SL	320W	SR	350	F: Pole Mount (See Schedule for details)
	128M	PS	1152	SL	640W	SR	350	F: Pole Mount (See Schedule for details)
	256M	PS	2304	SL	1280W	SR	350	F: Pole Mount (See Schedule for details)
	512M	PS	4608	SL	2560W	SR	350	F: Pole Mount (See Schedule for details)
	1024M	PS	9216	SL	5120W	SR	350	F: Pole Mount (See Schedule for details)
	2048M	PS	18432	SL	10240W	SR	350	F: Pole Mount (See Schedule for details)
	4096M	PS	36864	SL	20480W	SR	350	F: Pole Mount (See Schedule for details)
	8192M	PS	73728	SL	40960W	SR	350	F: Pole Mount (See Schedule for details)
	16384M	PS	147456	SL	81920W	SR	350	F: Pole Mount (See Schedule for details)
	32768M	PS	294912	SL	163840W	SR	350	F: Pole Mount (See Schedule for details)
	65536M	PS	589824	SL	327680W	SR	350	F: Pole Mount (See Schedule for details)
	131072M	PS	1179648	SL	655360W	SR	350	F: Pole Mount (See Schedule for details)
	262144M	PS	2359296	SL	1310720W	SR	350	F: Pole Mount (See Schedule for details)
	524288M	PS	4718592	SL	2621440W	SR	350	F: Pole Mount (See Schedule for details)
	1048576M	PS	9437184	SL	5242880W	SR	350	F: Pole Mount (See Schedule for details)
	2097152M	PS	18874368	SL	10485760W	SR	350	F: Pole Mount (See Schedule for details)
	4194304M	PS	37748736	SL	20971520W	SR	350	F: Pole Mount (See Schedule for details)
	8388608M	PS	75497472	SL	41943040W	SR	350	F: Pole Mount (See Schedule for details)
	16777216M	PS	150994944	SL	83886080W	SR	350	F: Pole Mount (See Schedule for details)
	33554432M	PS	301989888	SL	167772160W	SR	350	F: Pole Mount (See Schedule for details)
	67108864M	PS	603979776	SL	335544320W	SR	350	F: Pole Mount (See Schedule for details)
	134217728M	PS	1207959552	SL	671088640W	SR	350	F: Pole Mount (See Schedule for details)
	268435456M	PS	2415919104	SL	1342177280W	SR	350	F: Pole Mount (See Schedule for details)
	536870912M	PS	4831838208	SL	2684354560W	SR	350	F: Pole Mount (See Schedule for details)
	1073741824M	PS	9663676416	SL	5368709120W	SR	350	F: Pole Mount (See Schedule for details)
	2147483648M	PS	19327352832	SL	10737418240W	SR	350	F: Pole Mount (See Schedule for details)
	4294967296M	PS	38654705664	SL	21474836480W	SR	350	F: Pole Mount (See Schedule for details)
	8589934592M	PS	77309411328	SL	42949672960W	SR	350	F: Pole Mount (See Schedule for details)
	17179869184M	PS	154618822656	SL	85899345920W	SR	350	F: Pole Mount (See Schedule for details)
	34359738368M	PS	309237645312	SL	171798691840W	SR	350	F: Pole Mount (See Schedule for details)
	68719476736M	PS	618475290624	SL	343597383680W	SR	350	F: Pole Mount (See Schedule for details)
	137438953472M	PS	1236950581248	SL	687194767360W	SR	350	F: Pole Mount (See Schedule for details)
	274877906944M	PS	2473901162496	SL	1374389534720W	SR	350	F: Pole Mount (See Schedule for details)
	549755813888M	PS	4947802324992	SL	2748779069440W	SR	350	F: Pole Mount (See Schedule for details)
	1099511627776M	PS	9895604649984	SL	5497558138880W	SR	350	F: Pole Mount (See Schedule for details)
	2199023255552M	PS	19791209299968	SL	10995116277760W	SR	350	F: Pole Mount (See Schedule for details)
	4398046511104M	PS	39582418599936	SL	21990232555520W	SR	350	F: Pole Mount (See Schedule for details)
	8796093022208M	PS	79164837199872	SL	43980465111040W	SR	350	F: Pole Mount (See Schedule for details)
	17592186444416M	PS	158329674399744	SL	87960930222080W	SR	350	F: Pole Mount (See Schedule for details)
	35184372888832M	PS	316659348799488	SL	175921864444160W	SR	350	F: Pole Mount (See Schedule for details)
	70368745777664M	PS	633318697598976	SL	351843728888320W	SR	350	F: Pole Mount (See Schedule for details)
	14073749155328M	PS	1266637395197952	SL	703687457776640W	SR	350	F: Pole Mount (See Schedule for details)
	28147498310656M	PS	2533274790395904	SL	140737491553280W	SR	350	F: Pole Mount (See Schedule for details)
	56294996621312M	PS	5066549580791808	SL	281474983106560W	SR	350	F: Pole Mount (See Schedule for details)
	112589993242624M	PS	10133099161583616	SL	562949966213120W	SR	350	F: Pole Mount (See Schedule for details)
	225179986485248M	PS	20266198323167232	SL	1125899932426240W	SR	350	F: Pole Mount (See Schedule for details)
	450359972970496M	PS	40532396646334464	SL	2251799864852480W	SR	350	F: Pole Mount (See Schedule for details)
	900719945940992M	PS	81064793292668928	SL	4503599729704960W	SR	350	F: Pole Mount (See Schedule for details)
	1801439891881984M	PS	162129586585337856	SL	9007199459409920W	SR	350	F: Pole Mount (See Schedule for details)
	3602879783763968M	PS	324259173170675712	SL	18014398918819840W	SR	350	F: Pole Mount (See Schedule for details)
	7205759567527936M	PS	648518346341351424	SL	36028797837639680W	SR	350	F: Pole Mount (See Schedule for details)
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	57646076522235488M	PS	5188146770730811392	SL	288230382611177440W	SR	350	F: Pole Mount (See Schedule for details)
	115292153044470976M	PS	10376293541461622784	SL	576460765222354880W	SR	350	F: Pole Mount (See Schedule for details)
	230584306089241952M	PS	20752587082923245568	SL	1152921530444709760W	SR	350	F: Pole Mount (See Schedule for details)
	461168612178483904M	PS	41505174165846491136	SL	2305843060892419520W	SR	350	F: Pole Mount (See Schedule for details)
	922337224356967808M	PS	83010348331692982272	SL	4611686121784839040W	SR	350	F: Pole Mount (See Schedule for details)
	18446744887139376384M	PS	166020696663385964544	SL	9223372243569678080W	SR	350	F: Pole Mount (See Schedule for details)
	36893489774278752768M	PS	332041393326771929088	SL	184467448871393763840W	SR	350	F: Pole Mount (See Schedule for details)
	73786979548557505728M	PS	664082786653543858176	SL	368934897742787527680W	SR	350	F: Pole Mount (See Schedule for details)
	147573959097115171456M	PS	1328165573307087716352	SL	737869795485575057280W	SR	350	F: Pole Mount (See Schedule for details)
	295147918194230342912M	PS	2656331146614175432704	SL	1475739590971151714560W	SR	350	F: Pole Mount (See Schedule for details)
	590295836388460685824M	PS	5312662293228350865408	SL	2951479181942303429120W	SR	350	F: Pole Mount (See Schedule for details)
	1180591672776921371648M	PS	10625324586456701730816	SL	5902958363884606858240W	SR	350	F: Pole Mount (See Schedule for details)
	2361183345553842743296M	PS	21250649172913403461632	SL	11805916727769213716480W	SR	350	F: Pole Mount (See Schedule for details)
	4722366691107685486592M	PS	42501298345826806923264	SL	23611833455538427432960W	SR	350	F: Pole Mount (See Schedule for details)
	94447333822153709728M	PS	85002596691653613846528	SL	47223666911076854865920W	SR	350	F: Pole Mount (See Schedule for details)
	188894677643275417456M	PS	17000519338330722773056	SL	944473338221537097280W	SR	350	F: Pole Mount (See Schedule for details)
	377789355286550834912M	PS	34001038676661445546112	SL	1888946776432754174560W	SR	350	F: Pole Mount (See Schedule for details)
	755578710573101669824M	PS	68002077353322891092224	SL	3777893552865508349120W	SR	350	F: Pole Mount (See Schedule for details)
	1511157421146203339648M	PS	136004154706645782184448	SL	7555787105731016698240W	SR	350	F: Pole Mount (See Schedule for details)
	3022314842292406679296M	PS	272008309413291564368896	SL	15111574211462033396480W	SR	350	F: Pole Mount (See Schedule for details)
	6044629684584813358592M	PS	544016618826583128737792	SL	30223148422924066792960W	SR	350	F: Pole Mount (See Schedule for details)
	12089259369166266737184M	PS	108803327765316625747584	SL	60446296845848133585920W	SR	350	F: Pole Mount (See Schedule for details)
	241785187383325334753728M	PS	217606655530633251495168	SL	120892593691662667371840W	SR	350	F: Pole Mount (See Schedule for details)
	483570374766650669507456M	PS	435213311061266502990336	SL	2417851873833253347537280W	SR	350	F: Pole Mount (See Schedule for details)
	967140749533301339014912M	PS	870426622122533005980672	SL	4835703747666506695074560W	SR	350	F: Pole Mount (See Schedule for details)
	1934281499066602678029824M	PS	17408532442450660119601344	SL	9671407495333013390149120W	SR	350	F: Pole Mount (See Schedule for details)
	386856299813320535605888M	PS	34817064884901320239202688	SL	19342814990666026780298240W	SR	350	F: Pole Mount (See Schedule for details)
	773712599626641071211673728M	PS	69634129769802640478405376	SL	3868562998133205356058880W	SR	350	F: Pole Mount (See Schedule for details)
	1547425199253282142423471552M	PS	139268259539605280956810752	SL	7737125996266410712116737280W	SR	350	F: Pole Mount (See Schedule for details)
	3094850398506564284856943104M	PS	278536519079210561913621504	SL	15474251992532821424234715520W	SR	350	F: Pole Mount (See Schedule for details)
	6189700797013128569712828208M	PS	557073038158421123827243008	SL	30948503985065642848569431040W	SR	350	F: Pole Mount (See Schedule for details)
	12379401594026257136444860416M	PS	1114146076316842247654466016	SL	61897007970131285697128282080W	SR	350	F: Pole Mount (See Schedule for details)
	24758803188052514288891321232M	PS	2228292152633684495308892032	SL	123794015940262571364448604160W	SR	350	F: Pole Mount (See Schedule for details)
	4951760637610502857777764448M	PS	4456584305267368990617764064	SL	247588031880525142888913212320W	SR	350	F: Pole Mount (See Schedule for details)
	9903521275221005715555528896M	PS	8913168610534737981235528128	SL	495			



