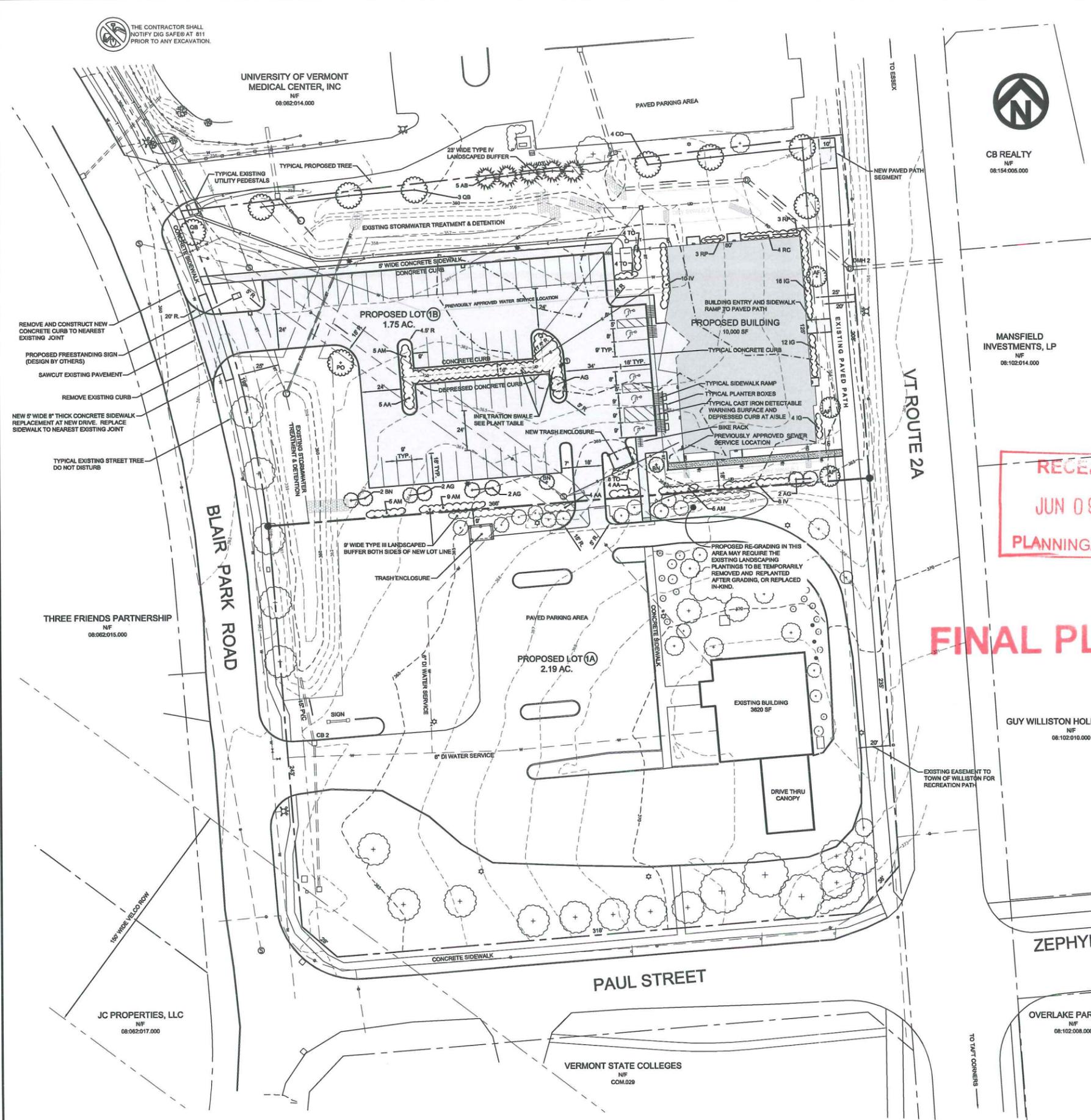
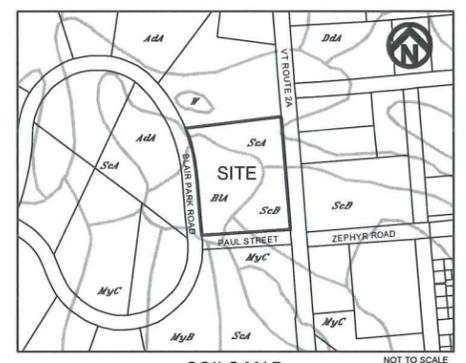
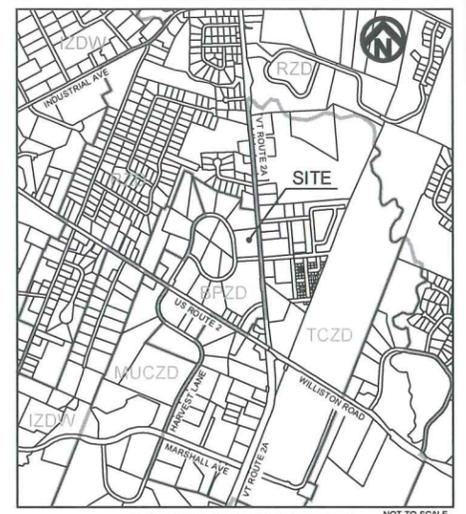


THE CONTRACTOR SHALL NOTIFY DIG SAFED AT 811 PRIOR TO ANY EXCAVATION.



Symbol	Species	Common Name	Size	Comments
Trees				
AF	<i>Acer x freemanii</i> 'Armstrong'	Freeman Maple 'Armstrong'	2-2.5 inch caliper	
AB	<i>Abies balsamea</i>	Balsam Fir	5-6 ft	
AG	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Serviceberry	1.5 inch caliper	
BN	<i>Betula nigra</i> 'Heritage'	River Birch	8-10 ft	
CO	<i>Callis occidentalis</i>	Common Hackberry	2-2.5 inch caliper	
PO	<i>Platanus occidentalis</i>	Sycamore	2-2.5 inch caliper	
QB	<i>Quercus bicolor</i>	Swamp White Oak	2-2.5 inch caliper	
TO	<i>Thuja occidentalis</i>	Northern White Cedar	5-6 ft	
Shrubs				
AA	<i>Atropa acutifolia</i>	Red Chokeberry	2-3 ft	
AM	<i>Atropa melanocarpa</i>	Black Chokeberry	2-3 ft	
IG	<i>Ilex glabra</i> 'Chamzot'	Hollyberry	2-3 ft	Provide 1 male per grouping
IV	<i>Ilex verticillata</i> 'Aterglow' or 'Aureolosa'	Winterberry	2-3 ft	Provide 1 male (Jim Dandy) per grouping
RC	<i>Rhododendron calawbiense</i> 'Album'	Catawba Rhododendron	2-3 ft	
RP	<i>Rhododendron</i> 'PJM Hybrid'	PJM Rhododendron	2-3 ft	
Infiltration Swale				
AF	<i>Agastache foeniculum</i>	Anise Hyssop	1 gal	25 total - plant 30" apart, in groups of 3-5
AN	<i>Andropogon gerardi</i>	Big Bluestem	1 gal	25 total - plant 30" apart, in groups of 3-5
AT	<i>Asclepias tuberosa</i>	Butterfly Milkweed	1 gal	25 total - plant 30" apart, in groups of 3-5
CL	<i>Coreopsis lanceolata</i>	Lanceleaf Coreopsis	1 gal	25 total - plant 30" apart, in groups of 3-5
EP	<i>Echinacea purpurea</i>	Purple Coneflower	1 gal	25 total - plant 30" apart, in groups of 3-5
RF	<i>Rudbeckia fulgida</i>	Black-Eyed Susan	1 gal	25 total - plant 30" apart, in groups of 3-5
PV	<i>Panicum virgatum</i>	Switchgrass	1 gal	25 total - plant 30" apart, in groups of 3-5
SP	<i>Sporobolus heterostachys</i>	Prairie Dropseed	1 gal	25 total - plant 30" apart, in groups of 3-5

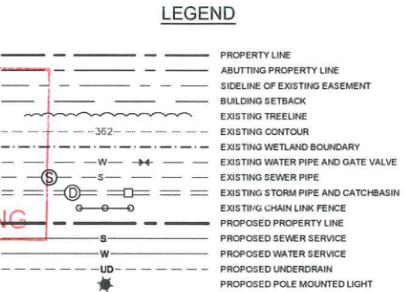


LEGEND	SOIL DESCRIPTION	ERODABILITY COEFFICIENT
BA	BELGRADE & ELDRIDGE	0.49 / 0.24
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

LIGHTING TABLE		
LEGEND	LUMINAIRE DESCRIPTION	MOUNTING HEIGHT
★	BETA EDGE LED AREA LUMINAIRE	22 FEET
★	100 LED, TYPE III MEDIUM DISTRIBUTION	22 FEET
★	BETA EDGE LED AREA LUMINAIRE	22 FEET
★	100 LED, TYPE V MEDIUM DISTRIBUTION	22 FEET

