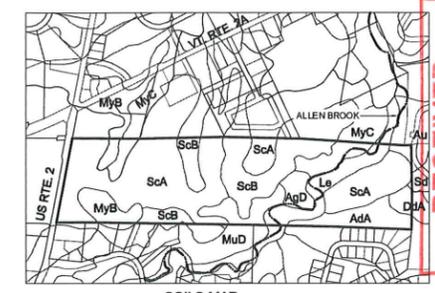


- FINNEY CROSSING LOCATION MAP**
N.T.S.
- | | |
|---|---|
| PUBLIC STREET | PRIVATE STREETS |
| ZEPHYR ROAD (CONSTRUCTED) | HALF MOON LANE (CONSTRUCTED) |
| DUNMORE LANE (CONSTRUCTED) | MAIDSTONE LANE (CONSTRUCTED) |
| STILLWATER LANE (CONSTRUCTED) | KETTLEPOND LANE (CONSTRUCTED) |
| SEYMOUR STREET (CONSTRUCTED) | HOLLAND LANE, NORTH OF SEYMOUR ST (CONSTRUCTED) |
| MARKET STREET (TO BE CONSTRUCTED) | |
| HOLLAND LANE, SOUTH OF SEYMOUR ST (PARTIALLY CONSTRUCTED) | |



RECEIVED
OCT 15 2018
DP 09-01.15
PLANNING/ZONING

SOILS MAP
SCALE: 1" = 100'

SOILS LEGEND

SCS MAPPING UNIT	DESCRIPTION	ERODIBILITY COEFFICIENT
AgD	AGAWAM FINE SANDY LOAM	0.28
MuD	MUNSON & BELGRADE SILT LOAM	0.46
MyB	MUNSON & RAYNHAM SILT LOAM	0.46
MyC	MUNSON & RAYNHAM SILT LOAM	0.46
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO PRESENT THE OVERALL LAYOUT OF THE SOUTHERLY PORTION OF THE FINNEY CROSSING PROJECT PARCEL.
 - SEE ADDITIONAL SHEETS FOR DESIGN INFORMATION RELATED TO THE PROPOSED HOTEL, RELATED SITE IMPROVEMENTS, AND THE EXTENSION OF HOLLAND LANE TO WILLISTON ROAD.
 - SEE ALSO DESIGN PLANS FOR BUILDINGS A1, A2, & A3 AND RELATED SITE IMPROVEMENTS.

FINAL PLANS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01.15, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON SEPTEMBER 25, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #15 ON THE 15th DAY OF OCTOBER, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

07-26-18	ADD POND 6 & EASEMENT, REV WD RAIL & LANDSC	ABR
03-16-18	REVISE NOTE RE: FUTURE CONNECT TO TOSC PARKING LOT	ABR
10-13-17	ADD STREET LIST, ADJ BLDG FOOTPRINT, REV STREET TREES	ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

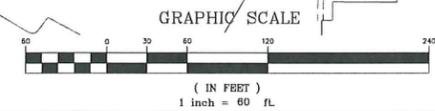
<input type="checkbox"/>	SKETCH/CONCEPT	# OF SHEETS
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

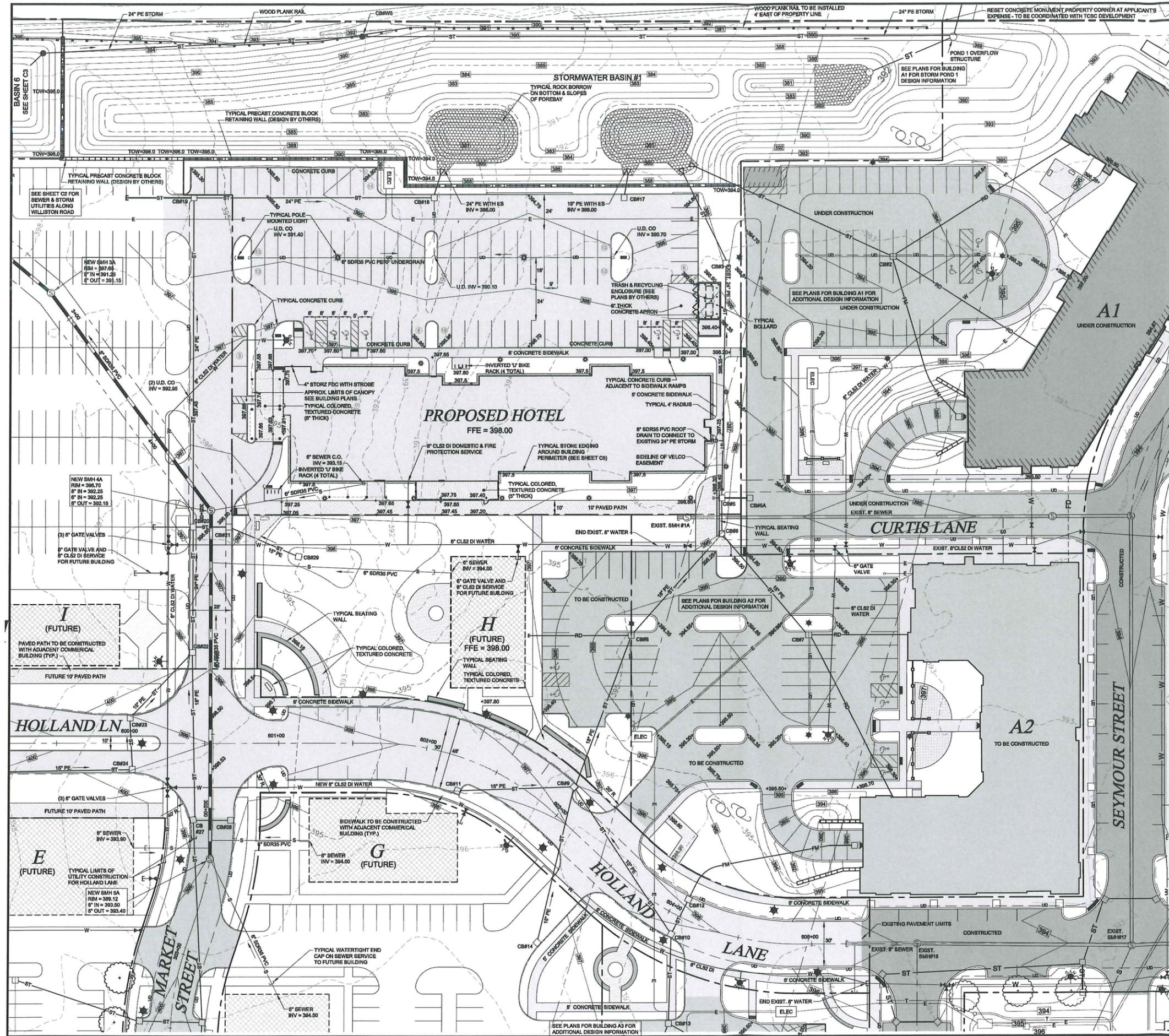
WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 081-25310