9 WALL DETAIL
L202 NTS



8 WASHED RIVER STONE AND BOULDER
L202 NTS

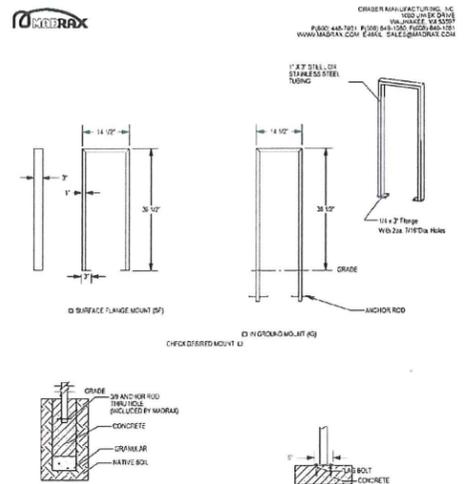


7 COVERED GRILL MOUNTING
L202 NTS

RELEASED FOR REVIEW
07/09/2018

COMPANY: VICTOR STANLEY
PRODUCT: PRODUCTION SERIES BENCH PRS-10
OPTIONS: 6-FOOT LENGTH RECYCLED PLASTIC SLATS
QUANTITY: 2
NOTES: SURFACE MOUNT PER MANUFACTURER'S DIRECTIONS

6 BENCHES
L202 NTS



5 BIKE RACK
L202 NTS

COMPANY: PILOT ROCK
PRODUCT: METRO MET-2-SF
OPTIONS: SURFACE FLANGE MOUNT
MATERIAL: GALVANIZED
QUANTITY: 3 TOTAL
NOTES: SPACE 36\"/>

4 HOT COAL BIN
L202 NTS

COMPANY: MADRAX
PRODUCT: METRO MET-2-SF
OPTIONS: SURFACE FLANGE MOUNT
MATERIAL: GALVANIZED
QUANTITY: 3 TOTAL
NOTES: SPACE 36\"/>

3 COVERED GRILLS
L202 NTS

COMPANY: SITE AMENITIES
PRODUCT: 46 IN. SQUARE ULTRA LEISURE WHEELCHAIR ACCESSIBLE PORTABLE TABLE - 3 SEATS, TEXTURED POLY COATING
COLOR: BLACK
QUANTITY: 2