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PARCEL DATA

PARCEL NUMBER: 08-062-012-000
 TOTAL PROJECT AREA: 3.94 ACRES
 ZONING DISTRICT: BUSINESS PARK ZONING DISTRICT
 BUILDING SETBACKS: FRONT YARD = 25 FEET
 MAX. BUILDING HEIGHT: 36 FEET
 UTILITIES: MUNICIPAL WATER & SANITARY SEWER

LOT 1A
 EXISTING USE: BANK WITH DRIVE THRU (3 POSITIONS)
 EXISTING PARKING: 28 SPACES

LOT 1B
 PROPOSED USES: 6,000 SF MEDICAL OFFICE, 14,000 SF PHYSICAL REHABILITATION CENTER
 PROPOSED PARKING ADEQUACY BASED UPON:
 - PROXIMITY TO PUBLIC TRANSIT
 - PROPOSED MIX OF USES WITH VARYING PEAK PERIODS
 - ON-STREET PARKING ALLOWED ON BLAIR PARK RD

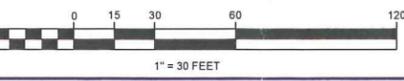
BICYCLE PARKING
 7% OF VEHICULAR SPACES (60 SPACES X 7% = 4.2 SPACES)
 5 TOTAL BICYCLE PARKING SPACES REQUIRED (BIKE RACK PROVIDED OUTSIDE BUILDING)
 3 LONG TERM BICYCLE SPACES REQUIRED (LONG TERM SPACES TO BE PROVIDED IN BUILDING)
 1 END OF TRIP FACILITY REQUIRED (SHOWERS/LOCKERS PROVIDED IN BUILDING)

APPLICANT
 RG KISMET, LLC
 SHARON GUTWIN
 30 HAWTHORNE STREET
 WILLISTON, VT 05495

LANDOWNER
 PEOPLE'S UNITED BANK
 REAL ESTATE TRANSACTIONS
 5TH FLOOR, REAL ESTATE SERVICES
 BRIDGEPORT CENTER, 850 MAIN ST.
 BRIDGEPORT, CT 06604

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MARCH 24, 2016 THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR PEOPLE'S UNITED BANK / BLAIR PARK ROAD ON THE 29 DAY OF JUNE, 2016.

[Signature]
 ADMINISTRATOR'S SIGNATURE



FIRE DEPARTMENT REQUIRED ELEMENTS:
 THE ARCHITECT AND BUILDING CONTRACTOR SHALL INCORPORATE THE FOLLOWING ELEMENTS INTO THE NEW BUILDING:
 - KEY SAFE BOX
 - SIGNAGE FOR NATURAL GAS SERVICE

NOTES:
 1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE PROPOSED SITE IMPROVEMENTS ON LOTS 1A & 1B. FOR BOUNDARY INFORMATION, SEE THE SUBDIVISION PLAN, SHEET PL.
 2. THE WETLAND DELINEATION WAS PERFORMED BY ERROL BRIGGS, GILMAN & BRIGGS ENVIRONMENTAL, ON 11-30-2010. THE WETLAND DELINEATION WAS FIELD LOCATED BY KREBS & LANGSING ON 12-03-2010. THE WETLAND DELINEATION WAS OBTAINED IN DIGITAL FORMAT AND INSERTED INTO THIS DRAWING BY LAD.
 3. EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD SURVEYS BY THIS OFFICE. SITE PLANS BY KREBS & LANGSING CONSULTING ENGINEERS, INC., AND THE CHITTENDEN BANK SITE PLAN PREPARED BY DONALD HAMLIN CONSULTING ENGINEERS, INC. OTHER UTILITIES MAY EXIST ON THE SITE, INCLUDING BUT NOT LIMITED TO PRIVATE ELECTRICAL DISTRIBUTION LINES ON LOT 1A.

Date	Revision	By
06-06-16	UPDATE BLDG FOOTPRINT PER ARCHITECT	ABR
05-13-16	REVISE LANDSCAPING PER DRB REVIEW	ABR
05-02-16	ADD PREVIOUSLY APPROVED W & S SERVICE LOCATIONS	ABR

These plans shall only be used for the purpose shown below:
 Sketch/Pre-Application
 Preliminary
 Final Local Review
 Act 250 Review
 Construction
 Record Drawing

PEOPLE'S UNITED BANK
 421 BLAIR PARK ROAD
 WILLISTON, VT

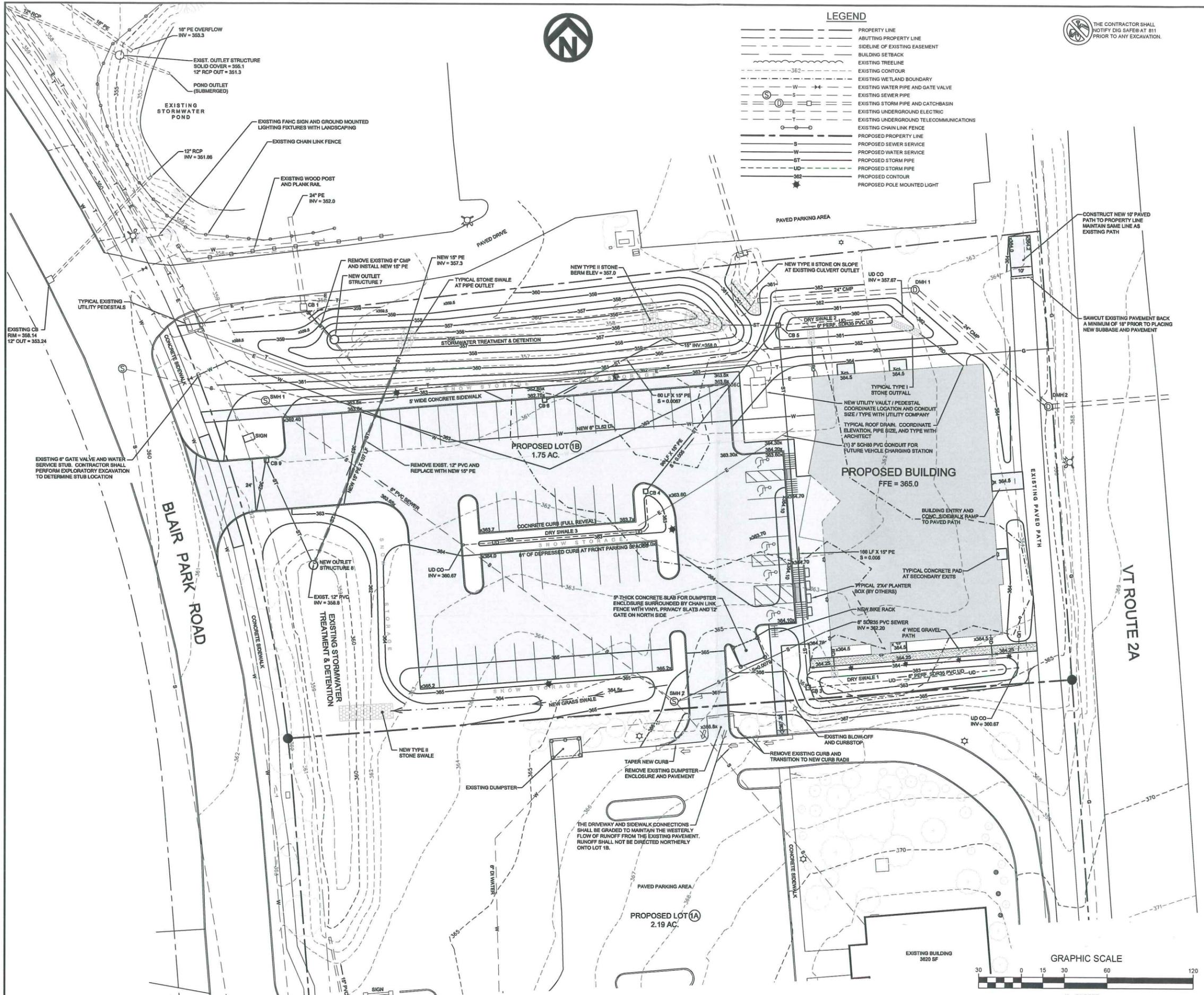
SITE & LANDSCAPING PLAN

Project No. 13026A
 Survey L&D
 Design L&D
 Drawn ABR
 Checked DJG
 Date 01-16-16
 Scale AS SHOWN
 Sheet number 1

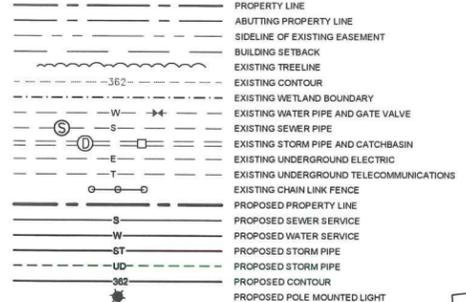
Lamoureux & Dickinson
 Consulting Engineers, Inc.
 14 Morse Drive, Essex, VT 05452
 802-878-4450
 www.LDengineering.com

60-91 JDC

PARCEL# 08-062-012-000



LEGEND



THE CONTRACTOR SHALL NOTIFY DIG SAFE® AT 811 PRIOR TO ANY EXCAVATION.

