

ESSEX ALLIANCE CHURCH ROUTE 2A / ESSEX ROAD RESIDENTIAL SUBDIVISION

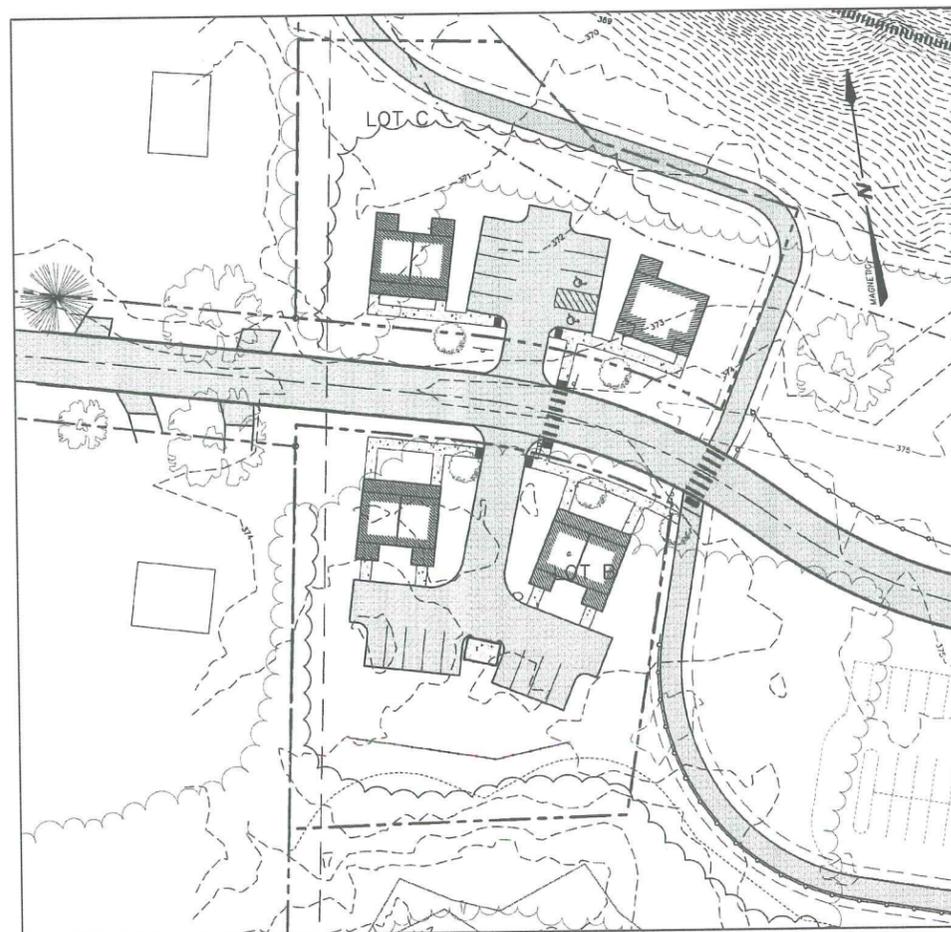
RECEIVED
SEP 26 2012
PLANNING/ZONING

LIST OF DRAWINGS

- C-1EXISTING CONDITIONS PLAN
- C-2OVERALL SITE PLAN
- C-3RESIDENTIAL SITE PLAN
- C-4RESIDENTIAL UTILITY PLAN
- C-5SITE DETAILS
- C-6WATER/SEWER DETAILS
- C-7STORMWATER DETAILS
- PLBOUNDARY SURVEY
- A01TOWNHOUSE PLANS
- A02TOWNHOUSE ELEVATIONS
- A02C.....COLOR TOWNHOUSE ELEVATIONS
- A03THREE-BEDROOM PLANS
- A04THREE-BEDROOM ELEVATIONS
- A04C.....COLOR THREE-BEDROOM ELEVATIONS
- A05FLAT PLANS
- A06FLAT ELEVATIONS
- A06C.....COLOR FLAT ELEVATIONS
- L-1hLANDSCAPING EXISTING CONDITIONS PLAN
- L-2hLANDSCAPING PLAN
- L-3hPLANT SCHEDULES, NOTES & DETAILS

APRIL 20, 2012

REVISED SEPTEMBER 21, 2012



OWNER

ESSEX ALLIANCE CHURCH
37 OLD STAGE ROAD
ESSEX JUNCTION, VERMONT 05452
CONTACT: SCOTT SLOCUM

APPLICANT

ESSEX ALLIANCE CHURCH
37 OLD STAGE ROAD
ESSEX JUNCTION, VERMONT 05452
CONTACT: JEFF KOLOK
(802) 899-3070

ARCHITECTS

GARDNER KILCOYNE ARCHITECTS
20 WINOOSKI FALLS WAY, SUITE 24
WINOOSKI, VT 05404
CONTACT: BILL GARDNER, NCARB
(802) 655-0145

MANN - HUGHES ARCHITECTURE
11 DUANE ROAD & ROUTE 611
DOYLESTOWN, PENNSYLVANIA 18901
CONTACT: JEFFREY A. HARRIS, A.I.A.
(215) 741-3200

CIVIL ENGINEER

CHAMPLAIN CONSULTING ENGINEERS
85 PRIM ROAD, P.O. BOX 453
COLCHESTER, VERMONT 05446
CONTACT: MARTIN E. COURCELLE, P.E.
(802) 863-8060

LAND SURVEYOR

O'LEARY-BURKE CIVIL ASSOCIATES
5 ANDREW AVENUE, SUITE 5
ESSEX JUNCTION, VERMONT 05452
CONTACT: JOSEPH FLYNN
(802) 878-9990

TRAFFIC ENGINEER

RESOURCE SYSTEM GROUP, INC.
60 LAKE STREET SUITE 1E
BURLINGTON, VERMONT 05401
CONTACT: JOE SEGALE
(802) 383-0118

WETLAND ECOLOGIST

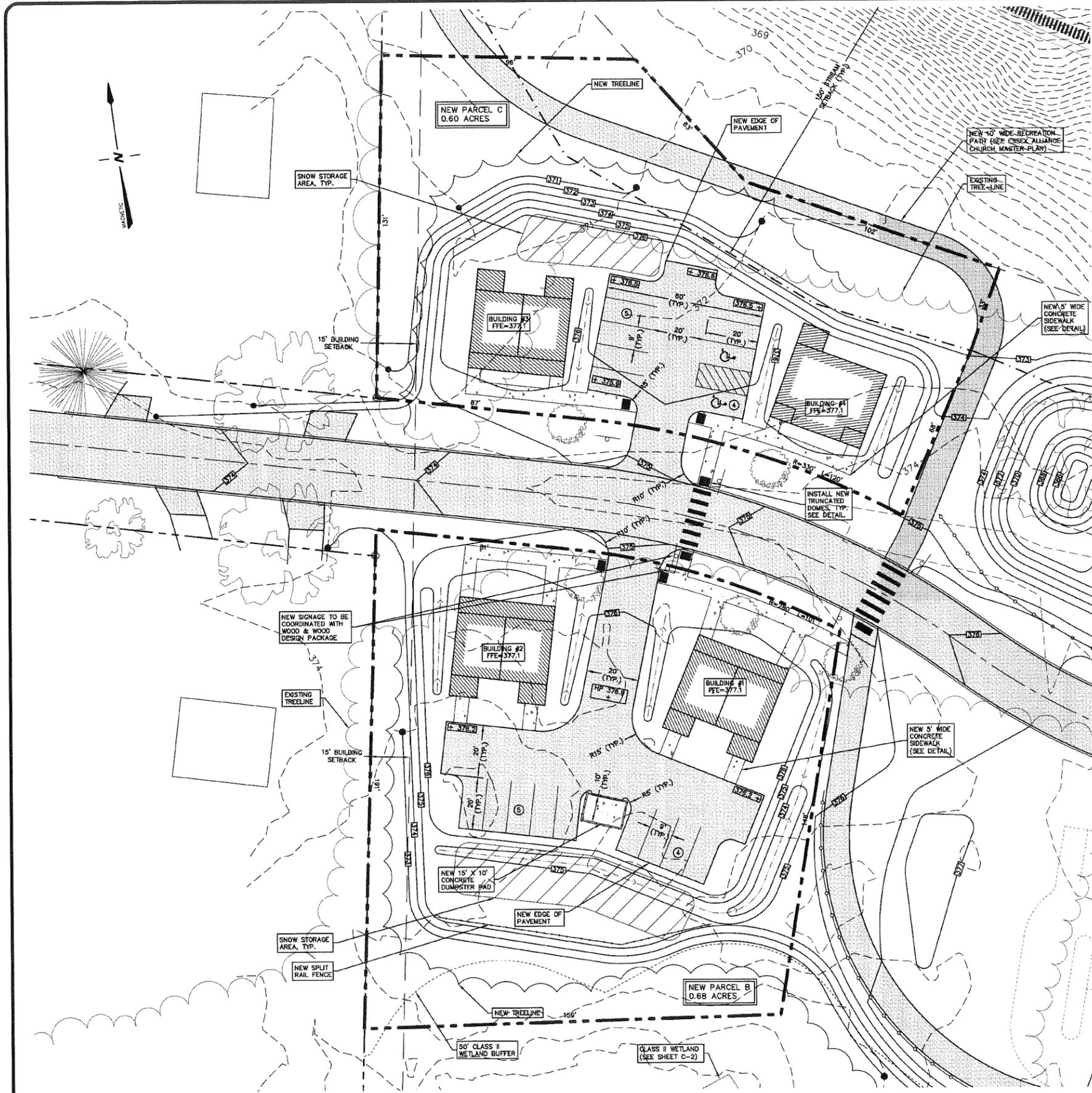
NATURAL RESOURCE CONSULTING SERVICES
67 WEST SHORE ROAD
GRAND ISLE, VERMONT 05458
CONTACT: PETER SPEAR
(802) 878-4800