2 OUTDOOR TABLES
L202 NTS

COMPANY: BRICKFORM (of SOLOMON COLORS)
PRODUCT: CLASSIC WOOD TEXTURE MAT
TOTAL AREA: 450 sq ft
CONCRETE ADMIXTURE COLORING PRODUCT: SCOFIELD CHROMIX ADMIXTURE - C15 COACHELLA SAND OR APPROVED EQUAL
INSTALL PER MANUFACTURER'S DIRECTIONS

1 STAMPED CONCRETE - CLASSIC WOOD TEXTURE MAT AND CONCRETE ADMIXTURE COLORING PRODUCT
L202 NTS

LOT 6 - MANSFIELD BUSINESS PARK WILLISTON, VERMONT



PERMIT/CONSTRUCTION SET - 09/24/18

ABBREVIATIONS					ARCHITECTURAL SYMBOLS			DRAWING INDEX																																																																																																																										
<p>ADD ADDITIONAL A/C AIR CONDITION(ING) AT ACOUSTIC TILE ADJ ADJUSTABLE AFF ABOVE FINISH FLOOR ALUM ALUMINUM APROX APPROXIMATE ARCH ARCHITECTURAL</p> <p>BD BOARD BLDG BUILDING BLKG BLOCKING B6MT BASEMENT</p> <p>CAB CABINET CER CERAMIC CJ CONTROL JOINT CL CLEAR, CLEARANCE CLG CEILING C.H. CEILING HEIGHT CMU CONCRETE MASONRY UNIT COL COLUMN CONC CONCRETE CONST CONSTRUCTION CONT CONTINUOUS CPT CARPET CT CERAMIC TILE</p> <p>DET DETAIL DIA DIAMETER DIM DIMENSION DN DOWN DS DOWNSPOUT DWG DRAWING</p> <p>E EAST EA EACH ELEC ELECTRICAL ELEV ELEVATION, ELEVATOR EQ EQUAL EQUIP EQUIPMENT EXIST EXISTING EXP EXPANSION</p> <p>FD FLOOR DRAIN FF FINISHED FLOOR FEC FIRE EXTINGUISHER W/ CABINET F. EXT. FIRE EXTINGUISHER W/O CABINET FIN FINISH FL FLOOR, FLASHING FT FOOT, FEET FTG FOOTING</p>	<p>GA GAGE GALV GALVANIZED GC GENERAL CONTRACTOR GL GLASS GYP GYPSUM</p> <p>H.HGT HEIGHT HC HOLLOW CORE HORIZ HORIZONTAL H/C HANDICAP HM HOLLOW METAL HVAC HEATING, VENTILATION, & A/C</p> <p>ID INSIDE DIAMETER IN INCH INSUL INSULATION, INSULATED INT INTERIOR INCL INCLUDED JAN, JC JANITOR'S CLOSET JT JOINT KJT KITCHEN, KITCHENETTE LAV LAVATORY LAM LAMINATE MATL MATERIAL MAX MAXIMUM MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MTL METAL MIN MINIMUM MO MASONRY OPENING</p> <p>N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE OC ON CENTER OD OUTSIDE DIAMETER OPNG OPENING OPP OPPOSITE PL PLATE PLYWD PLYWOOD PRELIM PRELIMINARY PSI POUNDS PER SQUARE INCH PTD PAINTED P.T. PRESSURE TREATED</p>	<p>PVC POLYVINYL CHLORIDE QT QUARRY TILE R RADIUS, RISER RD ROOF DRAIN, ROAD REINF REINFORCEMENT REQD REQUIRED REV REVISION RM ROOM RO ROUGH OPENING</p> <p>S SOUTH SCH SCHEDULE SCW SOLID CORE WOOD SECT SECTION SHT SHEET SIM SIMILAR SL SLOPE SPEC SPECIFICATION SQ SQUARE STD STANDARD STL STEEL SUSP SUSPENDED S. STL STAINLESS STEEL</p> <p>T & G TONGUE AND GROOVE TEL TELEPHONE TEMP TEMPORARY TH, THK THICK, THICKNESS THRSLD THRESHOLD TOS TOP OF STEEL, SLAB TOW TOP OF WALL TYP TYPICAL</p> <p>UNO UNLESS NOTED OTHERWISE VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD WVC VINYL WALL COVERING</p> <p>W WIDTH, WASTE, WATER, WEST W/ WITH W/O WITHOUT WD WOOD WT WEIGHT WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH</p>	<p>DWG. NUMBER TITLE LINE</p> <p>ELEVATION NO. ELEVATION</p> <p>SECTION NO. SECTION MARKER</p> <p>DETAIL MARKER</p> <p>DOOR NUMBER</p> <p>WINDOW TYPE</p> <p>COLUMN GRID</p> <p>CENTER LINE</p> <p>ROOM NUMBER</p> <p>ELEVATION TAG</p> <p>SPOT ELEVATION</p> <p>PARTITION TYPE</p> <p>ROOF SLOPE INDICATION</p> <p>REVISION</p> <p>PROPERTY LINE</p> <p>NORTH DESIGNATION</p> <p>CHANGE IN ELEVATION</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SHEET NO.</th> <th>DRAWING NAME</th> <th>SHEET NO.</th> <th>DRAWING NAME</th> <th>SHEET NO.</th> <th>DRAWING NAME</th> </tr> </thead> <tbody> <tr> <td colspan="6" style="text-align: center;">ARCHITECTURAL</td> </tr> <tr> <td>A001</td> <td>CODE REVIEW</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A101</td> <td>BASEMENT FLOOR PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A102</td> <td>FIRST FLOOR PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A103</td> <td>SECOND FLOOR PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A104</td> <td>THIRD FLOOR PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A105</td> <td>ROOF PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A201</td> <td>EXTERIOR ELEVATIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A202</td> <td>EXTERIOR ELEVATIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A301</td> <td>BUILDING SECTION AND DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A401</td> <td>UNIT PLANS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A402</td> <td>UNIT PLANS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A460</td> <td>STAIR AND ELEVATOR DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A461</td> <td>STAIR DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A501</td> <td>WALL SECTIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A601</td> <td>DOOR AND WINDOW SCHEDULE</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A701</td> <td>RATED ASSEMBLY DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A702</td> <td>RATED ASSEMBLY DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A703</td> <td>RATED ASSEMBLY DETAILS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A801</td> <td>FAIR HOUSING GUIDELINES</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	SHEET NO.	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Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 18-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates on the 14th day of NOV, 2018.