STORM STRUCTURE DATA

EXISTING DMH 1 RIM = 363.48 24" IN = 359.8 24" OUT = 357.8	EXISTING DMH 2 RIM = 366.79 24" IN = 363.1 24" OUT = 363.1	EXISTING CB 2 RIM = 363.70 15" IN = 360.05 15" OUT = 359.85	EXISTING CB 1 RIM = 357.20 6" IN = 354.55 (REMOVE) NEW 15" IN = 353.0 24" OUT = 351.50 MODIFY OR REPLACE EXISTING STRUCTURE. EXISTING 6" OPENING SHALL BE PLUGGED AND NEW 15" OPENING SHALL BE CORED AND HAVE A WATERTIGHT RUBBER BOOT.
NEW CB 3 (2' X 2' SQ) RIM = 364.00 6" UD = 360.67 15" OUT = 360.17	NEW CB 4 (2' X 2' SQ) RIM = 363.50 6" UD = 360.67 15" OUT = 359.85	NEW CB 5 RIM = 361.00 6" UD = 357.67 (2) 15" IN = 359.34 15" OUT = 358.40	NEW CB 6 RIM = 362.15 15" OUT = 358.90
NEW OUTLET STRUCTURE 7 TOP/SOLID COVER = 359.17 6" HIGH X 24" WIDE WEIR INVERT = 359.00 2" Ø ORIFICE = 357.00 2" Ø ORIFICE = 355.00 15" PE OUT = 353.00	NEW OUTLET STRUCTURE 8 GRATE = 361.00 4" Ø ORIFICE = 359.00 15" IN = 359.00 15" OUT = 358.80	NEW CB 9 RIM = 362.00 15" OUT = 359.50	

SEWER MANHOLE DATA

EXISTING SMH 1 EXIST. RIM = 360.23 NEW RIM = 362.20 6" IN = 353.18 6" OUT = 353.13	EXISTING SMH 2 EXIST. RIM = 364.85 NEW RIM = 365.50 (2) 6" IN = 361.6" 6" OUT = 361.5" * REMOVE STUB AND LAY NEW 6" SERVICE TO NEW BUILDING
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PARKING SUMMARY:

VEHICLE PARKING				
PARCEL	USE	VEHICLE SPACES	ACCESSIBLE SPACES	
NEW BUILDING (LOT 1B)	MEDICAL OFFICE & HEALTH CLUB	60 SPACES PROPOSED	5 PROPOSED	
EXISTING BUILDING (LOT 1A)	BANK	28 SPACES EXIST	4 EXIST	

BICYCLE PARKING				
PARCEL	USE	BICYCLE SPACES	LONG TERM SPACES	END OF TRIP FACILITIES
NEW BUILDING (LOT 1B)	MEDICAL OFFICE & HEALTH CLUB	6 SPACES*	5 SPACES**	2 TOTAL (1 PER GENDER)
EXISTING BUILDING (LOT 1A)	BANK	0 SPACES	0 SPACES	NONE

* BICYCLE SPACES CALCULATED AT 10% OF VEHICLE PARKING SPACES (6 @ 10 X 6 SPACES = 6 SPACES)
 ** LONG TERM SPACES CALCULATED AT 75% OF BICYCLE SPACES (0.75 X 6 SPACES = 5 SPACES)
 LONG TERM BIKE SPACES TO BE PROVIDED INSIDE THE NEW BUILDING.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP... WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON 6/22/2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR PEOPLE'S UNITED BANK / BLAIR PARK ROAD ON THE 24 DAY OF JUNE 2016.

Kim Bell
ADMINISTRATOR'S SIGNATURE

DRB CHAIR

- NOTES:**
- UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM THE FOLLOWING:
 * SITE PLAN - 2 LOT SUBDIVISION, PEOPLE'S UNITED BANK AND VERMONT TECHNICAL COLLEGE, BY KREBS & LANSING CONSULTING ENGINEERS, INC. DATED 07-29-2011.
 ** SITE PLAN - PROPOSED SITE DEVELOPMENT CHITTENDEN PARK, BLAIR PARK - LOT 1* BY DONALD L. HAMLIN CONSULTING ENGINEERS, INC., LAST REVISED 09-15-1999.
 - UTILITIES INFORMATION MAY NOT BE COMPLETE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE TOWN OF WILLISTON FOR LOCATION OF EXISTING UTILITY LINES.

06-06-16	UPDATE BUILDING FOOTPRINT PER ARCHITECT	ABR
05-13-16	ADD CHARGING STATION CONDUIT, PARKING TABLE	ABR
Date	Revision	By

These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Pre-Application	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

PEOPLE'S UNITED BANK
 421 BLAIR PARK ROAD
 WILLISTON, VT

UTILITIES & GRADING PLAN

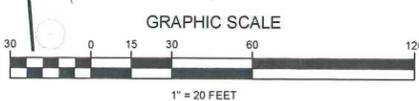
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 14 Morse Drive, Essex, VT 05452
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 www.LDengineering.com

Project No. 13026A
 Survey L&D
 Design L&D
 Drawn ABR
 Checked DJG
 Date 01-18-16
 Scale
 Sheet number **2**

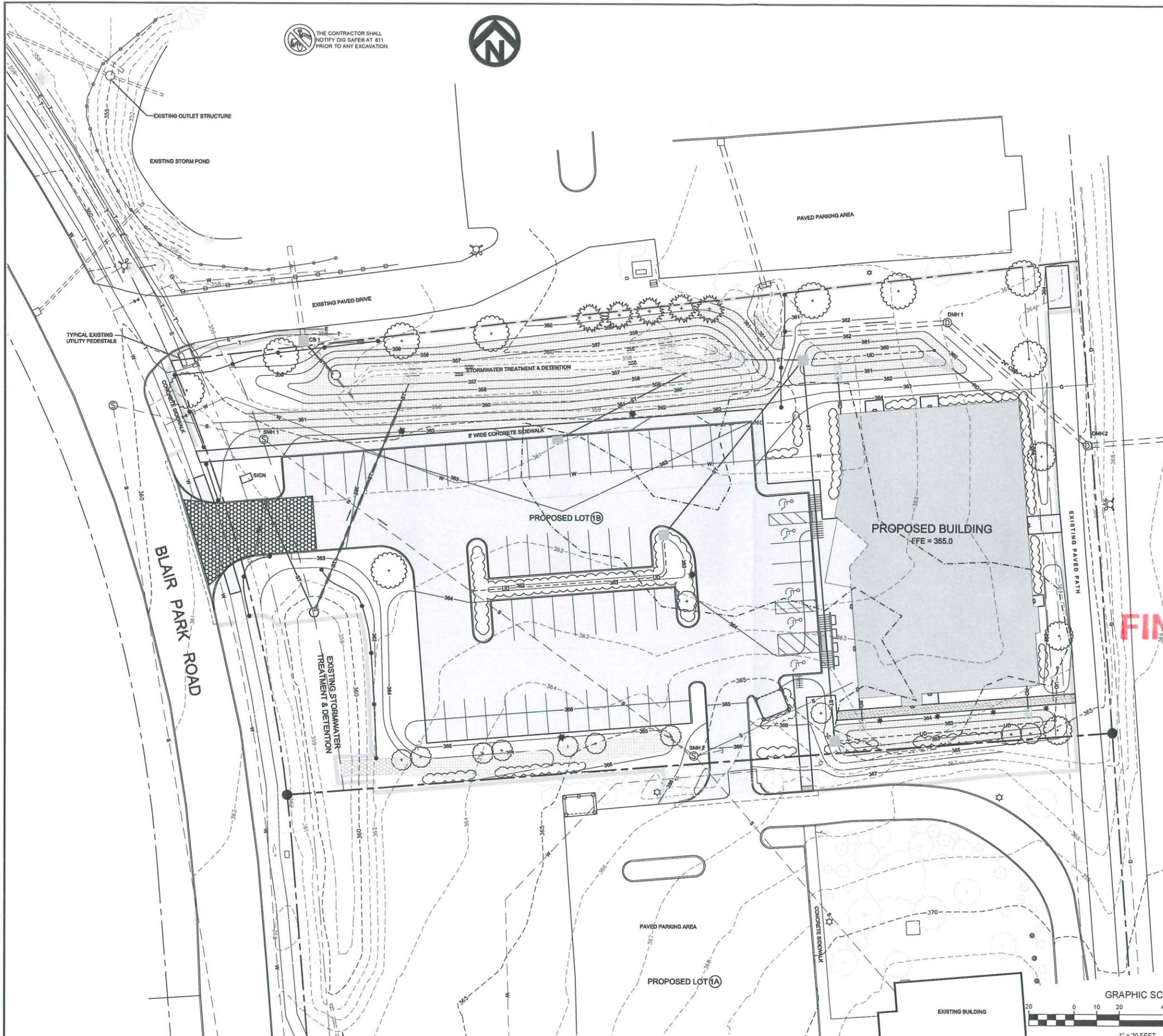
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DP PARCEL# 05-062-012.000



THE CONTRACTOR SHALL NOTIFY DIG SAFE@AT 811 PRIOR TO ANY EXCAVATION.