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

COMMERCIAL AREA
SITE PLAN

<p>proj. no. 01-087 survey L&D design DJG/ABR drawn DJG/ABR checked DJG/ABR date 09/15/17 scale 1" = 100' sht. no. C1</p>	<p>LAMOREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450</p>
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CATCHBASIN DATA

EXISTING CB #2
RIM = 393.20
(2) 15" IN = 389.00
2" FM IN = 389.00
(2) 8" ROOF DRAIN IN = 387.5
15" PE OUT = 387.00

EXISTING CB #3
RIM = 394.00
NEW RIM = 395.00
(2) 24" PE IN = 386.61
24" PE OUT = 386.61

EXISTING CB #5
RIM = 394.10
NEW RIM = 395.25
NEW 15" PE IN = 387.40
(2) 24" PE IN = 387.40
24" PE OUT = 387.40

NEW CB #5A
RIM = 394.30
15" PE OUT = 387.55

EXISTING CB #6
RIM = 394.10
NEW RIM = 395.75

NEW CB #7
RIM = 394.00
6" IN = 389.60
8" IN = 389.00 ROOF DRAIN
15" OUT = 388.41

NEW CB #8
RIM = 394.00
6" IN = 389.50
8" IN = 389.50 ROOF DRAIN
15" OUT = 388.20

NEW CB #9
STA 604+66.5, 23' LT
RIM = 396.43
6" UD IN = 391.00
6" UD OUT = 392.60
(3) 15" IN = 388.80
18" OUT = 388.75

NEW CB #10
STA 604+08.0, 14' RT
RIM = 395.80
6" UD IN = 391.25
(2) 15" IN = 389.45
15" OUT = 389.40

NEW CB #11
STA 602+30.5, 23' RT
RIM = 395.95
6" UD IN = 392.42
6" UD OUT = 393.42
15" OUT = 392.00

NEW CB #12
STA 604+08.0, 14' LT
RIM = 395.80
6" UD IN = 391.25
6" UD OUT = 392.25
2" FM IN = 390.20
15" OUT = 389.70

NEW CB #13
RIM = 395.00
6" UD IN = 389.90
(2) 15" IN = 389.90
15" OUT = 389.85

NEW CB #17
RIM = 394.00
15" OUT = 386.20

NEW CB #18
RIM = 394.00
6" UD IN = 389.50
24" IN = 388.25
24" OUT = 386.20

NEW CB #19
RIM = 395.00
6" UD IN = 391.25
(2) 15" IN = 389.45
15" OUT = 389.40

NEW CB #20
RIM = 395.20
(2) 15" IN = 391.70
(2) 15" IN = 389.30
24" IN = 389.30
24" OUT = 389.25

NEW CB #21
RIM = 395.20
(2) 6" UD IN = 391.70
15" IN = 389.50
15" OUT = 389.45

NEW CB #22
RIM = 392.40
6" UD IN = 393.90
15" IN = 390.10
18" IN = 390.10
24" OUT = 390.05

NEW CB #23
STA 600+00, 18' LT
RIM = 399.00
6" UD IN = 394.50
6" UD OUT = 395.50
15" IN = 393.50
15" OUT = 393.45

NEW CB #24
STA 600+01, 18.5' RT
RIM = 399.00
6" UD IN = 394.50
6" UD OUT = 395.50
15" IN = 393.50
15" OUT = 393.60

NEW CB #27
RIM = 396.00
(2) 6" UD IN = 393.50
15" IN = 391.90
18" IN = 391.90
18" OUT = 391.85

NEW CB #28
RIM = 396.00
6" UD IN = 393.50
6" UD OUT = 394.50
15" OUT = 392.15

NEW CB #29
RIM = 395.50
15" OUT = 391.50

NEW CB #30
RIM = 392.50
24" IN = 386.50
24" OUT = 386.25

SMH DATA

EXISTING SMH # 1A
NEW RIM = 395.00
2" IN = 390.10
8" IN = 390.10
8" IN = 390.10
8" IN = 390.10

NEW SMH 3A
RIM = 397.65
6" IN = 391.25
8" OUT = 391.15

NEW SMH 4A
RIM = 398.70
6" IN = 392.25
8" IN = 392.25
8" OUT = 392.15

NEW SMH 5A
RIM = 399.12
6" IN = 393.50
8" OUT = 393.40

SEE SHEETS 7 & 7A FOR LIGHTING INFORMATION

PROJECT DATA:
ZONING DISTRICT: TAFT CORNERS ZONING DISTRICT

PROPOSED HOTEL:
100 ROOMS

REQUIRED PARKING:
1.0 SPACE PER ROOM X 100 ROOMS = 100 SPACES REQUIRED
(NO INDEPENDENT CONFERENCE SPACE OR RESTAURANT)

PROPOSED TOTAL PARKING SPACES = 101 SPACES

REQUIRED ACCESSIBLE PARKING = 6 SPACES (PER BYLAW)
PROPOSED TOTAL ACCESSIBLE SPACES = 6 SPACES

PARKING LOT LANDSCAPING (UNIFIED DEVELOPMENT BYLAW 23.5.1)
- LANDSCAPED ISLANDS OR MEDIANS SHALL OCCUPY A MIN. OF 5% OF PARKING AREA
- LANDSCAPED ISLANDS = 6.2% (1,087 SF ISLANDS / 17,707 SF PARKING AREA)