APPLICATION NO: DP 09-21
TAX PARCEL NO: 8:102:28, 48

PERMIT SET

FINAL PLANS

APPROVAL SIGNATURE BLOCK
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP09-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 26th DAY OF SEPTEMBER 2012.
[Signature]
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER



LEGEND

EXISTING TREELINE	
EXISTING WETLAND	
EXISTING 100 YR FLOOD PLAIN	
SUBJECT PROPERTY LINE W/ DIMENSION	123'
EXISTING CONTOUR	380'
PROPOSED CONTOUR	375'
PROPOSED SPOT ELEVATION	+ 375.50
PROPOSED SNOW STORAGE AREA	

- NOTES:**
- 1) ALL IMPROVEMENTS SHOWN OFF OF THE TWO RESIDENTIAL LOTS (B & C) ARE SHOWN FOR CLARIFICATION ONLY. REFER TO THE CURRENT PLANS PREPARED BY CHAMPLAIN CONSULTING ENGINEERS FOR THE ESSEX ALLIANCE CHURCH CAMPUS.
 - 2) STORMWATER TREATMENT FOR THE RESIDENTIAL DEVELOPMENT IS PROVIDED BY THE STORMWATER SYSTEM FOR THE CHURCH CAMPUS.
 - 3) LIMITED STREET TREES SHOWN FOR EXAMPLE ONLY. STREET TREES & OTHER LANDSCAPING TO BE DEVELOPED AS PART OF THE OVERALL CHURCH CAMPUS PLAN.

ZONING & PARCEL INFORMATION:

ZONING DISTRICT: TAFTS CORNER ZONING DISTRICT, TC2D

NEW PARCEL B COVERAGE:
 PARCEL SIZE: 0.68 ACRES
 BUILDING COVERAGE PROPOSED: 8.5%
 LOT COVERAGE PROPOSED: 31.2%

NEW PARCEL C COVERAGE:
 PARCEL SIZE: 0.60 ACRES
 BUILDING COVERAGE PROPOSED: 9.2%
 LOT COVERAGE PROPOSED: 24.3%

ZONING INFORMATION:

ZONE: TAFT CORNERS DOWNTOWN ZONING DISTRICT
 USE: RESIDENTIAL (2 FAMILY)

ITEM	LOT B	LOT C
PARKING SPACES REQUIRED PER UNIT	2	2
PARKING SPACES PROVIDED PER UNIT	2	2
NUMBER OF 2 BEDROOM UNITS	2	4
NUMBER OF 3 BEDROOM UNITS	2	0

APPROVAL SIGNATURE BLOCK
 UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP09-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 26th DAY OF AUGUST, 2015.

 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

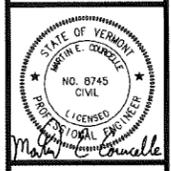
APPLICATION NO: DP 09-21
 TAX PARCEL NO: 8:102:28, 48

PERMIT SET

REVISION DATE & DESCRIPTION BY

09/21/12	REVISED PER	MEC
	TOWN COMMENTS	

Champlain Consulting ENGINEERS
 85 PRIM ROAD, P.O. BOX 453
 COLCHESTER, VERMONT 05446
 (802) 863-8060 - 864-1878 FAX
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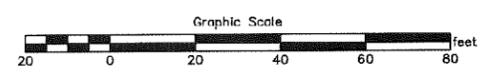
ESSEX ALLIANCE CHURCH
 ROUTE 2A / ESSEX ROAD
 RESIDENTIAL DEVELOPMENT
 SITE PLAN
 WILLISTON VERMONT

DRAWN
 CHECKED
 MEC
 SCALE
 1" = 20'
 DATE
 04/20/12
 JOB NO.
 26141
 SHEET

C-3
 OF 7 SHEETS

THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-344-7233 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT PART OF THE DEMOLITION PLAN.

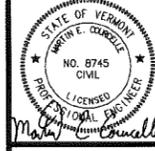
RESIDENTIAL DEVELOPMENT - SITE PLAN
 SCALE 1" = 20'



I:\projects\1364\residential\101_jvc\Plan\1364_101.dwg (L2) 25:25 10:20:45 2012 11/17/12

REVISION DATE & DESCRIPTION	BY
09/21/12 - REVISED PER TOWN COMMENTS	MEC

Champlain Consulting ENGINEERS
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 COLCHESTER, VERMONT 05446
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ESSEX ALLIANCE CHURCH
 ROUTE 2A / ESSEX ROAD
 RESIDENTIAL DEVELOPMENT
 UTILITY PLAN
 VERMONT
 WILLISTON