EROSION PREVENTION AND SEDIMENT CONTROL PERMIT REQUIREMENTS

PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL OBTAIN CO-FERMITTEE COVERAGE UNDER GENERAL PERMIT 3-9020 WHICH REGULATES STORMWATER RUNOFF FROM CONSTRUCTION SITES.

THIS PROJECT QUALIFIES AS HAVING A LOW RISK FOR IMPACTS TO WATER QUALITY, BASED UPON THE FOLLOWING:

- A CUMULATIVE MAXIMUM OF 2 ACRES OF DISTURBANCE
- A MAXIMUM OF 14 CONSECUTIVE DAYS BEFORE DISTURBED AREAS ARE TEMPORARILY OR PERMANENTLY STABILIZED.

THESE CRITERIA FORM THE BASIS FOR THE LOW RISK DETERMINATION. ANY CHANGES TO THESE CRITERIA REQUIRE THAT THE RISK ANALYSIS BE RE-EVALUATED TO DETERMINE IF THE POTENTIAL RISK TO WATER QUALITY, AND THE RELATED PERMITTING REQUIREMENTS, HAVE CHANGED.

THE CONTRACTOR SHALL REFER TO THE LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES TO BE IMPLEMENTED ON THE SITE. AT A MINIMUM, THESE SHALL INCLUDE:

- MARKING THE LIMITS OF DISTURBANCE TO PRESERVE EXISTING VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION
- LIMITING THE DISTURBED AREA TO THAT WHICH IS ACTIVELY BEING WORKED
- INSTALLATION OF STABILIZED CONSTRUCTION EXITS
- INLET PROTECTION AT ALL EXISTING AND NEW CATCHBASINS (USE SEDIGUARD FIBER FILTER)
- INSTALLATION OF SILT FENCE ALONG THE DOWNSLOPE PERIMETER OF THE DISTURBED AREA AND AROUND SOIL STOCKPILES
- PLACEMENT OF EROSION MATTING IN CHANNELS, ON ALL SLOPES 3H:1V OR STEEPER, AND MULCHING ALL OTHER DISTURBED AREAS
- SWEEPING PAVED AREAS TO REMOVE SEDIMENT

LEGEND

	PROPERTY LINE
	ABUTTING PROPERTY LINE
	SIDELINE OF EXISTING EASEMENT
	BUILDING SETBACK
	EXISTING TREELINE
	EXISTING CONTOUR
	EXISTING WETLAND BOUNDARY
	EXISTING WATER PIPE AND GATE VALVE
	EXISTING SEWER PIPE
	EXISTING STORM PIPE AND CATCHBASIN
	EXISTING CHAIN LINK FENCE
	PROPOSED PROPERTY LINE
	PROPOSED SEWER SERVICE
	PROPOSED WATER SERVICE
	PROPOSED STORM PIPE
	PROPOSED STORM PIPE
	PROPOSED CONTOUR
	PROPOSED POLE MOUNTED LIGHT

EPSC LEGEND

	LIMITS OF DISTURBANCE
	SILT FENCE
	STABILIZED CONSTRUCTION EXIT
	EROSION MATTING
	NEW PAVEMENT OR WALK
	CB INLET PROTECTION

JUN 09 2016
PLANNING/ZONING

FINAL PLANS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP _____ WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON 3/22/2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR PEOPLE'S UNITED BANK / BLAIR PARK ROAD ON THE 29 DAY OF JUNE, 2016.
Karl Buller
ADMINISTRATOR'S SIGNATURE

06-06-16	UPDATE BUILDING FOOTPRINT PER ARCHITECT	ABR
Date	Revision	By

These plans shall only be used for the purpose shown below:

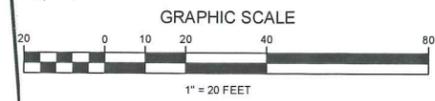
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PEOPLE'S UNITED BANK
421 BLAIR PARK ROAD
WILLISTON, VT

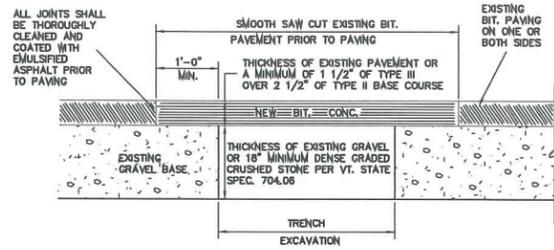
EROSION PREVENTION AND SEDIMENT CONTROL

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14 Morse Drive, Essex, VT 05452
802-878-4450
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Project No. 13026A
Survey L&D
Design L&D
Drawn ABR
Checked DJG
Date 01-18-16
Scale AS SHOWN
Sheet number 3

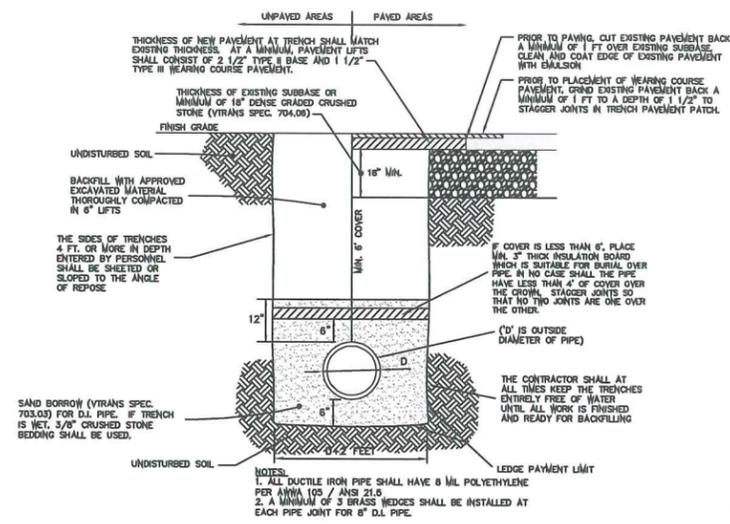


DP PARCEL# 08-09-02-012-000

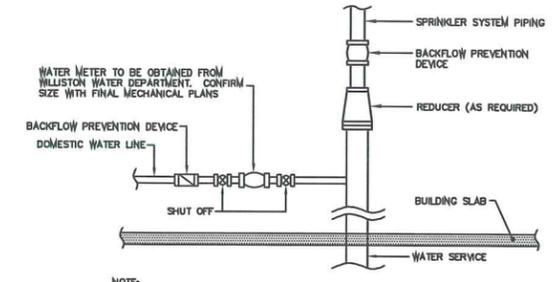


- SET UP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES IN ACCORDANCE WITH VTRANS E-STANDARDS AND THE MUTCD.
- RESHAPE HOLE AND PATCH AREA BY CUTTING WITH CONCRETE SAW INTO A SQUARE OR RECTANGULAR SHAPE. CUT SIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND AROUND HOLE TO SOLID PAVEMENT.
- BACKFILL TRENCH IN 6" LIFTS AND COMPACT EACH LIFT TO 98% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
- REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
- APPLY LIQUID EMULSION (RS-1) TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE EMULSION ON BOTTOM OF THE HOLE.
- PLACE TYPE II BASE COURSE PAVEMENT A MINIMUM OF 2 1/2" THICK.
- FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS OF NO MORE THAN 2". FINAL LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT BEFORE COMPACTION SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE EXISTING PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTION WITH A VIBRATORY PLATE COMPACTOR OR A VIBRATORY PORTABLE ROLLER. HAND TAMP SHOULD ONLY BE USES FOR SMALL AREAS (LESS THAN 1 S.F.).
- CLEAN UP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS AND DEVICES.

REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT
N.T.S.



TYPICAL WATER TRENCH
N.T.S.

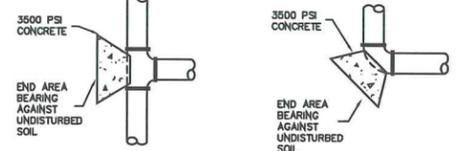


WATER SERVICE BACKFLOW PREVENTION DETAIL
N.T.S.