Matthew Blaine
Presiding member or Administrator's signature



RA
Rabideau Architects

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Suite 101
South Burlington VT 05403
802.863.0222
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FINAL PLANS

MANSFIELD APARTMENTS - WILLISTON VT

BUILDING CODE EDITION: 2015 IBC AND 2015 NFPA 101
Approved Automatic Sprinkler System Provided - NFPA 13R



DATE:	09/24/18
REVISIONS:	
PERMIT/CONSTRUCTION SET	

REVISIONS:	
PERMIT/CONSTRUCTION SET	

CODE REVIEW

LOT 6 - MANSFIELD BUSINESS PARK

VERMONT
WILLISTON

550 Hinsburg Road
Suite 101
South Burlington, VT 05403
Rabideau Architects
RabideauArchitects.com



PROJECT # **1705**

SHEET NUMBER

A001

09/26/17

Building Use or Occupancy	
Use and Occupancy Classification Group(s) in the Building:	IBC: R-2 NFPA 101: Apartment Building (IBC: 310.4) (NFPA 101:6.1.8.1.5)

Building Construction Height and Area	
Construction Type used in the design: Type VB	Occupancy group
	R-2
Allowable Building Height in feet above grade plane (per IBC:Table 504.3)	60
Allowable Building Height in stories above grade plane (per IBC:Table 504.4)	3
Allowable Building Area in square feet (per IBC:Table 506.2)	7,000
Building frontage on public way area increase (IBC:506.3)	4,083
Formula: $I = [F/P - 0.25]W/30$	
Calculations: $I = [380/456 - 0.25]30/30 = 0.5833 \times 7,000 = 4,083$	
Allowable Building Area with Increases, In square feet	11,083
Actual Building Height in feet above grade plane	37
Actual Building Height in stories above grade plane	3
Actual Building Area in square feet	10,290

"Sum of the Ratios" Allowable Area Calculation: (IBC: 506.2.4)			
Not required for single occupancy buildings	-	-	-

Required Occupancy Separation (with sprinkler reduction)	
Separated Occupancy Fire Ratings Required (NFPA 101:Table 6.1.14.4.1)	N/A
Dwelling unit separation (NFPA 101:30.3.7.2)	Vertical Separation between dwelling units = 1/2 hr Horizontal Separation between dwelling units = 1/2 hr
Non-Separated Occupancy (IBC: 508.3) and (NFPA 101:6.1.14.3)	N/A
Construction type limitations for Assembly uses (NFPA 101:Table 12.1.6)	N/A

Accessory use areas (per IBC: 508.2)				
Room or Area	1st Floor Area	2nd Floor Area	3rd Floor Area	Fire Separation
Storage / Mechanical	387 SF = 2.9%	64 sf = 0.5%	64 sf = 0.5%	1 hr @ guest rooms

Incidental Use Areas (per IBC: Table 509)	
Room or Area	Fire Separation
Boiler rooms where equipment is over 15 psi and 10 hp	1 hr or sprinkler
Waste and Linen Rooms over 100 sf	1 hr or sprinkler
Laundry rooms over 100 sf	1 hr or sprinkler
Totals	

Hazardous Use Areas (per NFPA 101:Table 30.3.2.1.1)	
Room or Area	Fire Separation
Boiler rooms serving more than 1 guest room or suite	1 hr and sprinkler
Laundry 100 sf and under, outside of dwelling unit	1 hr or sprinkler
Laundry over 100 sf, outside of dwelling unit	1 hr and sprinkler
Storage rooms, outside of dwelling unit	1 hr or sprinkler
Trash collection rooms	1 hr and sprinkler

Fire Resistance of Exterior Walls Based on Fire Separation Distance (IBC: Table 602 and IBC: Table 705.8)				
Wall Location	Fire Separation Distance:	Rating	Opening Protection	Allowable wall openings
North	> 30 ft	0	0	no limit
South	> 30 ft	0	0	no limit
West	> 30 ft	0	0	no limit
East	> 30 ft	0	0	no limit

Fire Resistance Rating Requirements (per IBC: Table 601)	
Structural Frame	Rating Required
Bearing Walls - Exterior	0 hr
Bearing Walls - Interior	0 hr
Nonbearing Walls & Partitions - Exterior	0 hr
Nonbearing Walls & Partitions - Interior	0 hr
Floor Construction	0 hr
Roof Construction	0 hr
Stair Enclosure - Three Stories (NFPA 101:7.1.3.2.1)	N/A
Stair Enclosure - Four Stories (NFPA 101:7.1.3.2.1)	2 hr
Shaft Enclosure (4 stories) (NFPA 101:8.6.5)	2 hr
Elevator enclosure (NFPA 101:8.6.5)	1 hr
Elevator machine room (IBC: 3005.4)	1 hr
Corridors (NFPA 101:30.3.6.1.2)	1/2 hr

New Stair Requirements (NFPA 101: Table 7.2.2.1.1(a))	
Minimum Width	Dimensional criteria
Maximum Height of Risers	7 Inches
Minimum Height of Risers	4 Inches
Minimum Tread Depth	11 Inches
Minimum Headroom	6 feet 8 Inches
Maximum Height Between Landings	12 feet

Means of Egress (NFPA: 30.2 New Apartment Buildings)	
Minimum Corridor width	Distance
Common Path of Travel (w/ Sprinkler System)	44"
Dead-end Corridors (w/ Sprinkler System)	Maximum 50 feet
Distance from dwelling unit door to nearest exit (w/ Sprinkler System)	Maximum 200 feet
Distance from within dwelling unit (w/ Sprinkler System)	Maximum 125 feet

Occupant Load (NFPA: Table 7.3.1.2)							
Use	Factor	1st floor Area	1st floor Occupant Load	2nd floor Area	2nd floor Occupant Load	3rd floor Area	3rd floor Occupant Load
Apartment Buildings	200.0	10,290	52	10,290	52	10,290	52
Total		10,290	52	10,290	52	10,290	52