DRAWN	CCE
CHECKED	MEC
SCALE	1" = 20'
DATE	04/20/12
JOB NO.	26141
SHEET	

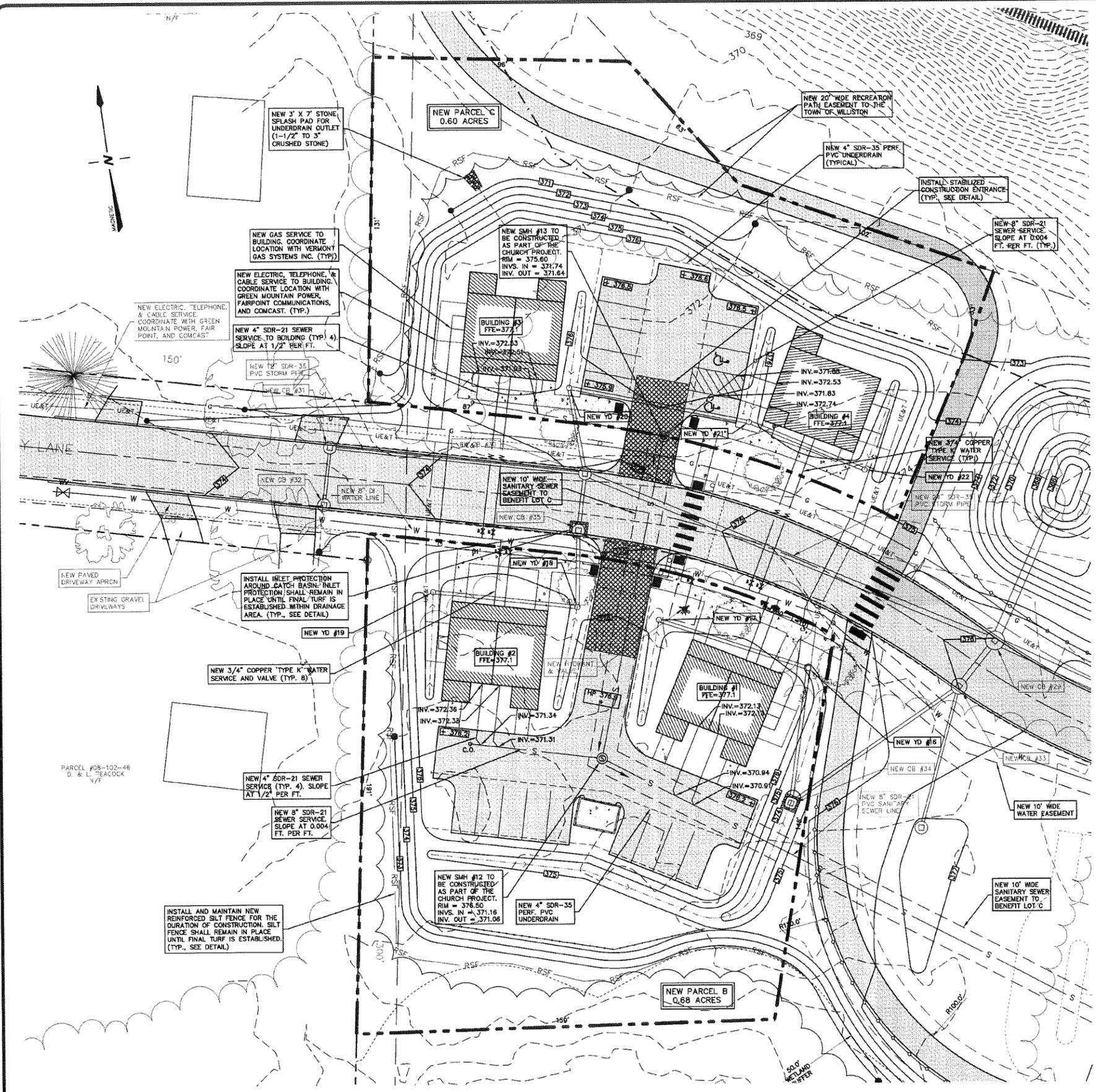
C-4
 OF 7 SHEETS

LEGEND

WATER LINE	W
SANITARY SEWER LINE	S
GAS LINE	G
UNDERGROUND ELECTRIC, CABLE AND TELEPHONE	UE&T
STORM LINE	ST
STORMWATER CATCH BASIN	CB
EXISTING TREELINE	(Symbol)
EXISTING WETLAND	(Symbol)
EXISTING 100 YR FLOOD PLAIN	(Symbol)
EXISTING CONTOUR	380
PROPOSED CONTOUR	378
SANITARY SEWER MANHOLE	SMH
HYDRANT	(Symbol)
WATER VALVE	(Symbol)
RESIDENTIAL PROPERTY LINE	123'
RESIDENTIAL WATER LINE	W
RESIDENTIAL SANITARY SEWER LINE	S
RESIDENTIAL GAS LINE	G
RESIDENTIAL UNDERGROUND ELECTRIC, CABLE AND TELEPHONE	UE&T
RESIDENTIAL TREELINE	(Symbol)

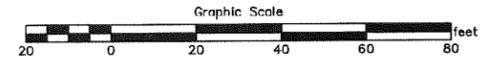
DRAINAGE SUMMARY

CB NO.	RIM	MINIMUM SLOPE DIA. (IN)	INV. IN	INV. OUT	PIPE TO NEXT INVERT DIA. (IN)	LENGTH (FT)	INVERT	SLOPE
YD16	374.50	15	369.53	369.53	15	48.7	369.29	0.005
YD17	375.25	15	369.82	369.82	15	58.1	369.53	0.005
YD18	376.20	15	369.52	369.52	15	28.0	369.39	0.005
YD19	375.25	15	369.78	369.78	15	55.4	369.52	0.005
YD20	375.25	15	369.35	369.35	15	30.2	369.20	0.005
YD21	375.25	15	369.69	369.69	15	67.7	369.35	0.005
YD22	375.25	15	369.92	369.92	15	45.9	369.69	0.005



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RESIDENTIAL DEVELOPMENT - UTILITY PLAN
 SCALE 1" = 20'



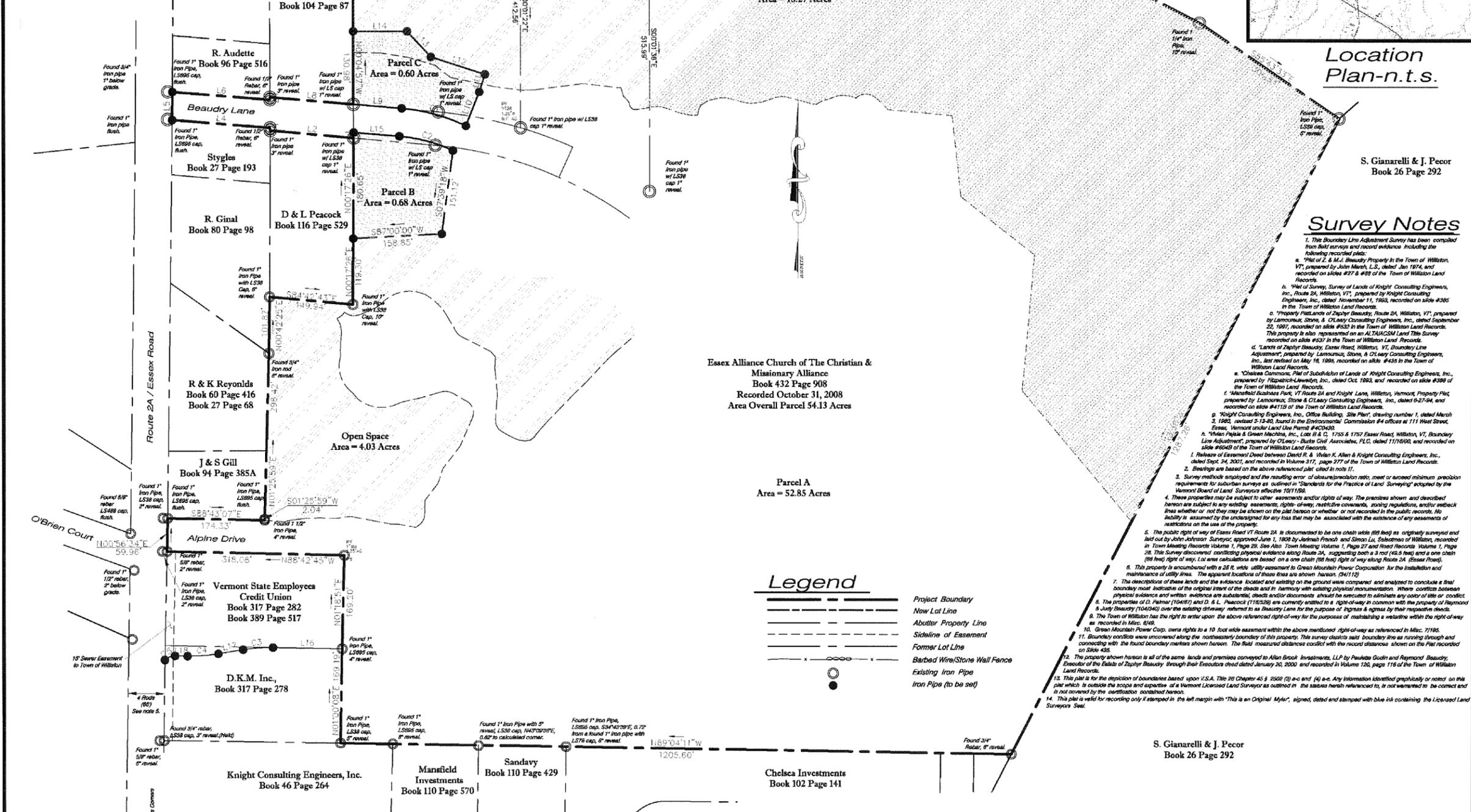
APPROVAL SIGNATURE BLOCK
 UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP09-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 14th DAY OF APRIL 2012.
Kenn Belton
 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

APPLICATION NO: DP 09-21
 TAX PARCEL NO: 8:102:28, 48

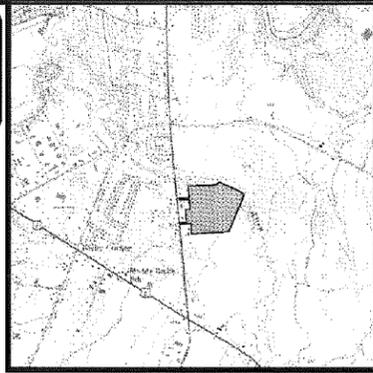
PERMIT SET

Line	Length	Bearing
L1	10.08	S00°17'26"W
L2	150.09	N84°46'42"W
L3	4.85	N03°39'39"W
L4	176.19	N85°20'43"W
L5	50.13	N00°30'30"E
L6	179.62	S85°18'13"E
L7	4.61	N01°51'32"W
L8	156.01	S85°05'16"E
L9	86.91	S85°11'59"E
L10	63.49	N21°58'18"E
L11	33.07	N117°53'27"E
L12	101.83	N122°07'13"W
L13	82.88	N42°54'44"W
L14	96.46	S89°55'03"W
L15	82.07	S85°11'59"E
L16	124.05	S85°31'37"E
L17	45.10	N80°41'02"E
L18	22.53	S88°31'37"E

Curve	Length	Radius	Chord Bearing	Chord Dist.
C1	119.89	330.00	N74°47'29"W	119.24
C2	99.94	280.00	N74°58'28"W	96.41
C3	53.83	265.00	S89°54'45"W	53.76
C4	85.06	303.00	N80°34'43"E	85.58
C5	20.10	25.00	S68°08'48"W	19.56



Town of Williston Received for Record
 at _____ o'clock _____ minutes _____ M
 and recorded in _____
 at _____
 Town Clerk



Location Plan-n.t.s.