MINIMUM AREA OF BEARING SURFACE OF CONCRETE THRUST BLOCK (IN SQUARE FEET)

3"		4"		6"		8"		12"		SOIL CONDITION	SAFE BEARING LOAD (PSF)										
END ELEV.	REDUCE TO ELEV.																				
1.0	1.0	1.0	0.5	2.0	0.5	1.5	1.0	3.5	5.0	3.0	1.5	6.0	8.5	5.0	2.5	13.0	18.5	10.0	5.0	COARSE & FINE COMPACT SAND	3,000
1.5	2.5	1.5	1.0	2.5	3.5	2.0	1.0	5.5	7.5	4.0	2.0	9.0	13.0	7.0	3.5	20.0	27.5	15.0	8.0	MEDIUM CLAY (CAN BE SPREAD)	2,000
3.0	4.5	2.5	1.5	5.0	7.0	4.0	2.0	10.5	15.0	8.0	4.0	18.0	25.0	14.0	7.0	39.0	55.0	30.0	15.0	SOFT CLAY	1,000

MAXIMUM WATER PRESSURE = 300 PSI; 150 PSI WORKING PRESSURE PLUS A 2:1 SAFETY FACTOR



THRUST BLOCK END AREA
N.T.S.

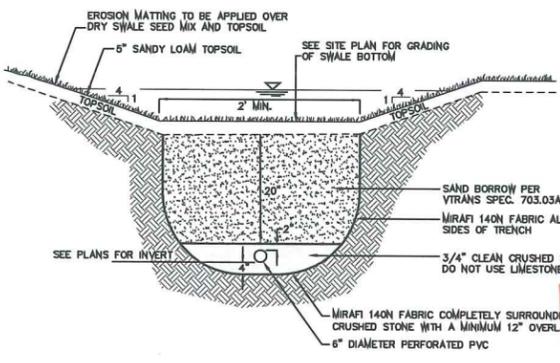
DRY SWALE SEED MIX

Common name	Botanical name	% Total
Creeping red fescue	Festuca rubra	20%
Red top	Agrostis alba	20%
Switchgrass	Panicum virgatum	20%
Virginia wild rye	Elymus virginicus	20%
Creeping bentgrass	Agrostis stoloniifera	20%

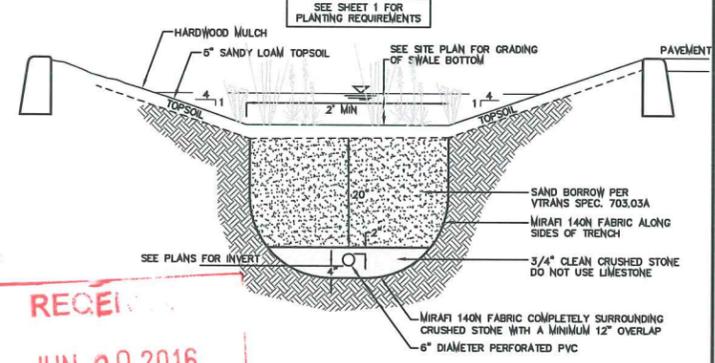
SEED SHALL BE APPLIED AT A RATE OF 25 POUNDS PER ACRE TO THE BOTTOM AND SIDESLOPES OF THE DRY SWALE.
SEED MIX MAY BE OBTAINED FROM VERMONT WETLAND PLANT SUPPLY, LLC (802) 848-2553 OR VERMONTWETLANDPLANTS.COM

GRADATION REQUIREMENTS

MATERIAL	SIIEVE SIZE	PERCENT (%) PASSING
SAND BORROW AND CUSHION VT SPEC 703.03	2"	100%
	1 1/2"	90-100%
	1/2"	70-100%
	#4	60-100%
CRUSHED GRAVEL FOR SUBBASE VT SPEC 704.05A-FINE	#100	0-20%
	#200	0-8%
	2"	100%
DENSE GRADED CRUSHED STONE VT SPEC 704.06	3 1/2"	100%
	3"	90-100%
	2 1/2"	75-100%
	2"	50-80%
	1 1/2"	30-60%
	#4	15-40%

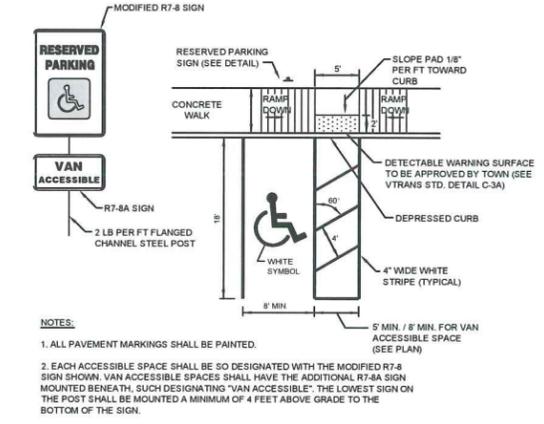


DRY SWALE 1 & 2 TYPICAL SECTION
N.T.S.

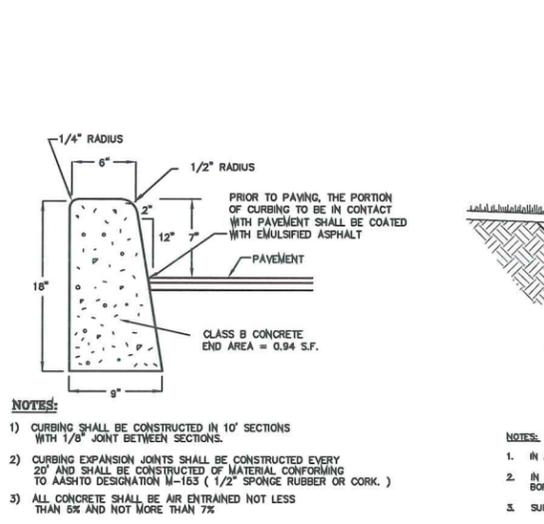


DRY SWALE 3 TYPICAL SECTION
N.T.S.

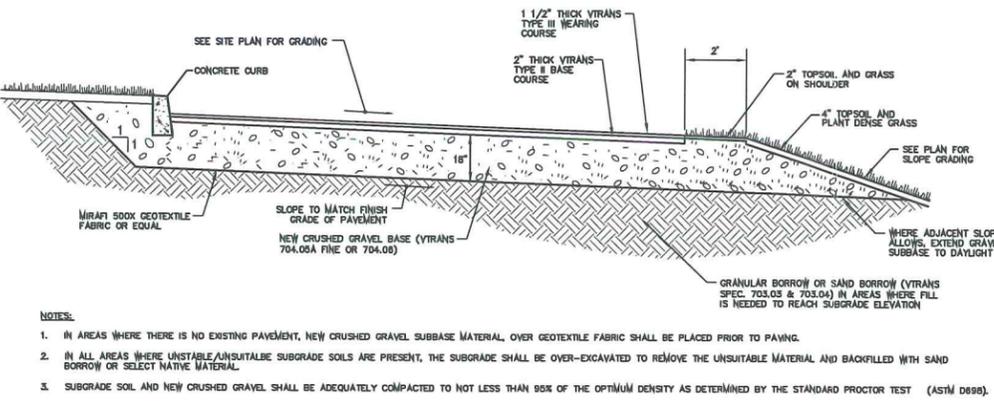
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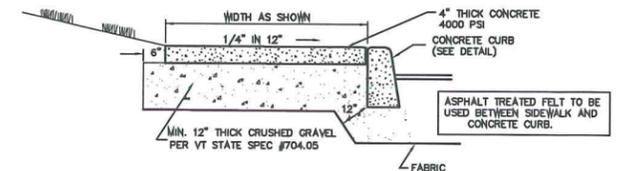
ACCESSIBLE PARKING SPACE DETAIL
N.T.S.



CONCRETE CURB
N.T.S.



TYPICAL DRIVE & PARKING AREA CROSS SECTION
N.T.S.



CONCRETE SIDEWALK DETAIL
N.T.S.