BICYCLE PARKING:
EXTERIOR BICYCLE PARKING (BIKE RACKS) PROVIDED ON EAST & WEST SIDE OF BUILDING
MINIMUM REQUIRED EXTERIOR SPACES = 7 SPACES
7% OF VEHICULAR SPACES X 101 SPACES = 7 SPACES

INTERIOR BICYCLE STORAGE TO BE PROVIDED INSIDE THE BUILDING
MINIMUM REQUIRED LONG TERM SPACES PER BYLAW = 50 SPACES
50% OF VEHICULAR SPACES X 100 SPACES = 50 SPACES
PROPOSED LONG TERM SPACES INSIDE BUILDING = 7 SPACES (REDUCTION REQUESTED)

NOTES:

- COORDINATE THE HORIZONTAL LOCATION OF THE WATER, SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICE CONNECTIONS TO EACH BUILDING WITH THE OWNER AND ARCHITECTURAL PLANS.
- PRIOR TO CONSTRUCTION, THE ELEVATIONS OF THE SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICES FROM THE ARCHITECTURAL PLANS SHALL BE COMPARED TO THE ELEVATION OF THE COLLECTION MAINS AND SERVICES SHOWN ON THESE PLANS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- COORDINATE THE LOCATION OF THE SIDEWALK ENTRANCES TO EACH BUILDING WITH THE OWNER. UNLESS STEPS ARE PROPOSED, THE MAXIMUM SLOPE ON ANY SIDEWALK SHALL BE LESS THAN 5%.
- CAST IRON DETECTABLE WARNING STRIPS SHALL BE INSTALLED AT ALL SIDEWALK AND PAVED PATH RAMPS AT CROSSWALKS AND AT ADDITIONAL LOCATIONS NOTED ON THE PLANS. AT PAVED PATHS, DETECTABLE WARNING STRIPS SHALL BE INSTALLED IN CONCRETE.
- AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND / OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREET TO THE STORMWATER BASIN.
- THE CONTRACTOR SHALL PROVIDE STUBS BEYOND PHASE LIMITS FOR FUTURE EXTENSION INTO OTHER PHASES (SEWER, WATER, STORM, UD, ETC.).
- UTILITY LAYOUTS SHOWN ON THIS PLAN ARE FOR REVIEW PURPOSES ONLY. REFER TO DESIGN DRAWINGS BY EACH RESPECTIVE UTILITY FOR CONSTRUCTION.
- A SAFETY BARRIER (FENCE) SHALL BE INSTALLED ALONG THE TOP OF RETAINING STRUCTURES. THE TYPE AND LOCATION OF FENCE SHALL BE DETERMINED BY THE DEVELOPER AT THE TIME OF CONSTRUCTION.
- ALL PIPE SLOPES ARE IN FEET / FEET.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#15, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON SEPTEMBER 25, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #15 ON THE DAY OF 09/28/2018.

DEVELOPMENT REVIEW BOARD ADMINISTRATOR'S SIGNATURE

DATE	DESCRIPTION	BY
07-26-18	ADD POND 6 EASE AREA, GRASS CHANNEL, REV WOOD RAIL	ABR
03-16-18	REV ST PIPING ALONG WEST SIDE POND, WOOD PLANK RAIL	ABR
12-28-17	REV. CB 27 & 28 INVERT ELEV	ABR
12-05-17	REV. HOTEL WATER SERVICE PER DPW	ABR
10-13-17	ADD LIGHT SYMBOLS, FDC, ADJUST BLDG FOOTPRINT	ABR

REVISIONS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

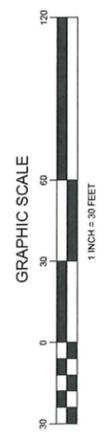
REVISION	NO. OF SHEETS
SKETCH/CONCEPT	
PRELIMINARY	
FINAL	
RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

SITE & UTILITY PLAN

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design LD/OTHERS
drawn ABR
checked DJG
date 06-12-17
scale 1" = 30'
sh. no. C2



PARCEL 08-143010.000, a & b
WILLISTON DISCRETIONARY PERMIT DP-09-01

THE STORMWATER POND SHALL BE USED AS A SEDIMENTATION BASIN DURING CONSTRUCTION.
 1. THE SEDIMENTATION BASIN SHALL BE CONSTRUCTED TO THE GRADES SHOWN, EXCEPT THAT THE FOREBAY SHALL BE OVER-EXCAVATED TO A DEPTH OF 1 FOOT BELOW THE GRADES SHOWN.
 2. TYPE 1 STONE FILL MAY BE PLACED ON THE BASIN SIDESLOPES TO STABILIZE THE SOIL IF VEGETATION DOES NOT BECOME ESTABLISHED DUE TO FLUCTUATING WATER LEVELS WITHIN THE BASIN.
 3. THE DEPTH OF SEDIMENT IN THE FOREBAY SHALL BE MONITORED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 2 FEET (OR 2 FEET FROM THE NORMAL WATER LEVEL TO THE TOP OF SEDIMENT).
 4. SEDIMENT REMOVED FROM THE BASIN SHALL BE DISPOSED IN AN UPLAND LOCATION ON A SLOPE LESS THAN 5% AND NO LESS THAN 50 FEET FROM A WETLAND OR STREAM. THE MATERIAL SHALL BE SEEDED AND MULCHED IMMEDIATELY TO ESTABLISH VEGETATIVE COVER.

LEGEND

- LOD --- LIMIT OF DISTURBANCE
- EROSION LOG OR SILT FENCE
- [Pattern] STABILIZED CONSTRUCTION EXIT
- [Pattern] EROSION MATTING
- [Pattern] CATCH BASIN INLET PROTECTION
- [Pattern] TEMPORARY STABILIZED WORK AREA DURING BUILDING CONSTRUCTION
- [Pattern] EXISTING PAVEMENT/ROOFTOPS/WALKS
- [Pattern] PROPOSED PAVEMENT/ROOFTOPS/WALKS

NOTE:
 THE LIMITS OF DISTURBANCE SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE, EXCEPT IN AREAS WITHIN 50 FEET OF A PRESERVED WETLAND OR STREAM WHERE CONSTRUCTION FENCE SHALL BE USED TO MARK THE LIMITS OF DISTURBANCE.