Fire Alarm Initiation

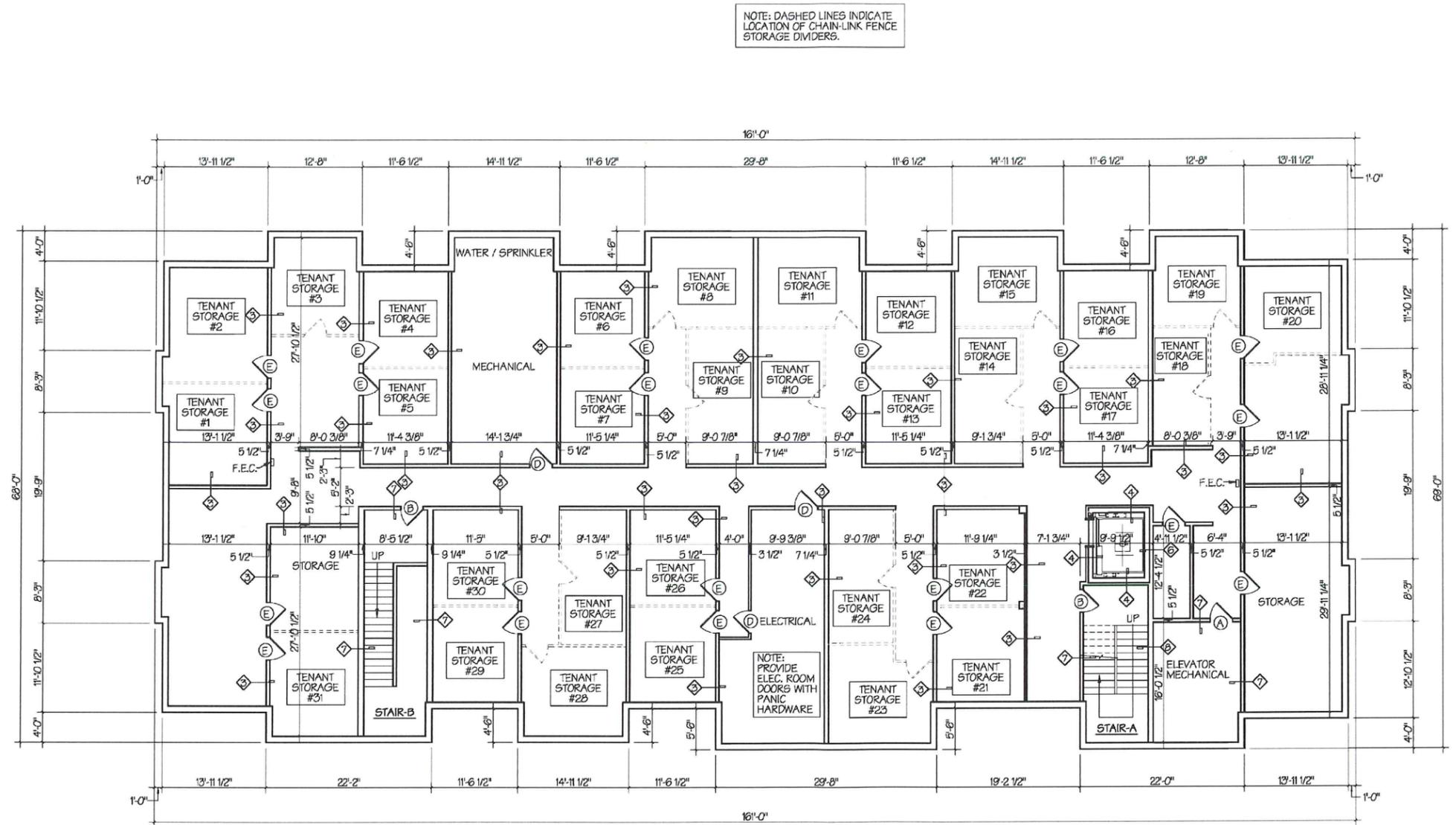
Initiation of the required fire alarm system shall be by manual means in accordance with NFPA 101, 9.6.2.

In buildings protected throughout by an approved, supervised automatic sprinkler system in accordance with 30.3.5, required fire alarm systems shall be initiated upon operation of the automatic sprinkler system.



DATE: 09/24/18

REVISIONS: PERMIT/CONSTRUCTION SET



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

BASEMENT FLOOR PLAN

LOT 6 - MANSFIELD BUSINESS PARK

VERMONT

WILLISTON

550 Hinesburg Road
Suite 101
South Burlington, VT 05403
802.883.0222
Rabideau-Architects.com



PROJECT # **1705**

SHEET NUMBER

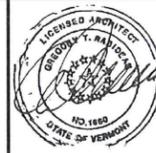
A101

09/26/17

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 18-04, the Williston Development Review Board/Administrator approved the final plans for Village Associates on the 13 day of NOV, 2018.

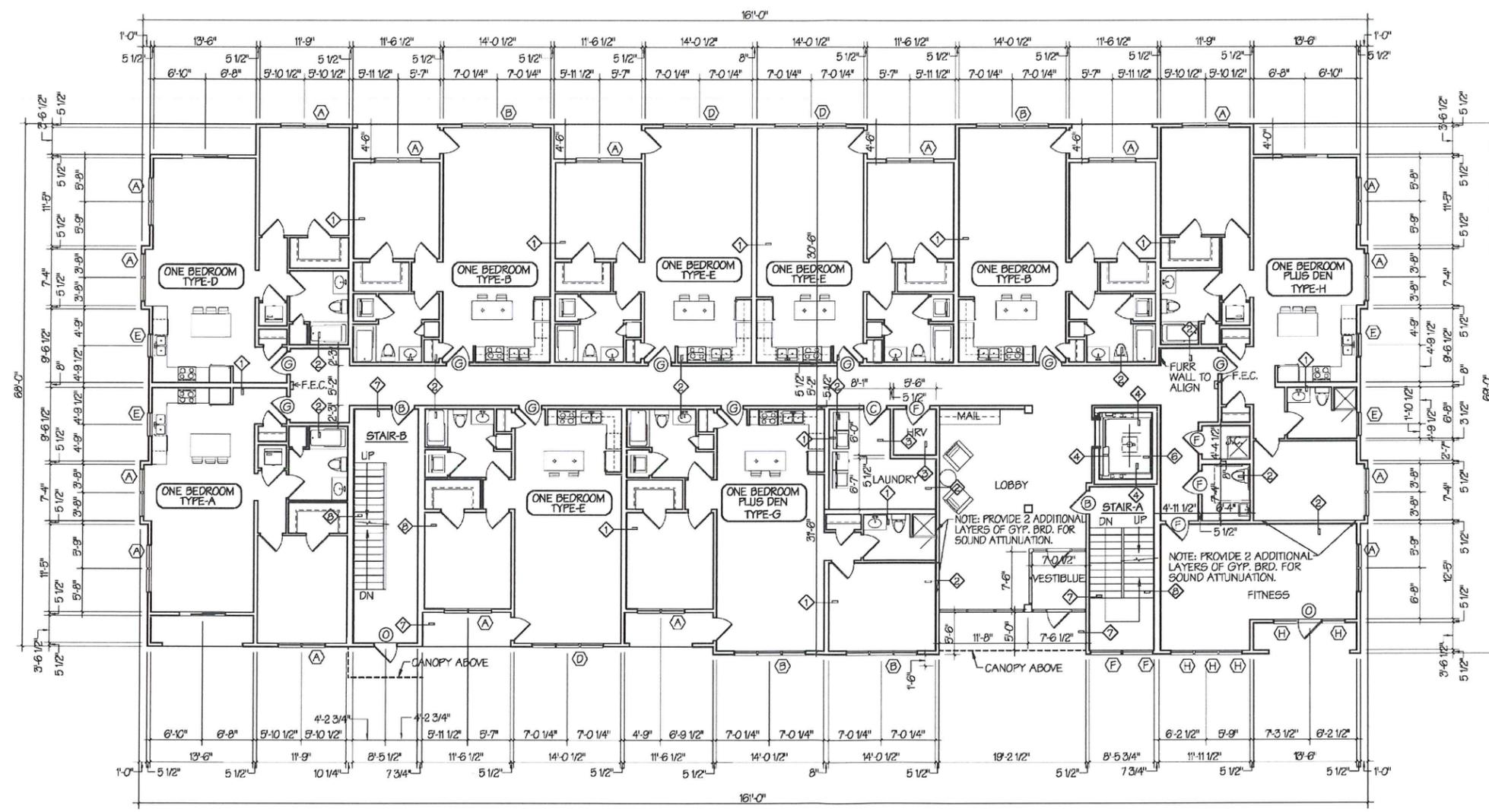
[Signature]
Presiding member or Administrator's signature