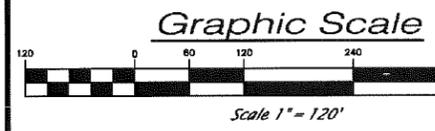
S. Gianarelli & J. Pecor
 Book 26 Page 292

Survey Notes

- The Boundary Line Adjustment Survey has been computed from field surveys and record evidence including the following recorded plats:
 - Plot of Z. & M.J. Beaudry Property in the Town of Williston, VT, prepared by John Meach, L.S., dated Jan 1974, and recorded on Sides #27 & #28 of the Town of Williston Land Records.
 - Map of Survey, Survey of Lands of Knight Consulting Engineers, Inc., Route 2A, Williston, VT, prepared by Knight Consulting Engineers, Inc., dated November 11, 1960, recorded on side #365 in the Town of Williston Land Records.
 - Property Plats of Zephyr Beaudry, Route 2A, Williston, VT, prepared by Lamoureux, Stone & O'Leary Consulting Engineers, Inc., dated September 23, 1987, recorded on side #433 in the Town of Williston Land Records. This property is also represented on an ALTA/ACSM Land Title Survey recorded on side #537 in the Town of Williston Land Records.
 - Lands of Zephyr Beaudry, Essex Road, Williston, VT, Boundary Line Adjustment, prepared by Lamoureux, Stone & O'Leary Consulting Engineers, Inc., last revised on May 16, 1996, recorded on side #455 in the Town of Williston Land Records.
 - Chickee Commons, Plat of Subdivision of Lands of Knight Consulting Engineers, Inc., prepared by Fitzpatrick-Lewis, Inc., dated Oct 1993, and recorded on side #388 of the Town of Williston Land Records.
 - Mansfield Business Park, VT Route 2A and Knight Lane, Williston, Vermont, Property Plat, prepared by Lamoureux, Stone & O'Leary Consulting Engineers, Inc., dated 8-27-04, and recorded on side #419 of the Town of Williston Land Records.
 - Knight Consulting Engineers, Inc. Office Building, Site Plan, drawing number: dated March 3, 1983, revised 3-13-80, found in the Environmental Commission #4 office at 111 West Street, Essex, Vermont under Land Use Permit #40490.
 - Green Mountain Power Corp., Lots 8 & C, 1755 & 1752 Essex Road, Williston, VT, Boundary Line Adjustment, prepared by O'Leary - Burke Civil Associates, P.L.C., dated 11/16/00, and recorded on side #604D of the Town of Williston Land Records.
- Reference is made to the following recorded plats:
 - Reference to Deed between David R. & Helen K. Allen & Knight Consulting Engineers, Inc., dated Sept. 24, 2001, and recorded in Volume 317, page 277 of the Town of Williston Land Records.
 - Reference to Deed between David R. & Helen K. Allen & Knight Consulting Engineers, Inc., dated Sept. 24, 2001, and recorded in Volume 317, page 277 of the Town of Williston Land Records.
- Survey methods employed and the resulting error of closure/precision ratio, meet or exceed minimum precision requirements for subdivision surveys as outlined in "Standards for the Practice of Land Surveying" adopted by the Vermont Board of Land Surveyors effective 10/1/88.
- These properties may be subject to other easements and/or rights of way. The premises shown and described herein are subject to any existing easements, rights-of-way, restrictive covenants, zoning regulations, and/or setback lines whether or not they may be shown on the plat herein or whether or not recorded in the public records. No liability is assumed by the undersigned for any loss that may be associated with the existence of any easements or restrictions on the use of the property.
- The public right of way of Essex Road (VT Route 2A) is documented to be one chain wide (66 feet) as originally surveyed and laid out by John Johnson Surveyor, approved June 1, 1806 by Jeremiah French and Simon Lu, Selectmen of Williston, recorded in Town Meeting Records Volume 1, Page 28. See Also Town Meeting Volume 1, Page 27 and Road Records Volume 1, Page 28. This Survey discovered conflicting physical evidence along Route 2A, suggesting both a 100-foot (30.48 meter) and a one chain (66 feet) right of way. Lot area calculations are based on a one chain (66 feet) right of way along Route 2A (Essex Road).
- This property is encumbered with a 25 ft. wide utility easement to Green Mountain Power Corporation for the installation and maintenance of utility lines. The approximate locations of these lines are shown hereon. (M1112)
- The descriptions of these lands and the evidence located and existing on the ground were compared and analyzed to conclude a final boundary map indicative of the original intent of the deeds and in harmony with existing physical monumentation. Where conflicts between physical evidence and written evidence are substantial, deeds and/or documents should be amended to eliminate any color of title or conflict.
- The properties of D. Palmer (104187) and D. L. Peacock (116239) are currently entitled to a right-of-way in common with the property of Raymond & Judy Beaudry (104184) over the existing driveway referred to as Beaudry Lane for the purpose of ingress & egress by their respective deeds.
- The Town of Williston has the right to enter upon the above referenced right-of-way for the purposes of maintaining a setback within the right-of-way as recorded in Misc. 8/48.
- Green Mountain Power Corp. owns rights to a 10 foot wide easement within the above mentioned right-of-way as referenced in Misc. 7/195.
- Boundary conflicts were uncovered along the northern boundary of this property. This survey depicts said boundary line as running through and connecting with the found boundary markers shown hereon. The field measured distances conflict with the record distances shown on the Plat recorded on Side 455.
- The property shown hereon is all of the same lands and premises conveyed to Allan Brook Investments, LLP by Pauline Godin and Raymond Beaudry, Executor of the Estate of Zephyr Beaudry through their Executrix dated January 20, 2000 and recorded in Volume 120, page 116 of the Town of Williston Land Records.
- This plat is for the depiction of boundaries based upon U.S.A. Title 30 Chapter 45 § 2558 (2) a-c and (4) a-e. Any information identified graphically or noted on this plat which is outside the scope and expertise of a Vermont Licensed Land Surveyor as outlined in the statutes herein referenced to, is not warranted to be correct and is not covered by the certification contained hereon.
- This plat is valid for recording only if stamped in the left margin with "This is an Original Mylar", signed, dated and stamped with blue ink containing the Licensed Land Surveyors Seal.

Legend

- Project Boundary
- New Lot Line
- Abutter Property Line
- Sideline of Easement
- Former Lot Line
- Barbed Wire/Stone Wall Fence
- Existing Iron Pipe
- Iron Pipe (to be set)



I hereby certify that the information shown hereon is correct to the best of my knowledge and belief and is based upon a collaboration of pertinent deeds, plats, parcel, and other recorded evidence. This plat was prepared in accordance with and complies with Vermont Statute Title 27, § 1403, (a) through (e).

Joseph R. Flynn, L.S. 714 Dated

DATE SURVEY JRF	REVISION <input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> FINAL	<input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> SKETCH/CONCEPT	BY DATE 12-14-09
DESIGN OTHERS	O'LEARY-BURKE CIVIL ASSOCIATES, PLC		JOB# 6021
DRAWN HLS			FILE 8021-PLAT
CHECKED JRF	1 CORPORATE DRIVE, SUITE 1 ESSEX, VT PHONE: 878-9990 FAX: 878-9999 E-MAIL: obca@olearyburke.com		PLAN SHEET # PL
SCALE 1" = 120'	Essex Alliance Church Pastor - Scott Slocum Subdivision Plat Route 2A and Alpine Drive		



**GARDNER
KILCOYNE
architects**

Champlain Mill
1 Main Street, Suite 24
Winooski, Vermont 05404

Phone: 802.655.0145
Fax: 802.655.7983
www.gkarchitects.com

Vt. Registration

Essex Alliance

Project:

**Essex
Alliance
Housing**

Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

Townhouse
Plans

Scale:
1/4"=1'-0"

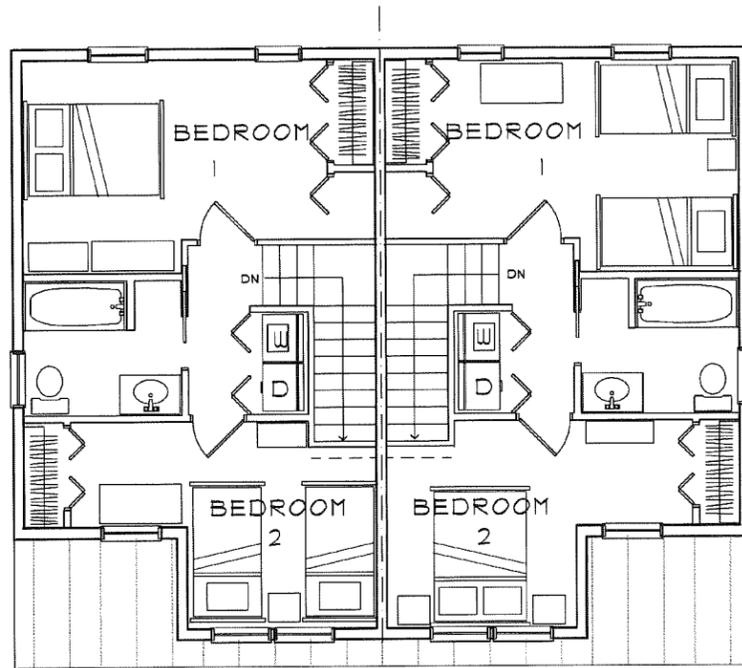
Date:
4/20/12

Rev:

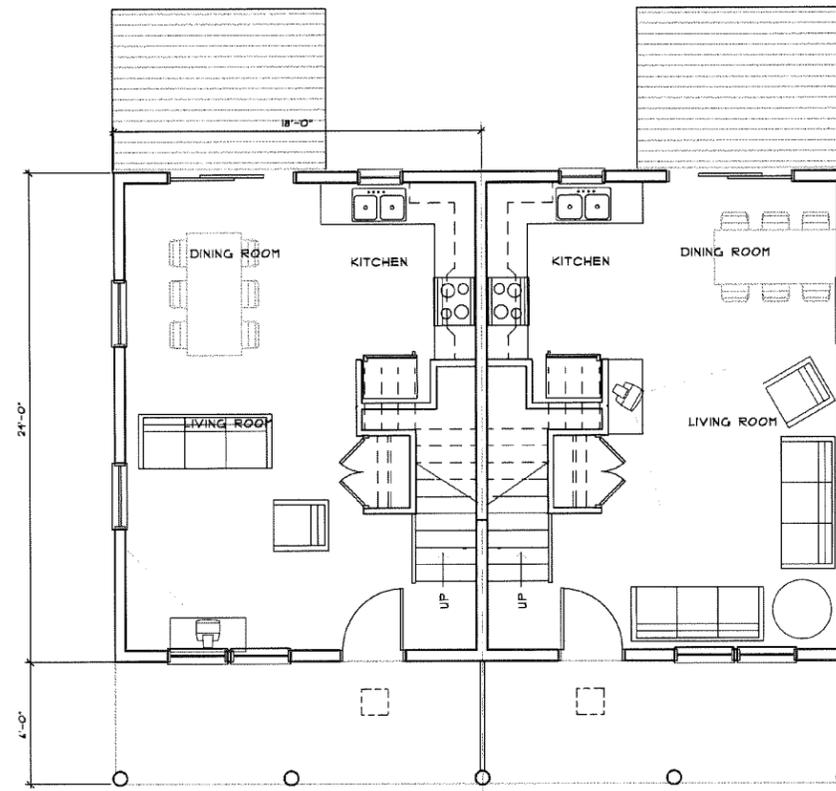
Drawn by:
BG

SHEET No.

A01



Second Floor Plan



First Floor Plan

4/18/2012

S:\LOCAL Current\Essex Alliance Church\Essex Alliance Housing 07-46\Drawings\plot sheets\A01

APPROVAL SIGNATURE BLOCK
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT OP08-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVES THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBMISSION ON THE 20th DAY OF APRIL 2015
Kent Belton
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER



**GARDNER
KILCOYNE
architects**

Champlain Mill
1 Main Street, Suite 24
Winooski, Vermont 05404

Phone 802.655.0145
Fax 802.655.7983
www.gkarchitects.com

Vt. Registration

Essex Alliance

Project:

**Essex
Alliance
Housing**

Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

Townhouse
Elevations

Scale:

1/4"=1'-0"

Date:

1/20/12

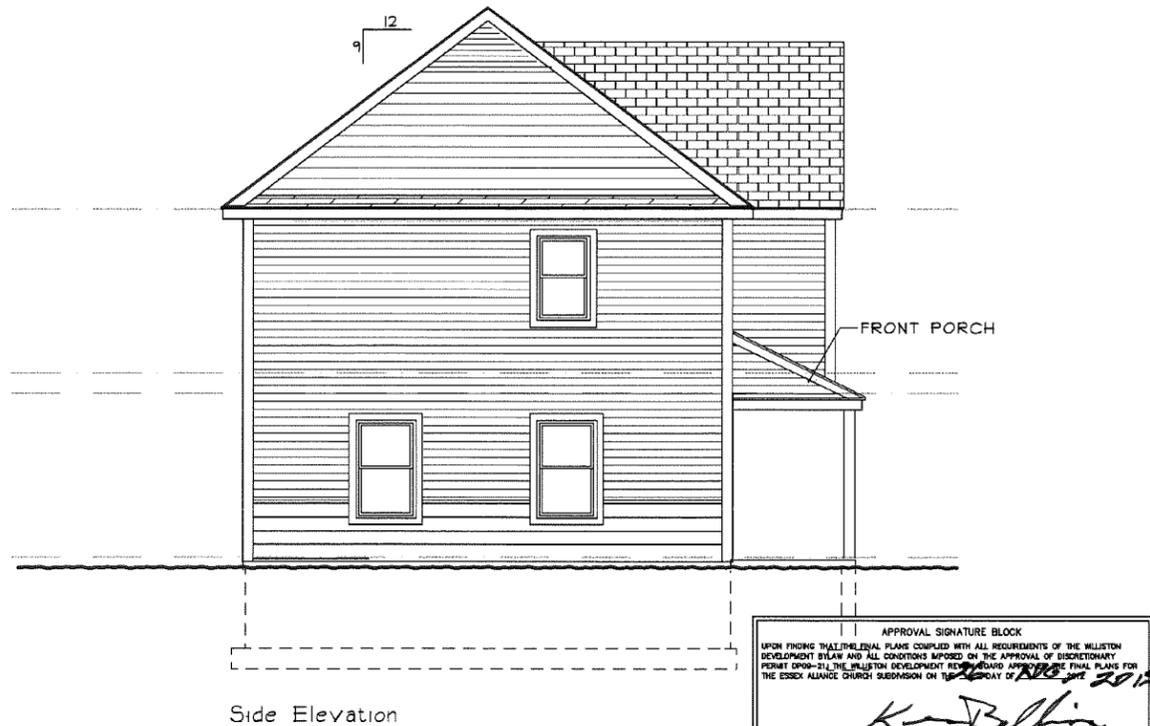
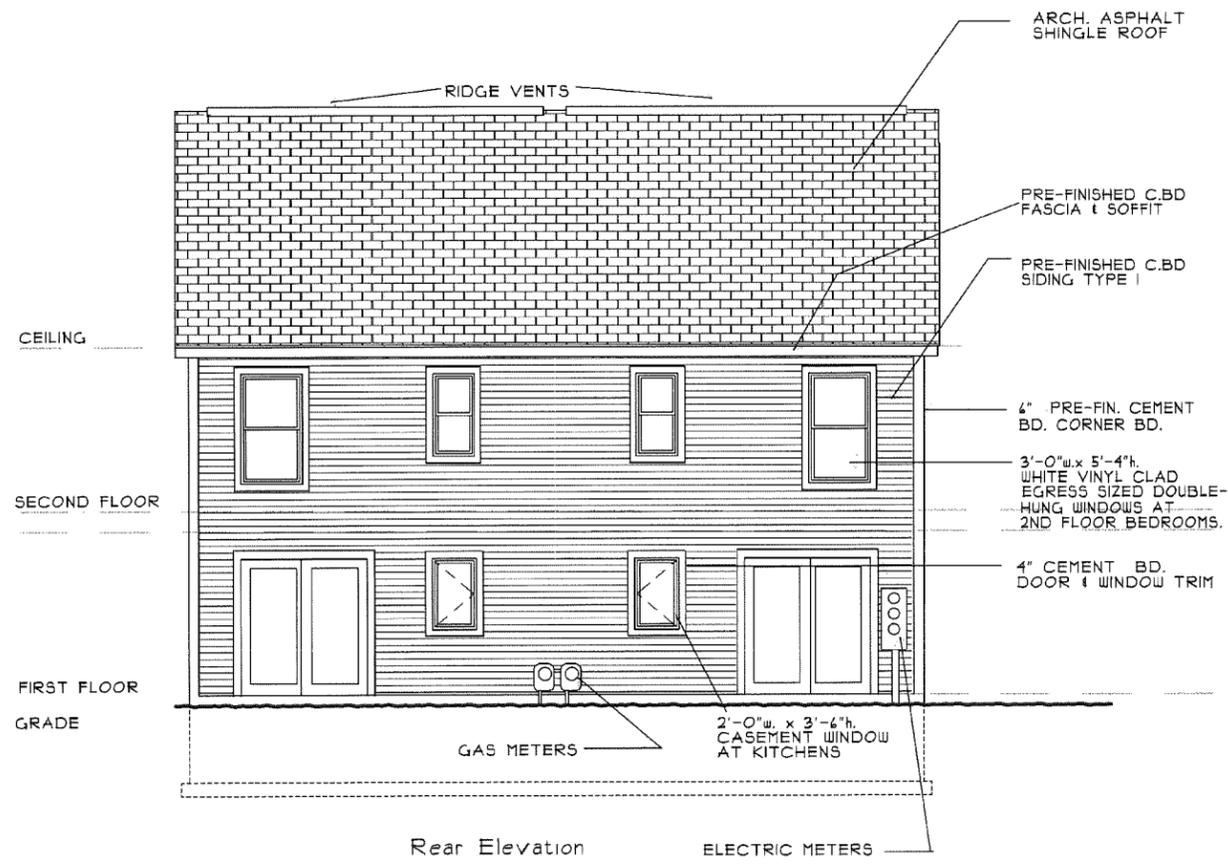
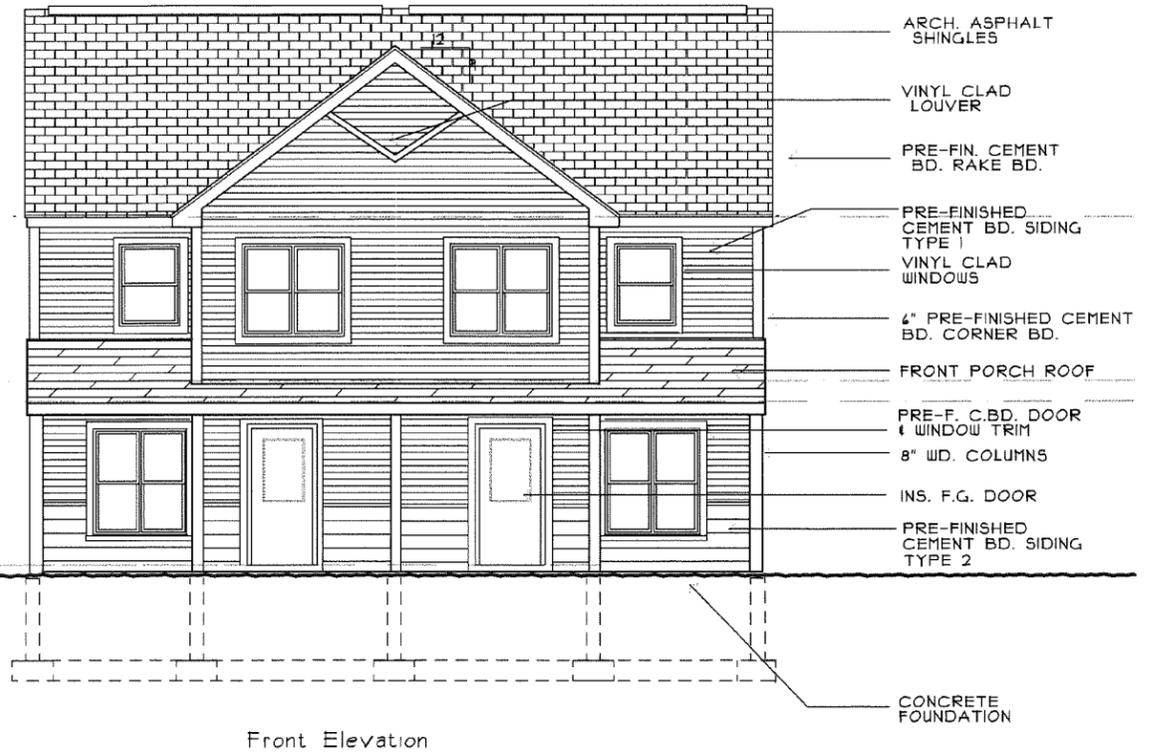
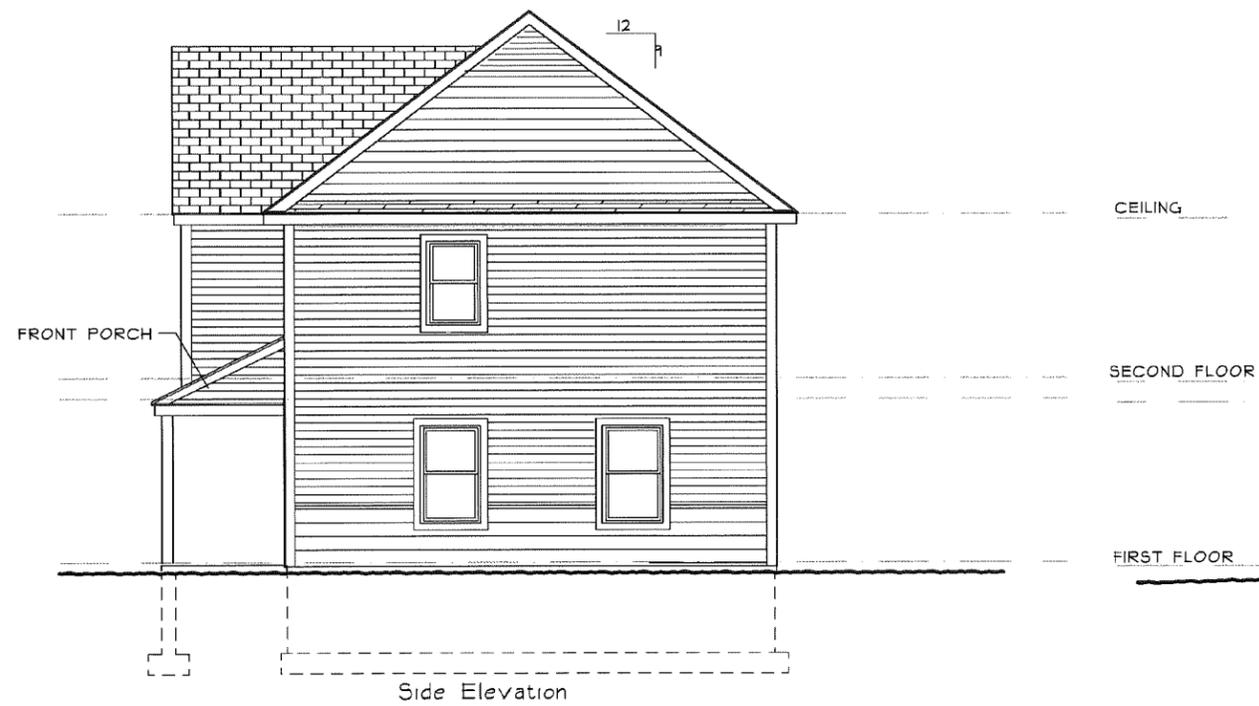
Rev.

Drawn by:

BG

SHEET No.

A02



APPROVAL SIGNATURE BLOCK
 UPON FINDING THAT THE PLANS COMPLY WITH ALL REQUIREMENTS OF THE MILLISTON DEVELOPMENT PLAN AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DPO-214, THE MILLISTON DEVELOPMENT REVIEW BOARD APPROVES THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE DATE OF **APR 27 2012**

Kim Bellin
 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

S:\GK\Current\Essex Alliance Church\Essex Alliance Housing 07-46\Drawings\plot sheets\A02



**GARDNER
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1 Main Street, Suite 24
Williston, Vermont 05404

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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**
Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

Townhouse
Elevations

Scale:

1/4"=1'-0"

Date:

4/20/12

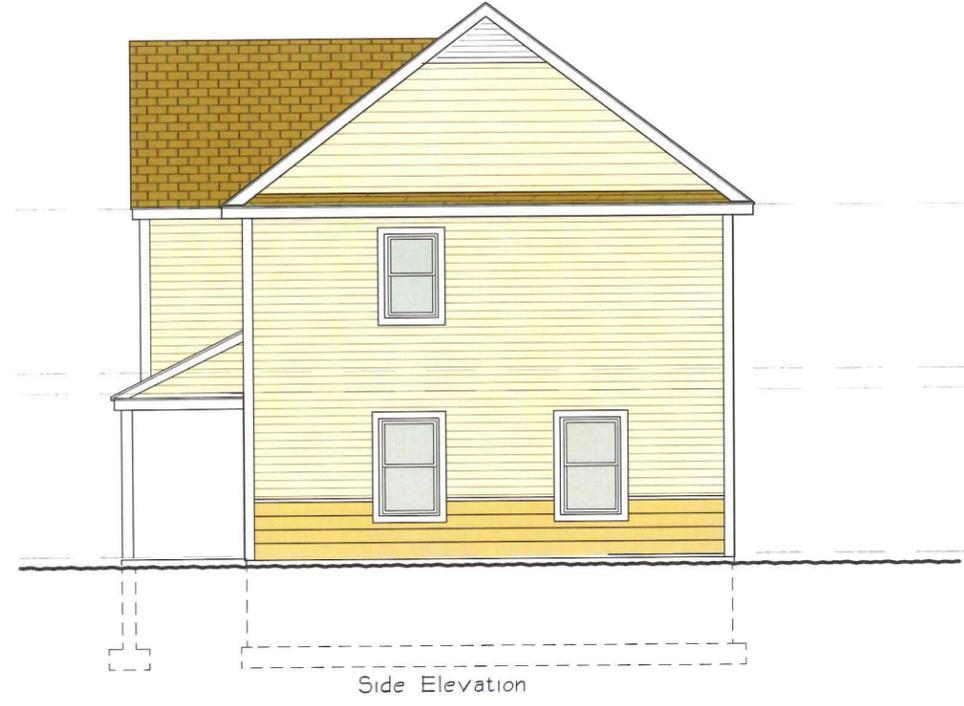
Rev:

Drawn by:

BG

SHEET No.