INSPECTION & MONITORING

1. THE ON-SITE COORDINATOR IS BRAD CARTER (802-249-0060)
2. THE ON-SITE COORDINATOR SHALL INSPECT, AND DOCUMENT IN WRITING, THE STATUS OF CONSTRUCTION ON THE PROJECT SITE AND EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES IN PLACE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, PRIOR TO PREDICTED PRECIPITATION, AND AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES A DISCHARGE OF STORMWATER FROM THE CONSTRUCTION SITE.
3. DURING THE WINTER CONSTRUCTION PERIOD (OCT. 15 - APRIL 15) DAILY INSPECTIONS SHALL BE PERFORMED AND DOCUMENTED.
4. INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE PER MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED AND ALL CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED. INSPECTIONS SHALL RESUME PRIOR TO RESUMING CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED ABOVE.
5. IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THIS WILL INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.

PERMIT NOTICE

1. A COPY OF THE GENERAL DISCHARGE PERMIT (3-9020), THE AUTHORIZATION TO DISCHARGE, A BRIEF DESCRIPTION OF THE PROJECT, AND THE LOCATION WHERE THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN IS AVAILABLE SHALL BE POSTED AT A LOCATION ON THE PROJECT SITE THAT IS VISIBLE TO THE PUBLIC.

CONSTRUCTION EVENT SEQUENCING

THIS SECTION IS INTENDED TO PROVIDE A SUMMARY OF THE SEQUENCE OF MAJOR CONSTRUCTION EVENTS. THE SCHEDULE FOR PROCEEDING WITH THE CONSTRUCTION OF THE BUILDING MAY AFFECT THE SEQUENCING OF EVENTS. EACH EVENT SHALL BE SUBSTANTIALLY COMPLETED AND STABILIZED (PERMANENT AND/OR TEMPORARY STABILIZATION) PRIOR TO PROCEEDING TO THE NEXT EVENT. HOWEVER, TWO EVENTS MAY PROCEED SIMULTANEOUSLY IF WORK FORCES ARE AVAILABLE AND CAN BE MANAGED WHILE REMAINING IN COMPLIANCE WITH THE REQUIREMENTS OF THE PLAN, INCLUDING, BUT NOT LIMITED TO THE MAXIMUM AREA OF SOIL DISTURBANCE ON THE PROJECT.