FINAL PLANS



DATE: 09/24/18

REVISIONS: PERMIT/CONSTRUCTION SET



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit 18-011, the Williston Development Review Board/Administrators approved the final plans for Village Associates of Williston, Vermont on 09/20/18.
Presiding member or Administrator's signature

FIRST FLOOR PLAN

LOT 6 - MANSFIELD BUSINESS PARK

VERMONT

WILLISTON

550 Hinshaw Road
Suite 101
Williston, VT 05403
802.883.0222
Rabideau Architects.com

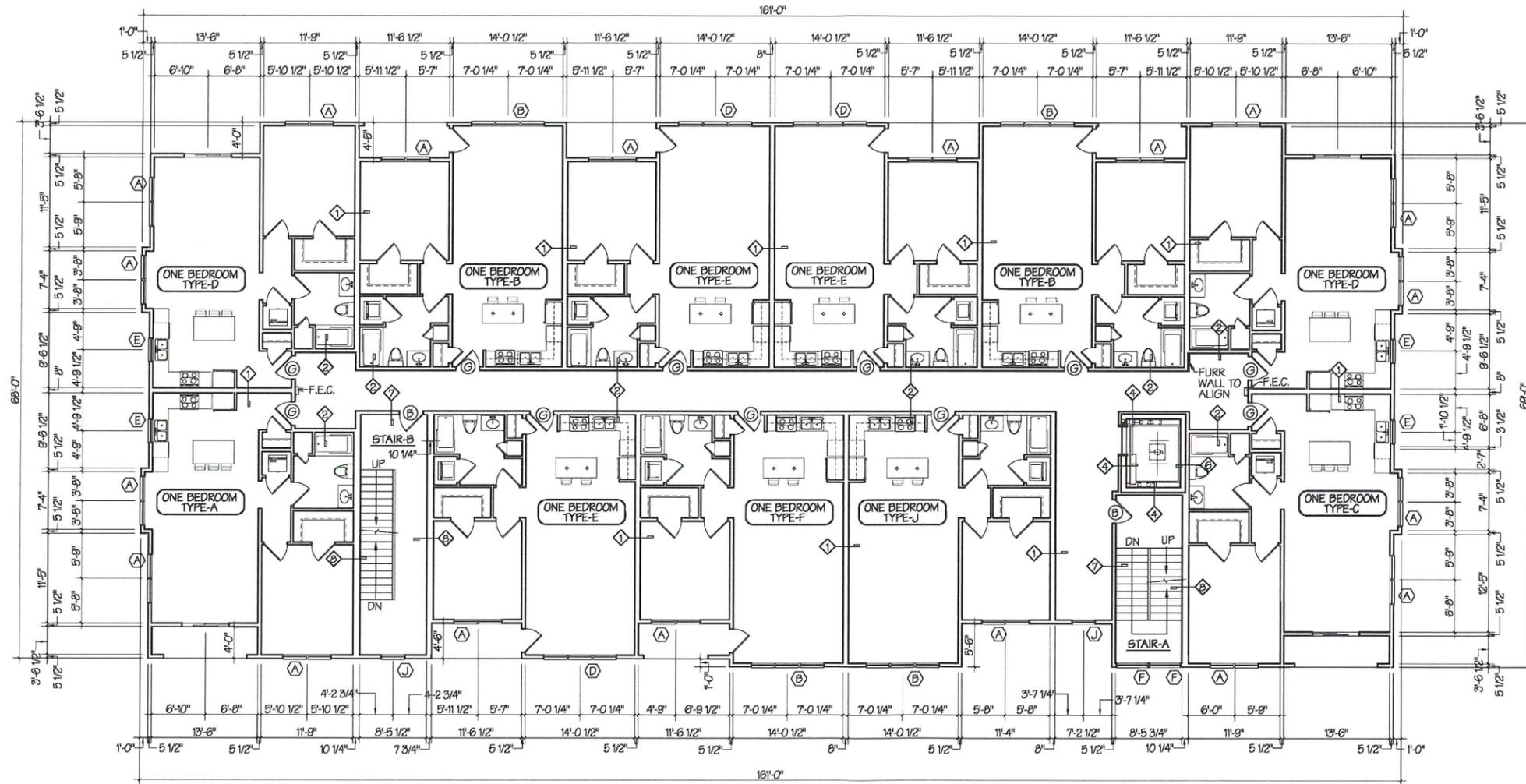


PROJECT # **1705**
SHEET NUMBER

A102

09/26/17

FINAL PLANS



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



DATE: 09/24/18

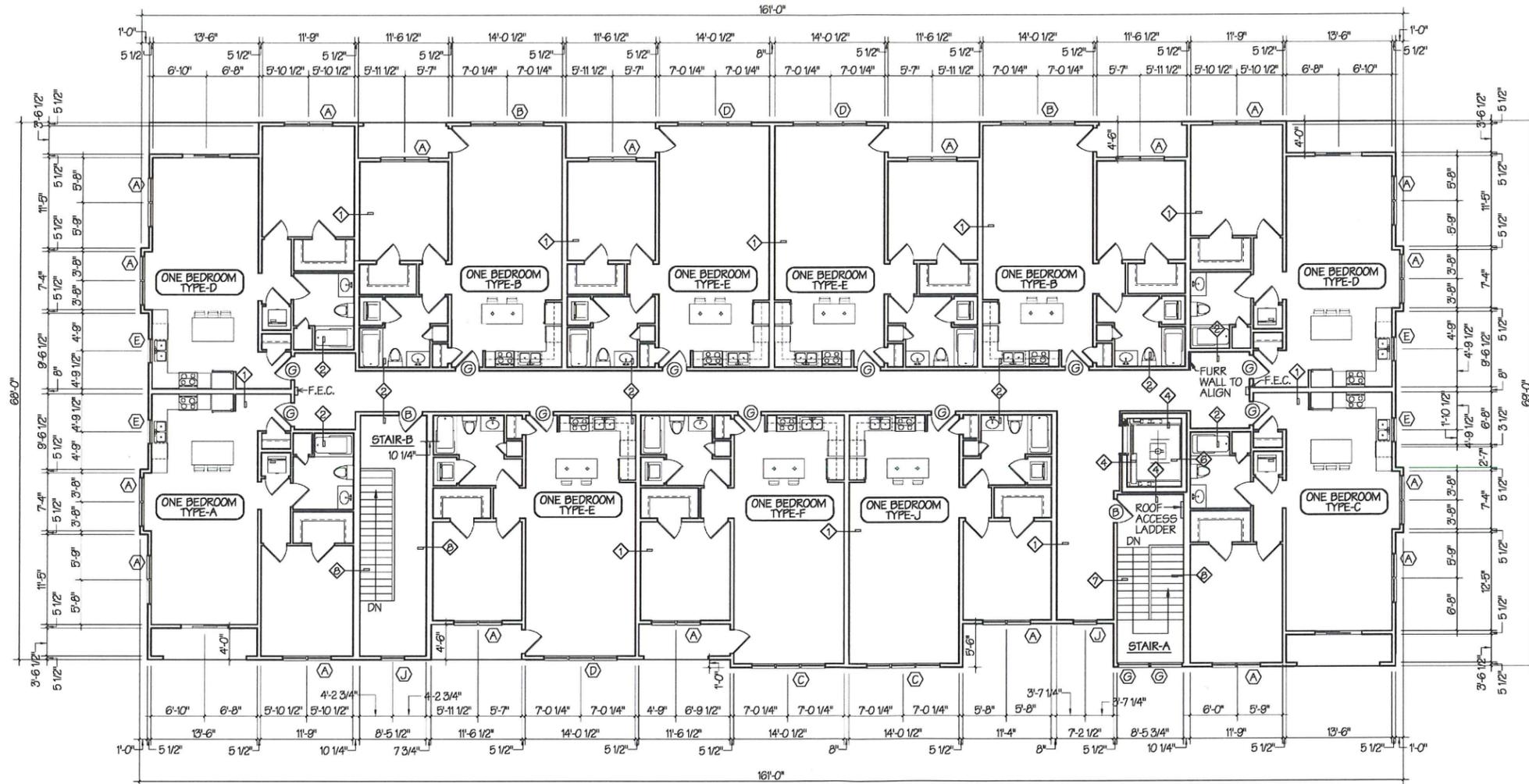
REVISIONS:
PERMIT/CONSTRUCTION SET

SECOND FLOOR PLAN