A02
C



Side Elevation



Front Elevation



Rear Elevation



Side Elevation

APPROVAL SIGNATURE BLOCK
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT DP09-21, THE WILLISTON DEVELOPMENT BOARD APPROVES THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 26 DAY OF APRIL 2012

DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

S:\GK\Current\Essex Alliance Church\Essex Alliance Housing 07-46\Drawings\Plot sheets\A02-c



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KILCOYNE
architects

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Williston, Vermont 05404

Phone 802 655 0145
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Vt. Registration

Essex Alliance

Project:
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Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

**3 Bedroom
Plans**

Scale:
1/4"=1'-0"

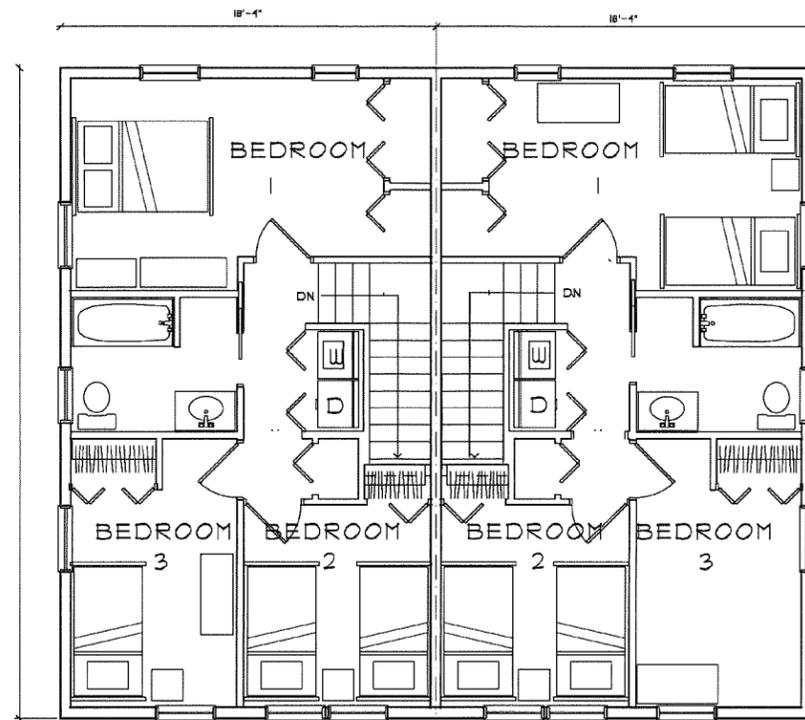
Date:
4/20/12

Rev:

Drawn by:
BG

SHEET No.

A03



Second Floor Plan

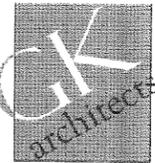


First Floor Plan

APPROVAL SIGNATURE BLOCK
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT REVIEW BOARD AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT DP08-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVES THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THIS DAY OF APRIL 2012
K. Bell
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

S:\GK\Current\Essex Alliance Church\Essex Alliance Housing 07-46\Drawings\plot sheets\A03



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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**

Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

**3 Bedroom
Elevations**

Scale:

1/4"=1'-0"

Date:

4/20/12

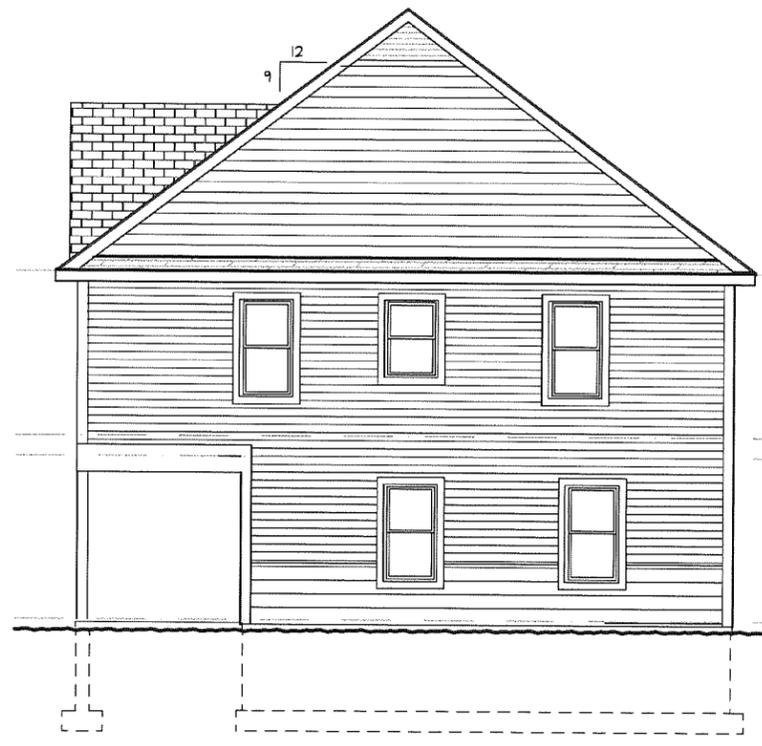
Rev:

Drawn by:

BG

SHEET No.