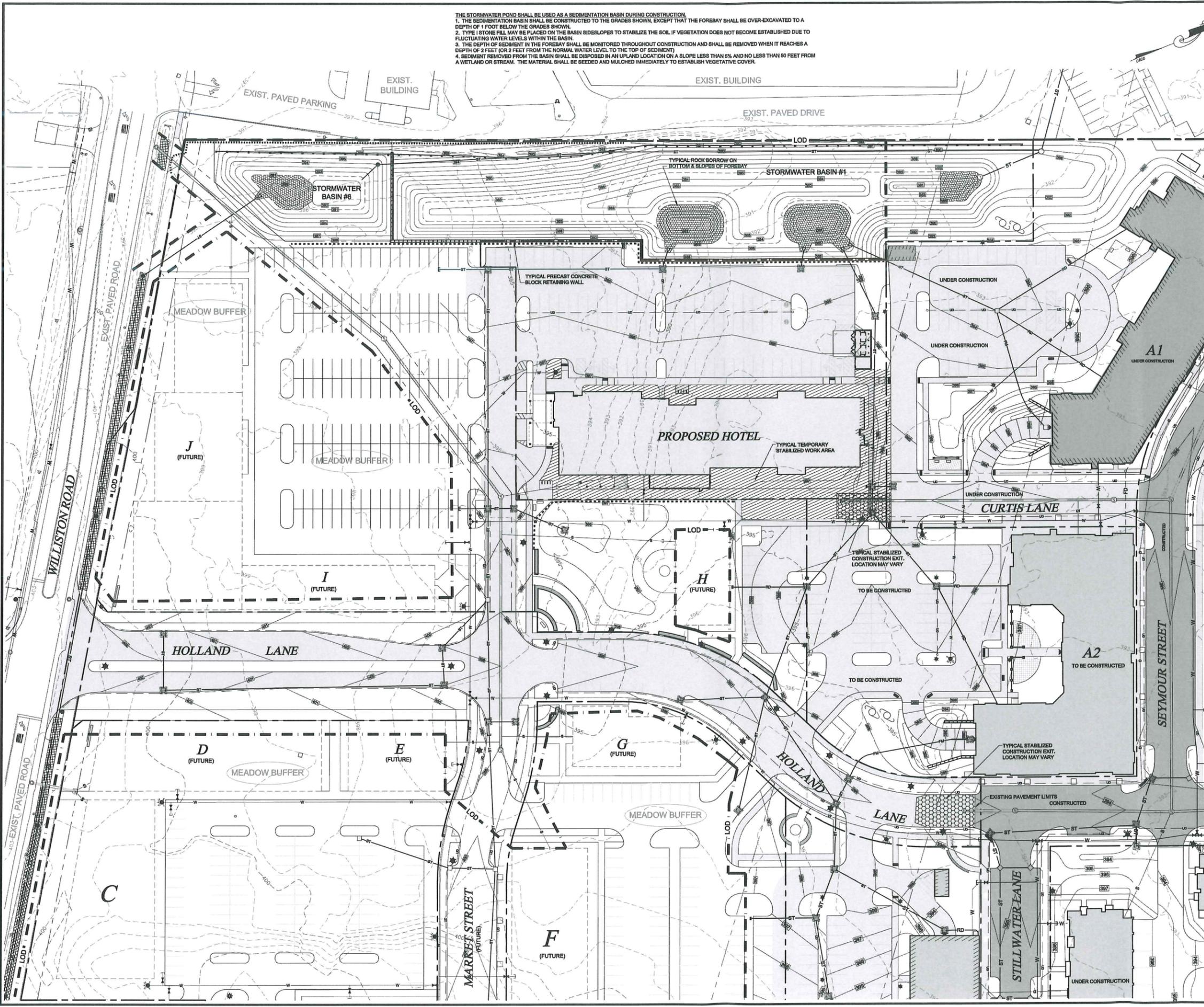
SEQUENCE OF MAJOR CONSTRUCTION EVENTS

1. COMPLETE CONSTRUCTION OF STORMWATER POND 1. CONCURRENTLY, INSTALL NEW STORMWATER COLLECTION SYSTEM ON HOLLAND LANE AND ALONG WILLISTON ROAD.
2. EXTEND UTILITY SERVICES AND EXCAVATE FOR BUILDING FOOTINGS, AND THEN CONTINUE WITH BUILDING FOUNDATION CONSTRUCTION (BUILDING CONSTRUCTION TO RUN CONCURRENTLY WITH REMAINING EVENTS)
3. CONSTRUCT NEW PARKING AREA. PARKING AREA TO BE USED FOR STAGING & STORAGE DURING CONSTRUCTION OF THE BUILDING.
4. CONSTRUCT HOLLAND LANE UTILITIES AND ROAD SUBBASE IN SEGMENTS. EACH SEGMENT SHALL BE STABILIZED PRIOR TO PROCEEDING TO THE NEXT.

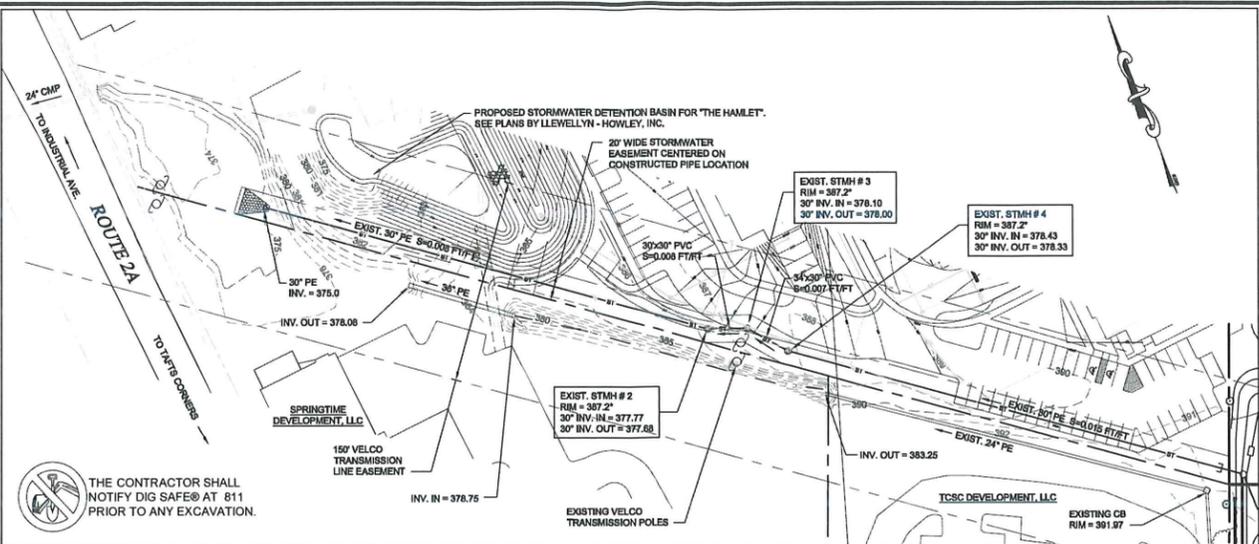
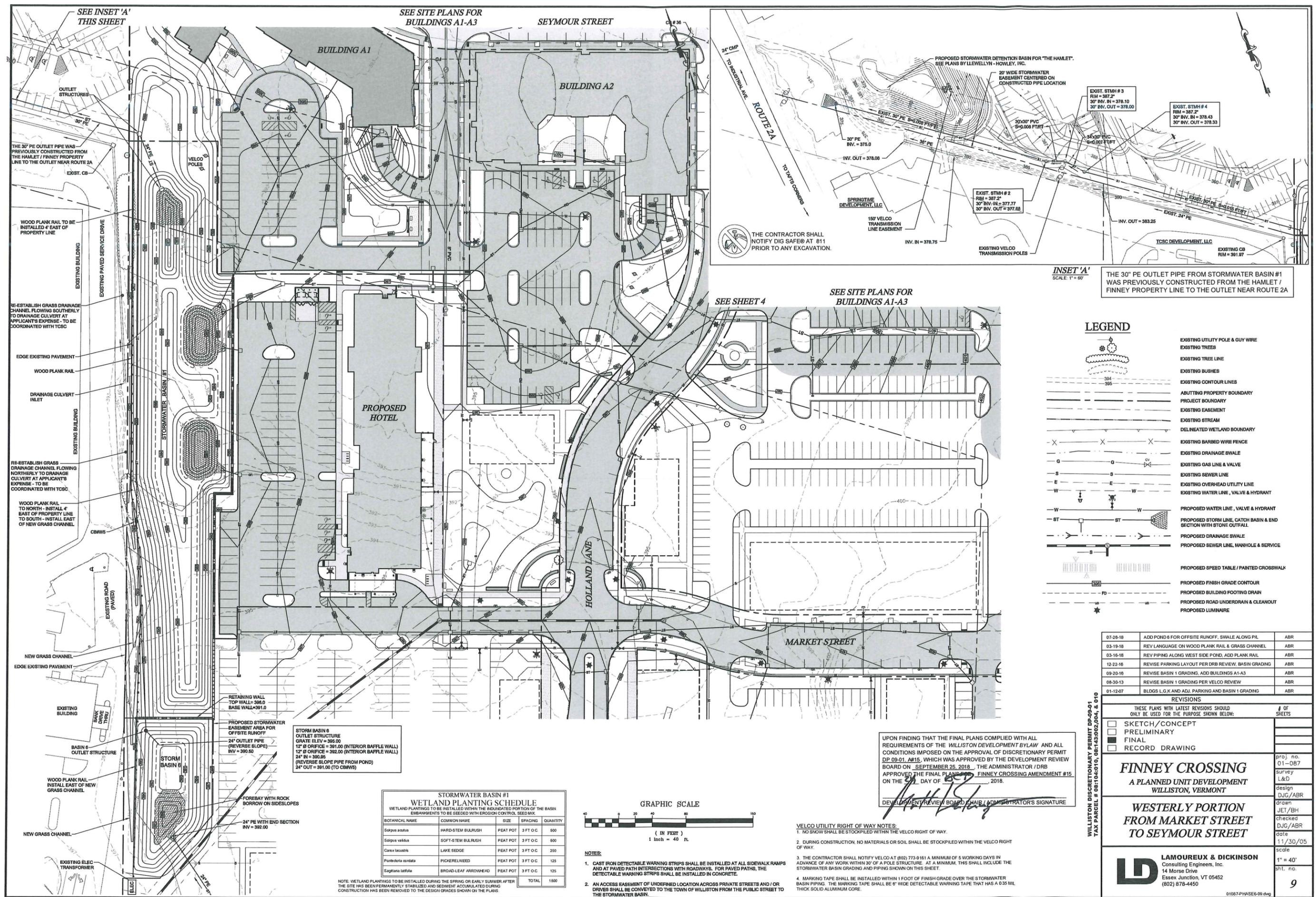
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#15, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON SEPTEMBER 25, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #15 ON THE 24 DAY OF OCT, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE
 Matt P. [Signature]
 GRAPHIC SCALE
 1 INCH = 30 FEET