LOT 6 - MANSFIELD BUSINESS PARK
VERMONT
WILLISTON

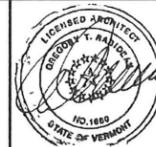
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Rabideau-Architects.com
Rabideau Architects

PROJECT # **1705**
SHEET NUMBER

A103



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



DATE: 09/24/18

REVISIONS:
PERMIT/CONSTRUCTION SET

THIRD FLOOR PLAN

LOT 6 - MANSFIELD BUSINESS PARK

WILLISTON

VERMONT

550 Henshaw Road
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PROJECT # **1705**
SHEET NUMBER

A104

09/26/17



DATE: 09/24/18

REVISIONS:
PERMIT/CONSTRUCTION SET

ROOF PLAN

LOT 6 - MANSFIELD BUSINESS PARK

VERMONT

WILLISTON

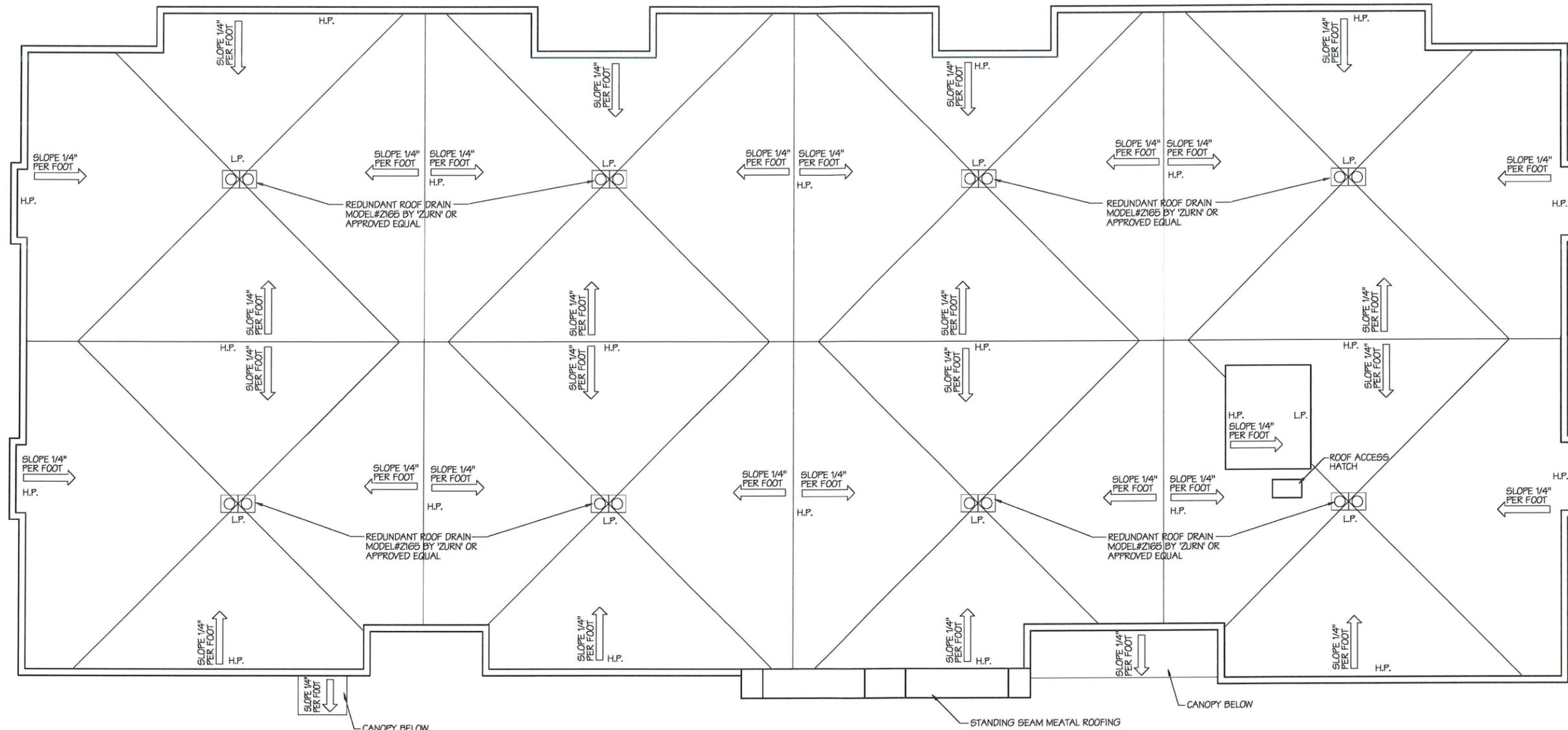
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PROJECT # **1705**
SHEET NUMBER