FINAL PLANS

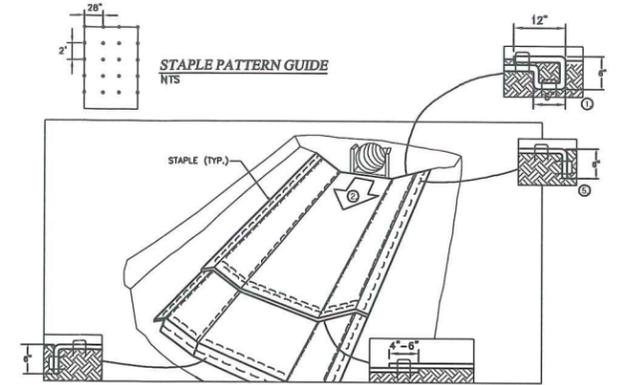
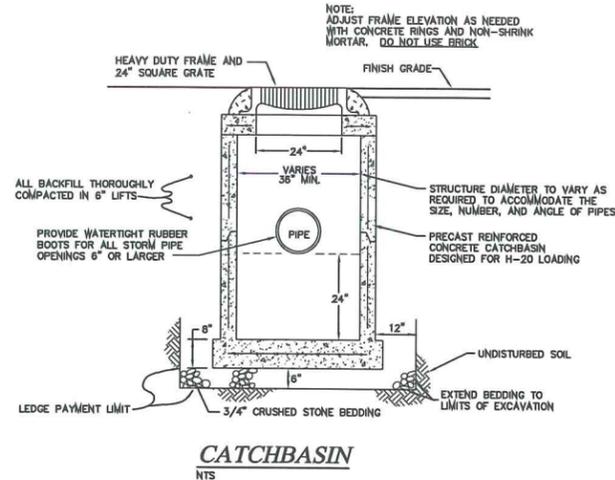
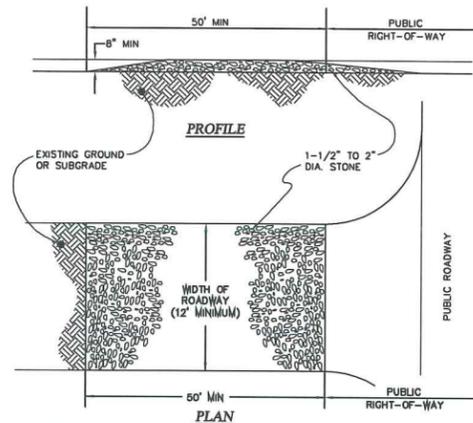
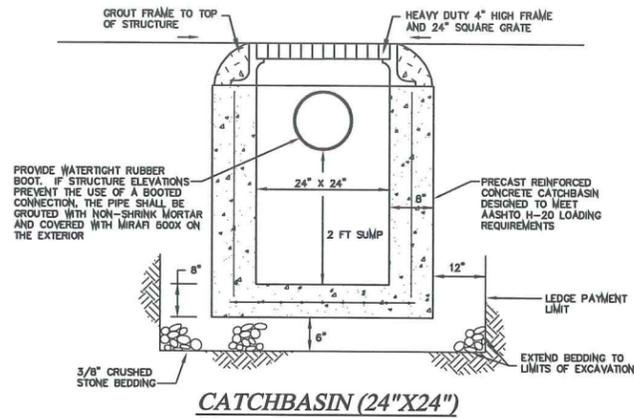
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP _____ WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON 05/22/2016 THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR PEOPLE'S UNITED BANK / BLAIR PARK ROAD ON THE 21 DAY OF JUNE 2016.
Ra Bellin
ADMINISTRATOR'S SIGNATURE

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Pre-Application	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
PEOPLE'S UNITED BANK		
421 BLAIR PARK ROAD WILLISTON, VT		
SITWORK & WATER TYPICAL DETAILS & SPECIFICATIONS		
Project No. 13026A Survey L&D Design L&D		Drawn ABR Checked DJG Date 01-18-16
Scale AS SHOWN Sheet number		4

DP PARCEL# 08-062-012.000

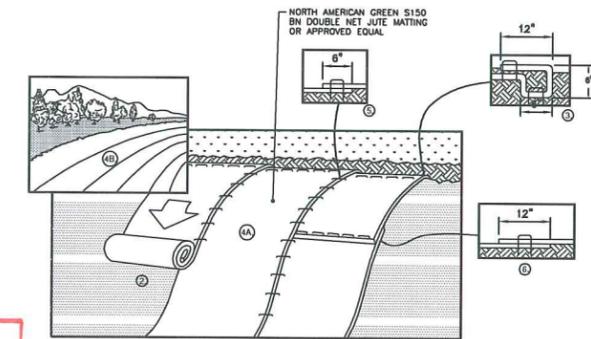
GENERAL CONSTRUCTION SPECIFICATIONS

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. ANY SURFACES, LINES OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2011 VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN OF WILLISTON PUBLIC WORKS SPECIFICATIONS AND THESE PLANS.
- NEW PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH NOTE #4 ABOVE.
- A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OR HER OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SUEEP THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAVING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ENSURE COMPLIANCE WITH THE PLANS.
- PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND THE TOWN.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO T-99 STANDARD PROCTOR, AND SHALL BE TESTED AT 500' INTERVALS, UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PIPES IN FILL AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT. THE PIPES SHALL ONLY BE INSTALLED OVER ADEQUATELY COMPACTED SOILS.
- THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR PRIOR TO AND AFTER EVERY RAINFALL UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED BY STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LAMOREUX & DICKINSON CONSULTING ENGINEERS INC. (LAD) TO DETERMINE IF THE WORK IS BEING PERFORMED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. LAD WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM: FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY; ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT LAD'S PRIOR KNOWLEDGE AND CONSENT; AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING PROGRESS.
- ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.



- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6\"/>
- ROLL BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN ABOVE IN THE STAPLE PATTERN GUIDE.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4\"/>
- FULL LENGTH EDGE OF BLANKETS ALONG SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12\"/>
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12\"/>

EROSION MATTING FOR CHANNELS



- EROSION MATTING WILL BE USED ON SLOPES STEEPER THAN 3H:1V OR AS SHOWN ON THE PLANS.
- PREPARE SOIL BEFORE INSTALLING MATTING, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. SOIL SURFACE SHALL BE GRADED SMOOTH WITHOUT ROOTS, STONES OR OTHER PROTRUSIONS THAT WILL PREVENT THE MATTING FROM BEING APPLIED IN FULL CONTACT WITH THE SOIL SURFACE.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MATTING IN A 6\"/>
- ROLL THE MATTING (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. INSURE THAT THE APPROPRIATE SIDE OF THE MATTING IS AGAINST THE SOIL SURFACE. ALL MATTING MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE MANUFACTURER'S STAPLE PATTERN GUIDE FOR THE PARTICULAR PRODUCT AND APPLICATION. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"/>
- THE EDGES OF PARALLEL MATTING MUST BE STAPLED WITH APPROXIMATELY 6\"/>
- CONSECUTIVE MATTING SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE - WITH THE UPPER MATTING PLACED OVER THE TOP OF THE LOWER MATTING) WITH AN APPROXIMATE 12\"/>

EROSION MATTING FOR SLOPES

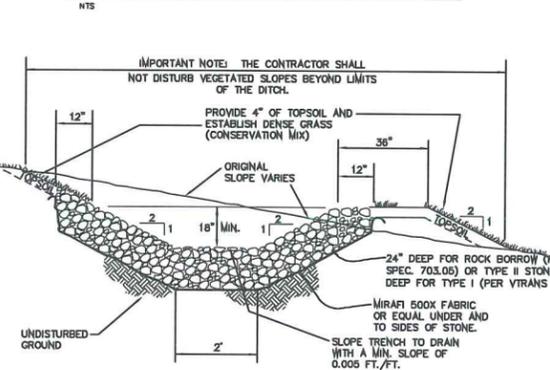


TURF ESTABLISHMENT SPECIFICATIONS

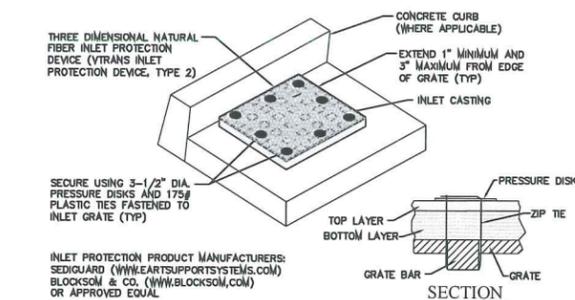
- ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED WITH NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETED AFTER APRIL 15 (AS SITE CONDITIONS ALLOW) AND PRIOR TO SEPTEMBER 15. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- A MINIMUM OF 4\"/>
 - URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS (EXCEPT FOR THE DRY SWALE) AT THE SPECIFIED RATE.
 - FERTILIZER SHALL BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL pH TEST.
 - MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKIFIER OR NETTING TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKIFIER, OR NETTING, WITHOUT ADDITIONAL COST TO THE OWNER.
 - HYDROSEEDING MAY BE USED IN LIEU OF SEEDING AND APPLYING HAY MULCH DURING THE GROWING SEASON. HYDROSEEDING SHALL INCLUDE THE APPLICATION OF WOOD AND/OR PAPER BINDER MULCH. THE BINDER SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, BUT SHALL NOT BE LESS THAN 1500 POUNDS PER ACRE ON SLOPES LESS THAN 15%, AND NOT LESS THAN 2000 POUNDS PER ACRE ON SLOPES GREATER THAN 15%. HYDROSEEDING ALONE SHALL NOT BE USED FOR TEMPORARY STABILIZATION AFTER SEPTEMBER 15.
 - ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 2% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO PHOTODEGRADABLE JUTE NETTINGS, NORTH AMERICAN GREEN S150B OR EQUAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE REVEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDS, MULCHES, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

URBAN MIX GRASS SEED		
% BY WEIGHT	LB'S LIVE SEED PER ACRE	TYPE OF SEED
31.5	37.8	CREeping RED FESCUE
37.25	44.7	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120 # LIVE SEED PER ACRE	