07-26-18	ADD STORM BASIN 6	ABR
REVISIONS THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	# OF SHEETS
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		proj. no. 01-087
EROSION PREVENTION & SEDIMENT CONTROL PLAN		survey L&D design DJG/ABR drawn L&D checked DJG/ABR date 09/15/17 scale 1" = 100' sht. no. C6
LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction VT 05452 (802) 876-4450		



WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 081433010



INSET 'A'
SCALE: 1" = 60'

THE 30" PE OUTLET PIPE FROM STORMWATER BASIN #1 WAS PREVIOUSLY CONSTRUCTED FROM THE HAMLET / FINNEY PROPERTY LINE TO THE OUTLET NEAR ROUTE 2A

LEGEND

- EXISTING UTILITY POLE & GUY WIRE
- EXISTING TREES
- EXISTING TREE LINE
- EXISTING BUSHES
- EXISTING CONTOUR LINES
- ABUTTING PROPERTY BOUNDARY
- PROJECT BOUNDARY
- EXISTING EASEMENT
- EXISTING STREAM
- DELINEATED WETLAND BOUNDARY
- EXISTING BARBED WIRE FENCE
- EXISTING DRAINAGE SWALE
- EXISTING GAS LINE & VALVE
- EXISTING SEWER LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING WATER LINE, VALVE & HYDRANT
- PROPOSED WATER LINE, VALVE & HYDRANT
- PROPOSED STORM LINE, CATCH BASIN & END SECTION WITH STONE OUTFALL
- PROPOSED DRAINAGE SWALE
- PROPOSED SEWER LINE, MANHOLE & SERVICE
- PROPOSED SPEED TABLE / PAINTED CROSSWALK
- PROPOSED FINISH GRADE CONTOUR
- PROPOSED BUILDING FOOTING DRAIN
- PROPOSED ROAD UNDERDRAIN & CLEANOUT
- PROPOSED LUMINAIRE

SEE SHEET 4
SEE SITE PLANS FOR BUILDINGS A1-A3

SEE INSET 'A' THIS SHEET

SEE SITE PLANS FOR BUILDINGS A1-A3
SEYMOUR STREET

THE 30" PE OUTLET PIPE WAS PREVIOUSLY CONSTRUCTED FROM THE HAMLET / FINNEY PROPERTY LINE TO THE OUTLET NEAR ROUTE 2A

WOOD PLANK RAIL TO BE INSTALLED 4' EAST OF PROPERTY LINE

RE-ESTABLISH GRASS DRAINAGE CHANNEL FLOWING SOUTHERLY TO DRAINAGE CULVERT AT APPLICANT'S EXPENSE - TO BE COORDINATED WITH TCSC

EDGE EXISTING PAVEMENT

DRAINAGE CULVERT INLET

RE-ESTABLISH GRASS DRAINAGE CHANNEL FLOWING NORTHERLY TO DRAINAGE CULVERT AT APPLICANT'S EXPENSE - TO BE COORDINATED WITH TCSC

WOOD PLANK RAIL TO NORTH - INSTALL 4' EAST OF PROPERTY LINE TO SOUTH - INSTALL EAST OF NEW GRASS CHANNEL

NEW GRASS CHANNEL

EDGE EXISTING PAVEMENT

WOOD PLANK RAIL INSTALL EAST OF NEW GRASS CHANNEL

NEW GRASS CHANNEL

PROPOSED STORMWATER EASEMENT AREA FOR OFFSITE RUNOFF

24" OUTLET PIPE (REVERSE SLOPE) INV = 390.00

FOREBAY WITH ROCK BORROW ON SIDESLOPES

24" PE WITH END SECTION INV = 392.00

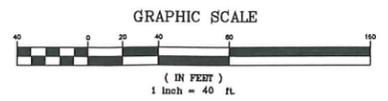
STORM BASIN 8
OUTLET STRUCTURE
GRATE ELEV = 395.00
12" Ø ORIFICE = 391.00 (INTERIOR Baffle WALL)
12" Ø ORIFICE = 392.00 (INTERIOR Baffle WALL)
24" IN = 390.85 (REVERSE SLOPE PIPE FROM POND)
24" OUT = 391.00 (TO CB#WS)

**STORMWATER BASIN #1
WETLAND PLANTING SCHEDULE**

WETLAND PLANTINGS TO BE INSTALLED WITHIN THE Hatched PORTION OF THE BASIN EMBANKMENTS TO BE SEEDED WITH EROSION CONTROL SEED MIX.