A105

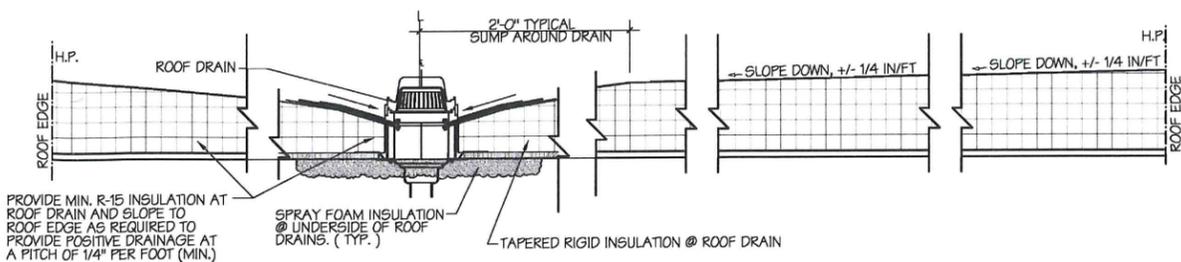
09/26/17



ROOF PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. ROOF MEMBRANE SHALL BE 60 MIL. SINGLE PLY RHINO-BONDED WHITE TPO.
2. SHEET METAL COPING / GRAVEL STOP SHALL BE PRE-FINISHED GALVALUME.
3. ROOF DRAINAGE AND WALK-WAY PADS WITHIN THE ROOF-TOP EQUIP. SPACE SHALL BE DETERMINED BASED ON LAYOUT OF MECHANICAL EQUIPMENT.
4. SEE SHEET A301, TYPICAL BUILDING SECTION, FOR DRAFTSTOPPING NOTES.
5. SECONDARY (EMERGENCY) ROOF DRAINS: SECONDARY (EMERGENCY OVERFLOW) DRAINS ARE REQUIRED IN ACCORDANCE WITH SECTION 1102.1, 1102.2, AND 1102.3 OF THE 2015 INTERNATIONAL PLUMBING CODE.



ROOF DRAIN DETAIL
NOT TO SCALE

PROVIDE MIN. R-15 INSULATION AT ROOF DRAIN AND SLOPE TO ROOF EDGE AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AT A PITCH OF 1/4" PER FOOT (MIN.)

SPRAY FOAM INSULATION @ UNDERSIDE OF ROOF DRAINS. (TYP.)

TAPERED RIGID INSULATION @ ROOF DRAIN



DATE: 01/24/18
07/09/18

REVISIONS:
GENERAL REVISIONS
WILLISTON / ACT 250 SUBMITTAL

MAX. BLDG. HEIGHT
ELEVATION: 419'-10 1/2"
BEARING PLATE
ELEVATION: 414'-5 3/8"
THIRD FLOOR
ELEVATION: 405'-4 1/4"
SECOND FLOOR
ELEVATION: 395'-2 1/8"
FIRST FLOOR
ELEVATION: 385'-0"
AVE. GRADE
ELEVATION: 383'-10 1/2"
BASEMENT
ELEVATION: 375'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MAX. BLDG. HEIGHT
ELEVATION: 419'-10 1/2"
BEARING PLATE
ELEVATION: 414'-5 3/8"
THIRD FLOOR
ELEVATION: 405'-4 1/4"
SECOND FLOOR
ELEVATION: 395'-2 1/8"
FIRST FLOOR
ELEVATION: 385'-0"
AVE. GRADE
ELEVATION: 383'-10 1/2"
BASEMENT
ELEVATION: 375'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

DESCRIPTION OF EXTERIOR MATERIALS:		
1	SIDING TYPE - 1:	FIBER CEMENT SIDING, "HARDIPLANK" PRE-FINISHED LAP SIDING BY JAMES HARDIE, 8" (6 3/4" EXPOSURE) COLONIAL SMOOTH TEXTURE. FACTORY FINISH COLOR AS SELECTED BY ARCHITECT.
2	SIDING TYPE - 2:	MDO PLYWOOD OR "HARDIPANEL", PAINTED COLOR AS SELECTED BY ARCHITECT.
3	WINDOWS:	EXTRUDED VINYL WINDOWS W/ LOW-E COATED, ARGON FILLED INSULATED GLAZING. COLOR TO BE WHITE. PROVIDE U-VALUE = 0.28 OR BETTER
4	DOORS:	INSULATED VINYL SLIDING DOORS W/ INSULATED GLAZING. COLOR TO BE BLACK. PROVIDE U-VALUE = 0.28 OR BETTER
5	COMMON DOORS:	INSULATED ALUMINUM ENTRY DOORS AND SIDELITES W/ INSULATED GLAZING. PAINT COLOR TO BE BLACK. PROVIDE U-VALUE = 0.28 OR BETTER
6	BALCONY RAILINGS:	BALCONY RAILINGS SHALL BE CABLE RAILING SYSTEM BY "FEENEY" OR APPROVED EQUAL.

VERMONT
WILLISTON
EXTERIOR ELEVATIONS
LOT 6 - MANSFIELD BUSINESS PARK



PROJECT # **1705**
SHEET NUMBER

A202

09/26/17