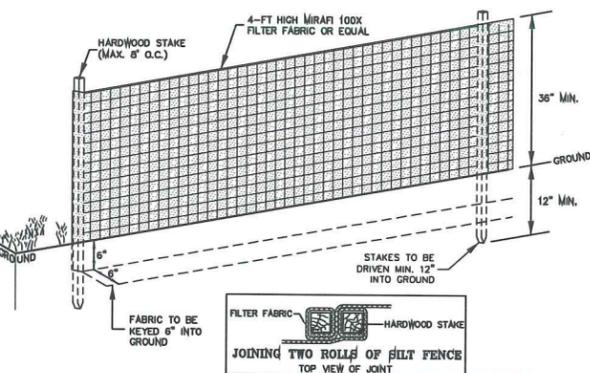
STABILIZED CONSTRUCTION EXIT



TYPICAL STONE SWALE & OUTFALL DETAIL



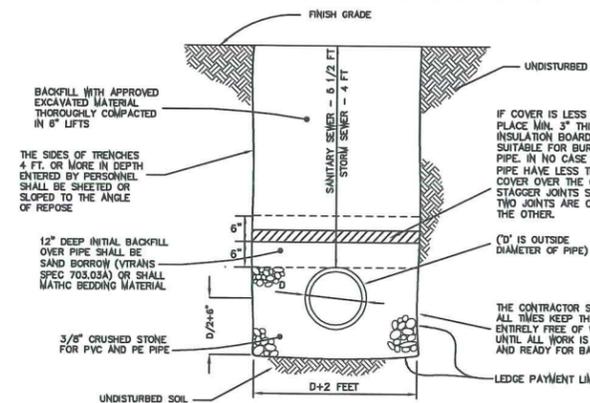
INLET PROTECTION



TEMPORARY SILT FENCE



- USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
- PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
- FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE BOTTOM OF THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
- THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.



TYPICAL SANITARY SEWER & STORM TRENCH



CLEANOUT DETAIL (STORM & GRAVITY SEWER)



RECEIVED
JUN 09 2016
PLANNING/ZONING
FINAL PLANS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BY-LAW, AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT #DP... WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON... THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR... PEOPLE'S UNITED BANK... BLAIR PARK ROAD... ON THE... DAY OF... 2016.

ADMINISTRATOR'S SIGNATURE

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/>	Sketch/Pre-Application	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/>	Preliminary	<input type="checkbox"/> Construction
<input checked="" type="checkbox"/>	Final Local Review	<input type="checkbox"/> Record Drawing

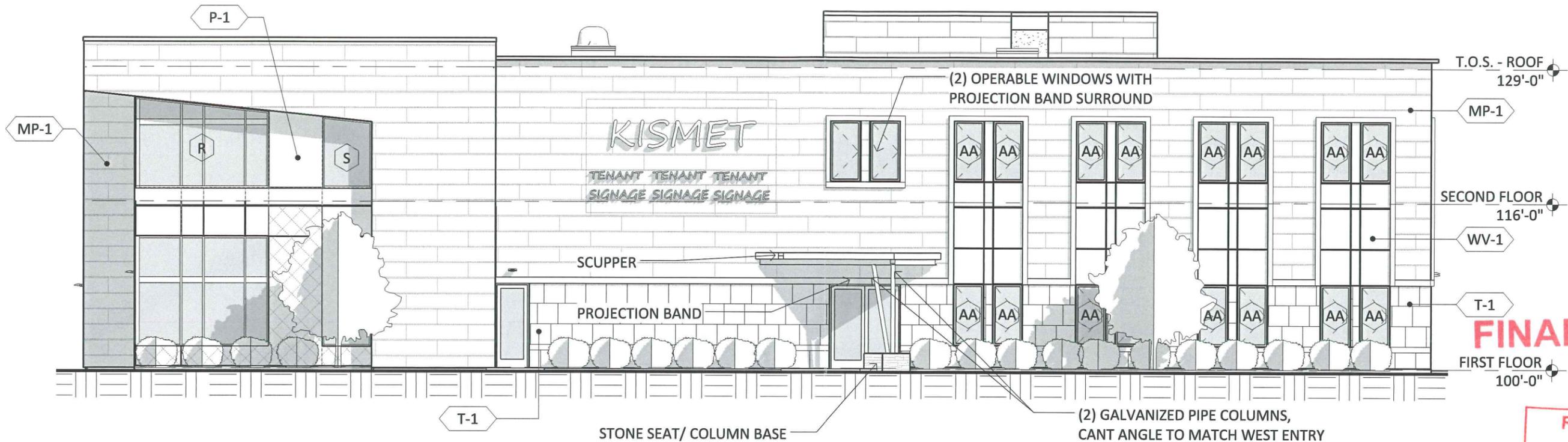
PARCEL# 08-062-012.000

PEOPLE'S UNITED BANK
421 BLAIR PARK ROAD
WILLISTON, VT

STORM & EPSC
TYPICAL DETAILS &
SPECIFICATIONS

Lamoreux & Dickinson
Consulting Engineers, Inc.
14 Morse Drive, Essex, VT 05452
802-878-4450
www.LDengineering.com

Project No. 13026A
Survey L&D
Design L&D
Drawn ABR
Checked DJG
Date 01-18-16
Scale AS SHOWN
Sheet number 5



FINAL PLANS

RECEIVED
JUN 24 2016
PLANNING/ZONING

EAST ELEVATION - RTE 2 ENTRY

SCALE: 3/32" = 1'-0"

STONE FACED SITTING WALL AND COLUMN BASE

NEW DOUBLE EXTERIOR STOREFRONT DOOR ASSEMBLY - TO MATCH OTHERS

FLOORING CHANGE, PATTERN AND TRANSITION LOCATION TBD

DRINKING FOUNTAIN AND HAND SINK

(2) GALVANIZED PIPE COLUMNS, CANT ANGLE TO MATCH WEST ENTRY

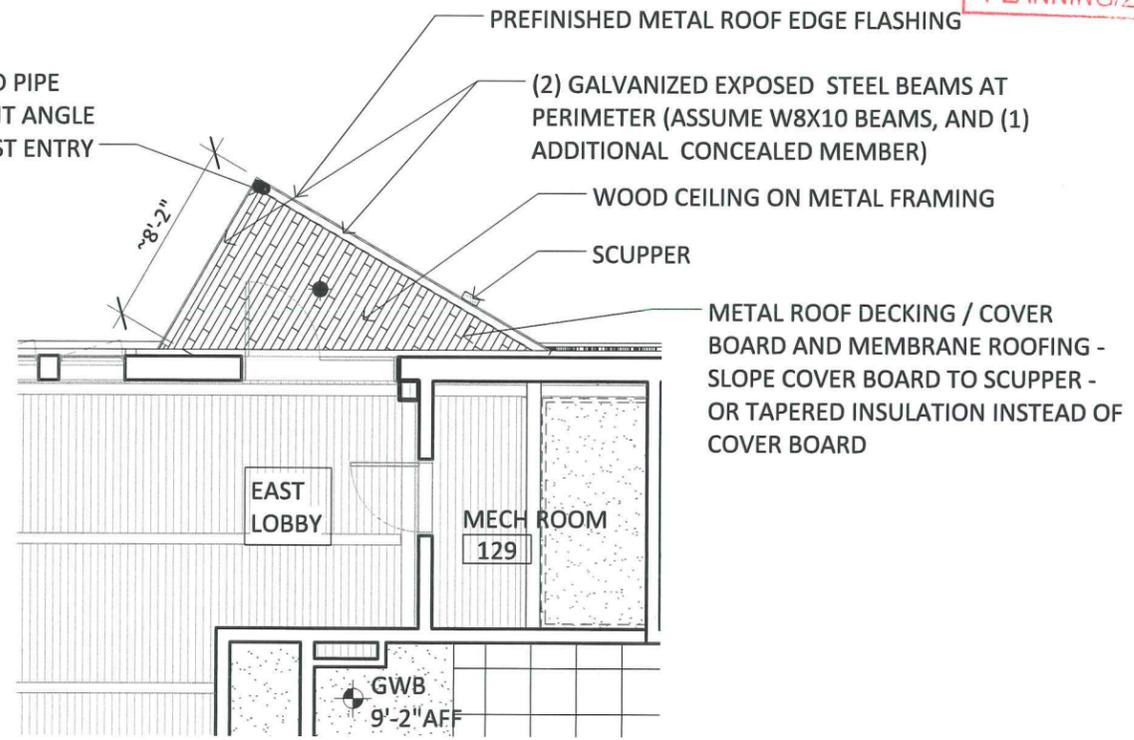
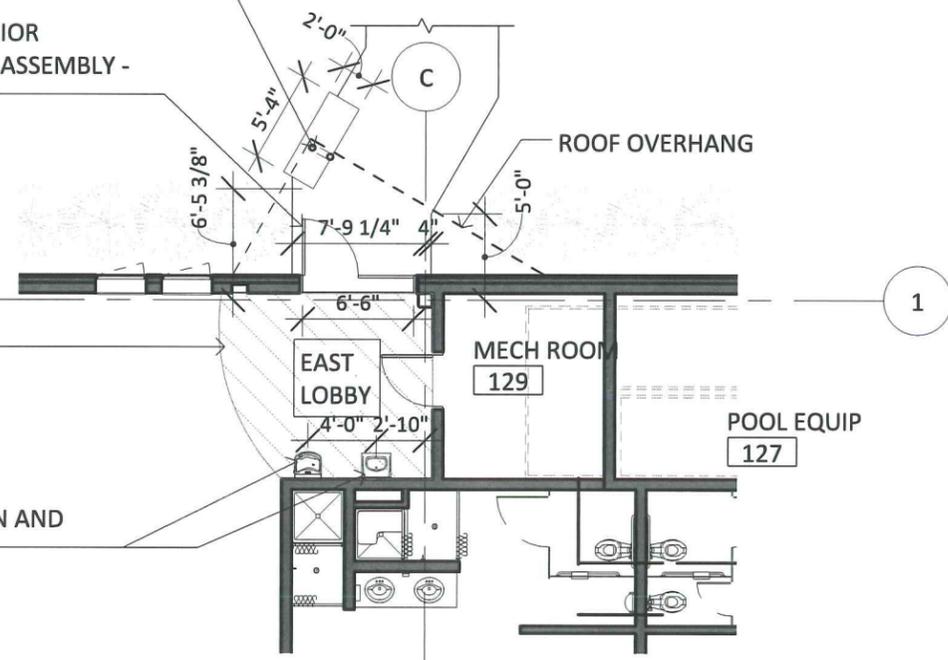
PREFINISHED METAL ROOF EDGE FLASHING