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
<i>Scirpus acutus</i>	HARD-STEM BULRUSH	PEAT POT	3 FT O.C.	500
<i>Scirpus validus</i>	SOFT-STEM BULRUSH	PEAT POT	3 FT O.C.	500
<i>Carex lasiocoma</i>	LAKE SEDGE	PEAT POT	3 FT O.C.	250
<i>Potamogeton nodosus</i>	PICKERELWEED	PEAT POT	3 FT O.C.	125
<i>Sagittaria latifolia</i>	BROAD-LEAF ARROWHEAD	PEAT POT	3 FT O.C.	125
TOTAL				1500

NOTE: WETLAND PLANTINGS TO BE INSTALLED DURING THE SPRING OR EARLY SUMMER AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED AND SEDIMENT ACCUMULATED DURING CONSTRUCTION HAS BEEN REMOVED TO THE DESIGN GRADES SHOWN ON THE PLANS



NOTES:

- CAST IRON DETECTABLE WARNING STRIPS SHALL BE INSTALLED AT ALL SIDEWALK RAMPS AND AT PAVED PATH INTERSECTIONS WITH ROADWAYS. FOR PAVED PATHS, THE DETECTABLE WARNING STRIPS SHALL BE INSTALLED IN CONCRETE.
- AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND / OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREET TO THE STORMWATER BASIN.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01-A#15, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON SEPTEMBER 25, 2018. THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS ON THE 30th DAY OF OCTOBER, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

VELCO UTILITY RIGHT OF WAY NOTES:

- NO SNOW SHALL BE STOCKPILED WITHIN THE VELCO RIGHT OF WAY.
- DURING CONSTRUCTION, NO MATERIALS OR SOIL SHALL BE STOCKPILED WITHIN THE VELCO RIGHT OF WAY.
- THE CONTRACTOR SHALL NOTIFY VELCO AT (802) 773-9161 A MINIMUM OF 5 WORKING DAYS IN ADVANCE OF ANY WORK WITHIN 30' OF A POLE STRUCTURE. AT A MINIMUM, THIS SHALL INCLUDE THE STORMWATER BASIN GRADING AND PIPING SHOWN ON THIS SHEET.
- MARKING TAPE SHALL BE INSTALLED WITHIN 1 FOOT OF FINISH GRADE OVER THE STORMWATER BASIN PIPING. THE MARKING TAPE SHALL BE 6" WIDE DETECTABLE WARNING TAPE THAT HAS A 0.35 MIL THICK SOLID ALUMINUM CORE.

DATE	DESCRIPTION	BY
07-26-18	ADD POND 6 FOR OFFSITE RUNOFF, SWALE ALONG PA.	ABR
03-19-18	REV LANGUAGE ON WOOD PLANK RAIL & GRASS CHANNEL	ABR
03-16-18	REV PIPING ALONG WEST SIDE POND, ADD PLANK RAIL	ABR
12-22-16	REVISE PARKING LAYOUT PER DRB REVIEW, BASIN GRADING	ABR
09-20-16	REVISE BASIN 1 GRADING, ADD BUILDINGS A1-A3	ABR
08-30-13	REVISE BASIN 1 GRADING PER VELCO REVIEW	ABR
01-12-07	BLOGS L.G.K AND ADJ. PARKING AND BASIN 1 GRADINGS	ABR

REVISIONS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

- SKETCH/CONCEPT
- PRELIMINARY
- FINAL
- RECORD DRAWING

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

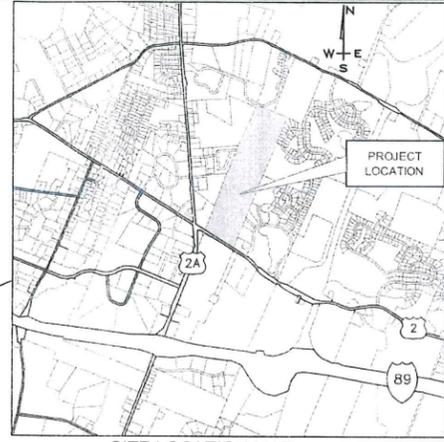
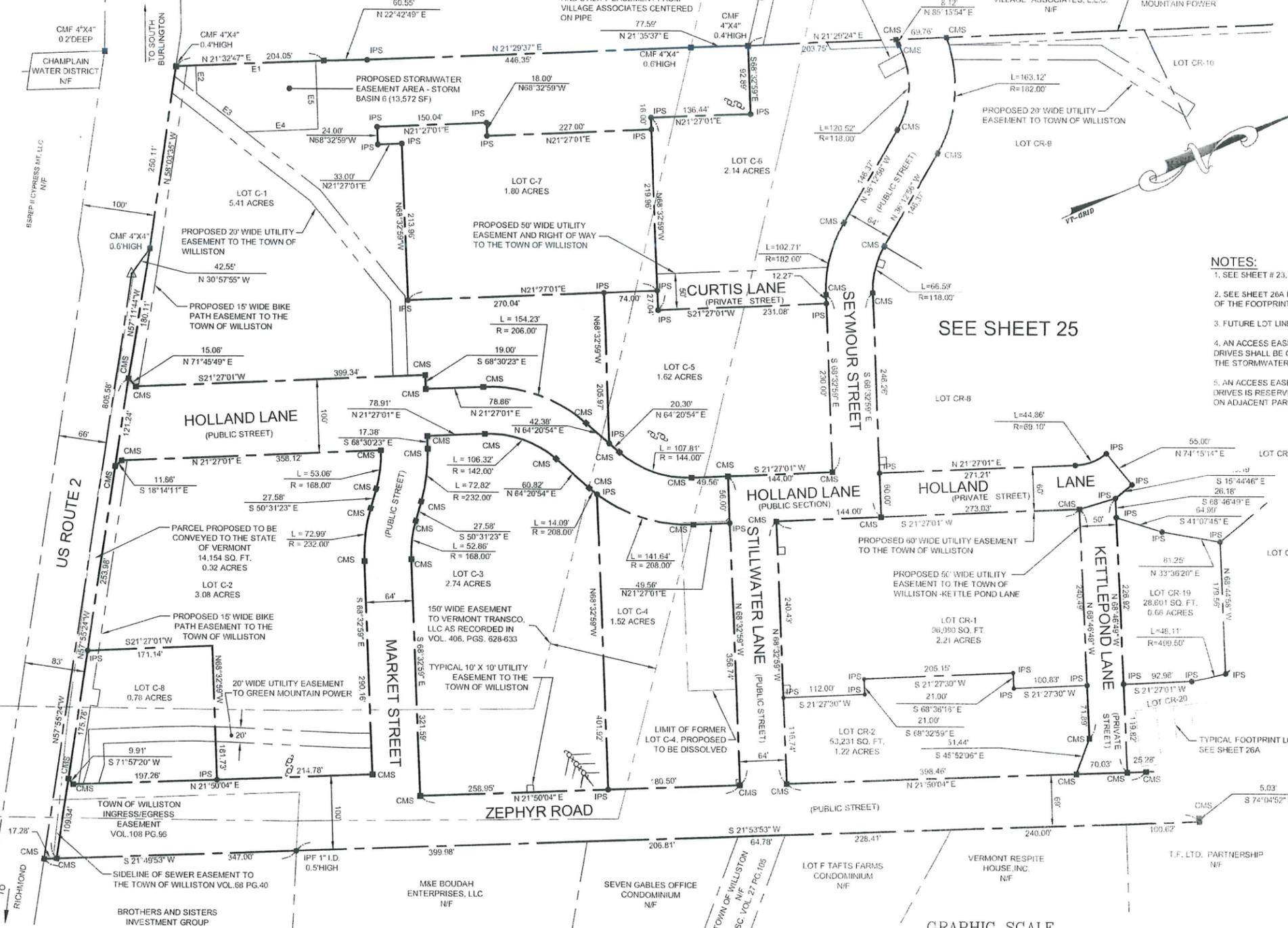
WESTERLY PORTION
FROM MARKET STREET
TO SEYMOUR STREET

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale 1" = 40'
shl. no. 9

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08104010, 081431002, 004, & 010

LINE	BEARING	DISTANCE
E1	N 21°32'47" E	165.32
E2	S 68°27'13" E	38.61
E3	N 61°07'09" E	85.45
E4	N 21°27'01" E	99.61
E5	N 68°32'59" W	92.78



SITE LOCATION MAP
N.T.S.

- NOTES:**
- SEE SHEET # 23, "OVERALL PERIMETER PROPERTY PLAT" FOR SURVEY NOTES.
 - SEE SHEET 26A FOR FOOTPRINT LOT DATA. THE AREA OF LOT CR-2 EXCLUDES THE AREA OF THE FOOTPRINT LOTS.
 - FUTURE LOT LINES AND AREAS ARE SUBJECT TO CHANGE.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND / OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREETS TO THE STORMWATER BASINS.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND/OR DRIVES IS RESERVED FOR THE POTENTIAL FUTURE CONNECTION BETWEEN PARKING AREAS ON ADJACENT PARCELS NEAR THE SOUTHWEST CORNER OF THE PROJECT PARCEL.

SEE SHEET 25

TOWN CLERK'S OFFICE
TOWN OF WILLISTON, VT _____ 2018
RECEIVED FOR RECORD AT _____ O'CLOCK ____ M.
AND RECORDED IN SLIDE # _____
ATTEST _____ TOWN CLERK

date	description	by
08-30-18	ADD BEARINGS/DISTANCES FOR STORM EASEMENT	ABR
07-26-18	ADD EASEMENT FOR STORM BASIN 6	ABR
04-06-18	ADD LOT C-8. REVISE LOT C-2	ABR
09-15-17	REVISE LOTS C-1-5 & CREATED LOT C-7 PER NEW LAYOUT	DLH
12-22-16	REVISE LOT C-6 PER PARKING LOT EDITS PER DRB REVIEW	NDS
10-10-16	RECONFIGURE LOTS C-3 AND C-4, CREATE LOTS C-5 & C-6	DLH
8-25-16	REVISE LOT CR-2 & DEL R1, R2, R3 FOOTPRINT LOTS	ABR
3-28-14	REVISE LOT CR-2 AND FOOTPRINT LOTS	DLH
8-27-07	REVISE LOTS C-1 & C-2	JT
3-16-07	REVISE PER STAFF REVIEW	ABR
1-12-07	GENERAL REVISIONS	DLH

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

<input type="checkbox"/>	SKETCH/CONCEPT	# OF SHEETS
<input type="checkbox"/>	PRELIMINARY	
<input type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

FINNEY CROSSING
5987 WILLISTON ROAD, VERMONT 05495

SUBDIVISION PLAT (SOUTH)
LAMOUREUX & DICKINSON
Consulting Engineers Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450
Engineers-Planners-Surveyors

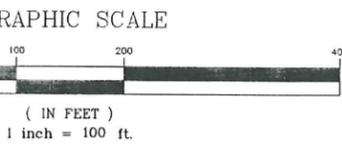
THIS IS AN ORIGINAL MYLAR

LEGEND:

—	PROJECT PROPERTY LINE	●	IRON PIPE OR REBAR SHOWN ON PREVIOUS SURVEY
- - -	ABUTTING PROPERTY LINE	■	CONCRETE MONUMENT SHOWN ON PREVIOUS SURVEY
- - - -	SIDELINE OF EXISTING EASEMENT	●	IRON REBAR FOUND
- - - - -	SIDELINE OF PROPOSED EASEMENT	●	IRON PIPE FOUND
N/F	NOW OR FORMERLY	●	IRON PIPE SET
N35°25'45"E 124.54	BEARINGS & DISTANCES DETERMINED BY SURVEY	■	CONCRETE MONUMENT FOUND
△	POINT NOT DETERMINED BY SURVEY	■	CONCRETE MONUMENT SET

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#15, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON SEPTEMBER 25, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #15 ON THE 24th DAY OF OCTOBER, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAT IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 VSA & 1403.

DATED THIS 24th DAY OF OCT, 2018



DP-09-01