(2) GALVANIZED EXPOSED STEEL BEAMS AT PERIMETER (ASSUME W8X10 BEAMS, AND (1) ADDITIONAL CONCEALED MEMBER)

WOOD CEILING ON METAL FRAMING

SCUPPER

METAL ROOF DECKING / COVER BOARD AND MEMBRANE ROOFING - SLOPE COVER BOARD TO SCUPPER - OR TAPERED INSULATION INSTEAD OF COVER BOARD



FIRST FLOOR PLAN - RTE 2 ENTRY

SCALE: 3/32" = 1'-0"

FIRST FLOOR RCP - RTE 2 ENTRY

SCALE: 1/8" = 1'-0"

ROUTE 2 ENTRY AREA
06/20/16 scale: As indicated
KISMET BUILDING - WILLISTON, VT

DP 16-09

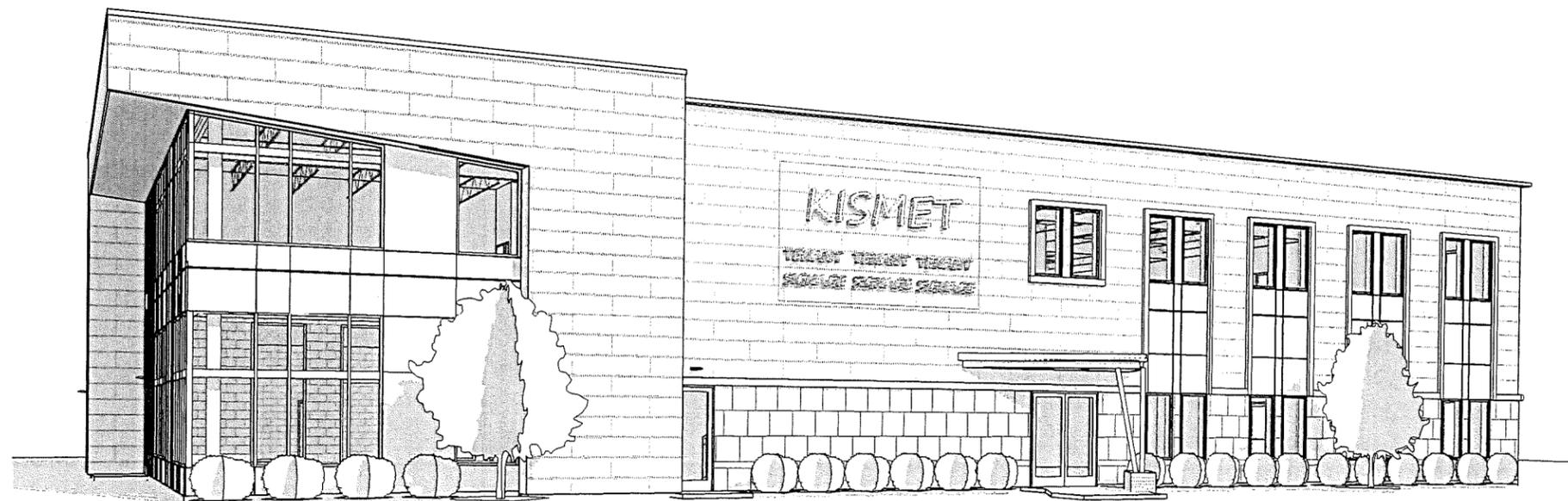
BLACK RIVER DESIGN ARCHITECTS

Ken Belbin, Z.A. June 29, 2016



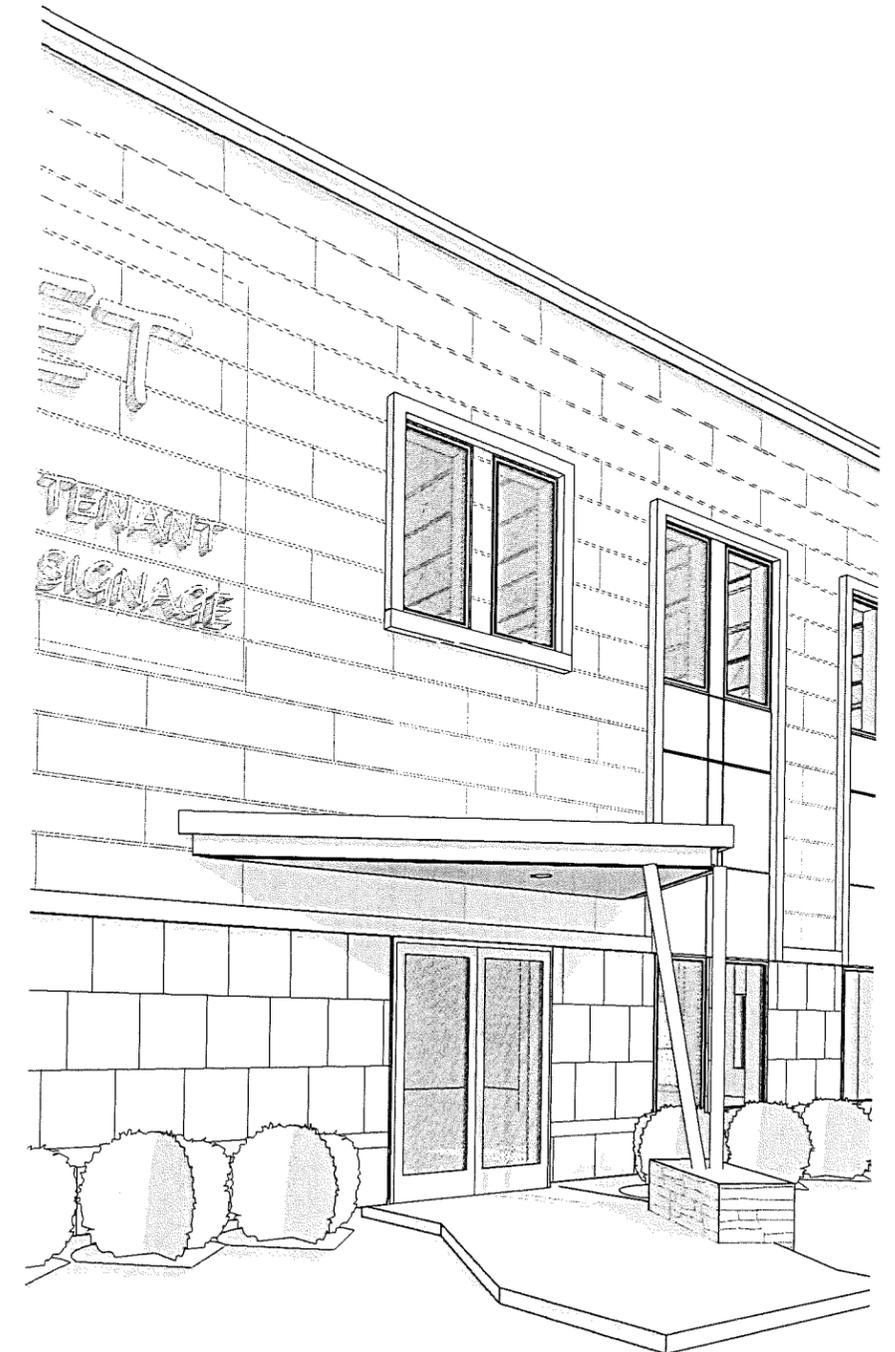
RTE 2 - NE VIEW

SCALE:



RTE 2 - SE VIEW

SCALE:



RTE 2 ENTRY - PERSPECTIVE

SCALE:

PERSEPCTIVE VIEWS - RTE 2 ENTRY CANOPY

06/17/16 scale:

KISMET BUILDING - WILLISTON, VT

K. Bell R.A. June 29, 2016