A04

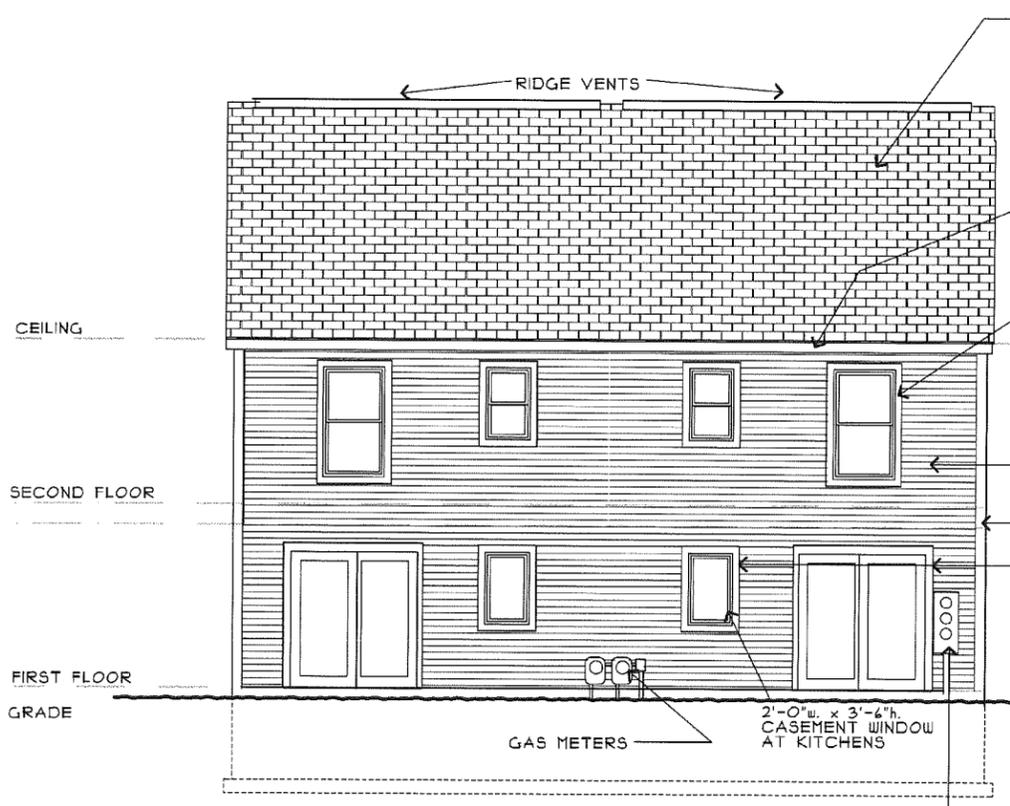


Side Elevation



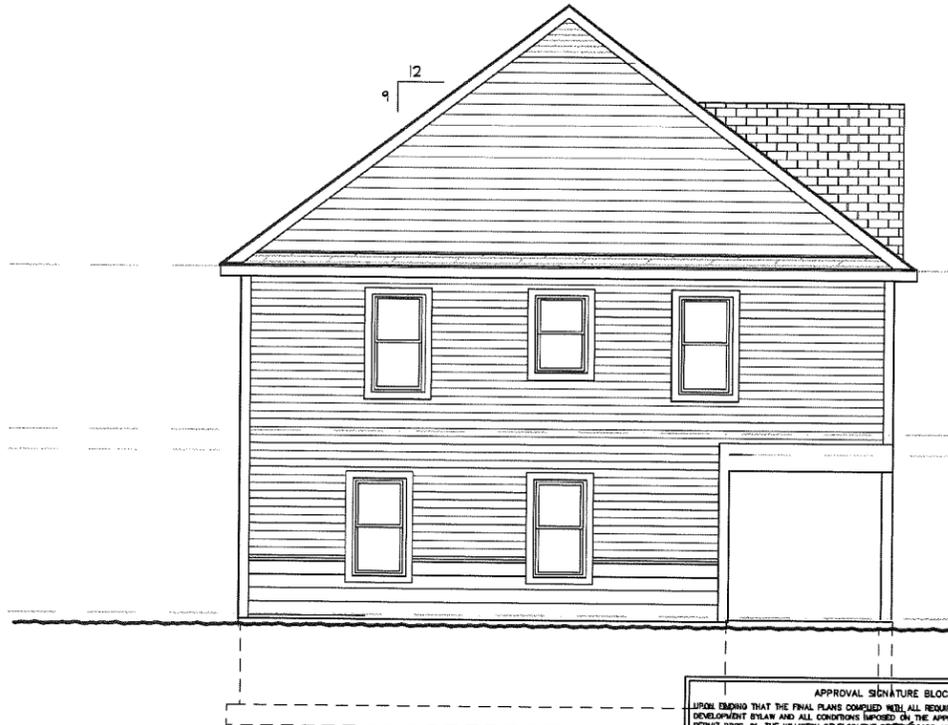
Front Elevation

- ARCH. ASPHALT SHINGLE ROOF
- VINYL CLAD LOUVER
- PRE-FIN. CEMENT BD. FASCIA & SOFFITS.
- PRE-FIN. CEMENT BD. SIDING TYPE 1
- VINYL CLAD WINDOWS
- 4" PRE-FIN. CEMENT BD. CORNERS
- 4" PRE-FIN. CEMENT BD. DOOR & WINDOW TRIM
- 8" WD. COLUMNS
- INS. F.G. DOOR
- PRE-FIN. CEMENT BD. SIDING TYPE 2
- CONC. FOUND. & PIERS



Rear Elevation

- ARCH. ASPHALT SHINGLE ROOF
- RIDGE VENTS
- PRE-FIN. CEMENT BD. FASCIA & SOFFITS.
- 3'-0" w. x 5'-4" h. WHITE VINYL CLAD EGRESS SIZED DOUBLE-HUNG WINDOWS AT 2ND FLOOR BEDROOMS.
- PRE-FIN. CEMENT BD. SIDING TYPE 1
- 4" PRE-FIN. CEMENT BD. CORNERS
- 4" PRE-FIN. CEMENT BD. DOOR & WINDOW TRIM
- 2'-0" w. x 3'-4" h. CASEMENT WINDOW AT KITCHENS
- ELECTRIC METERS
- GAS METERS



Side Elevation

APPROVAL SIGNATURE BLOCK
 UPON ENDORSEMENT THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY SPECIAL USE-2, THE WILLISTON DEVELOPMENT SUBDIVISION APPROVED FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 20th DAY OF APRIL 2012.
Kenn Bellin
 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**

Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

3 Bedroom
Elevations

Scale:

1/4"=1'-0"

Date:

4/20/12

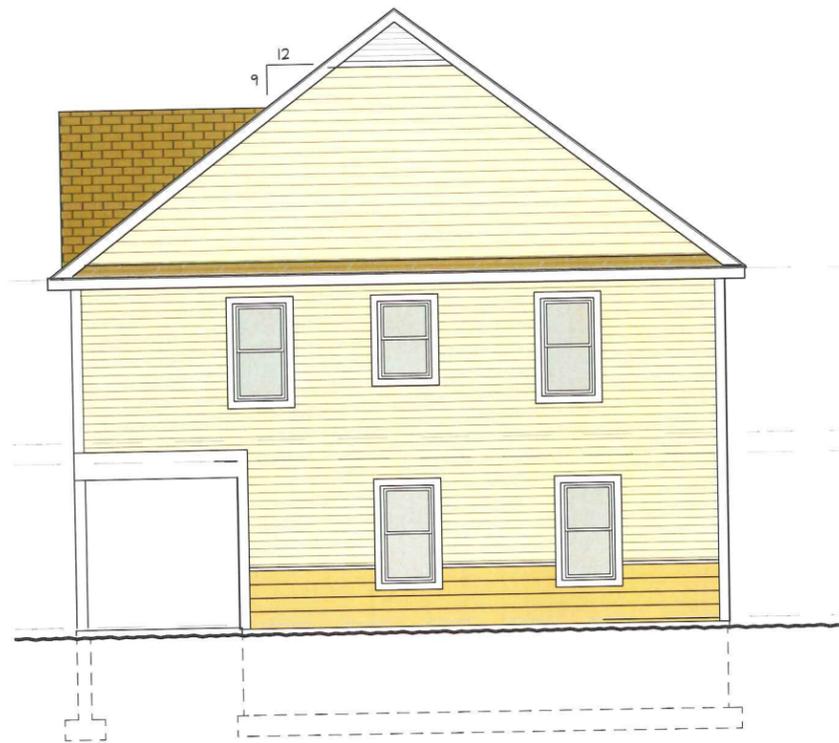
Rev.

Drawn by:

BG

SHEET No.

A04
C



Side Elevation



Front Elevation



Rear Elevation



Side Elevation

APPROVAL SIGNATURE BLOCK
I/JOHN BELLA CERTIFY THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT BY-LAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT REVIEW-2). THE WILLISTON DEVELOPMENT BOARD APPROVED THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 15th DAY OF APRIL, 2012.
John Bella
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

S:\JGK\Current\Essex Alliance Housing 07-46\Drawings\plot sheets\A04-c



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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**
Williston,
Vermont
Proj. No.:
07-46

Drawing Title:

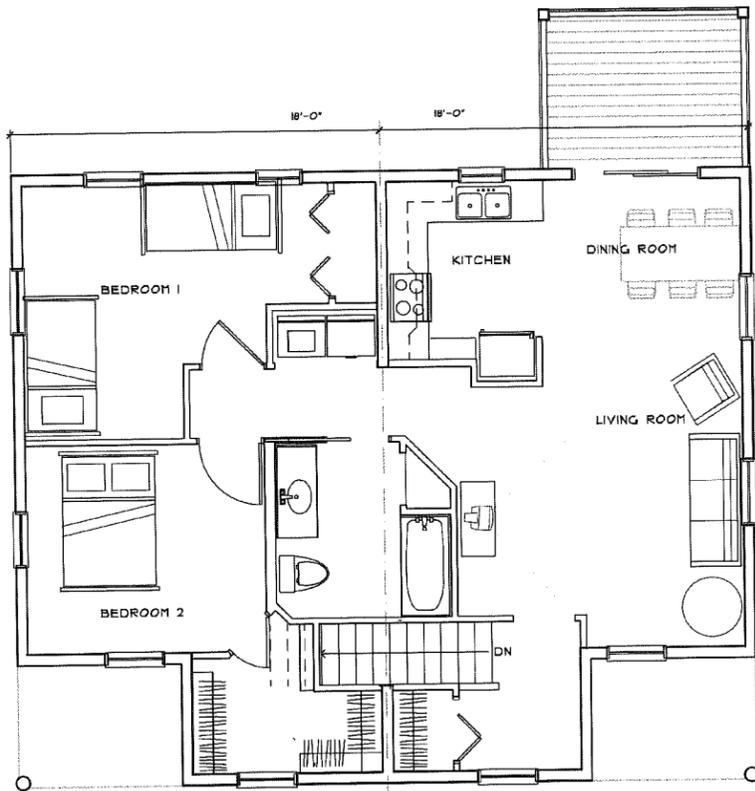
Flats
Plans

Scale:
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Date:
4/20/12
Rev:

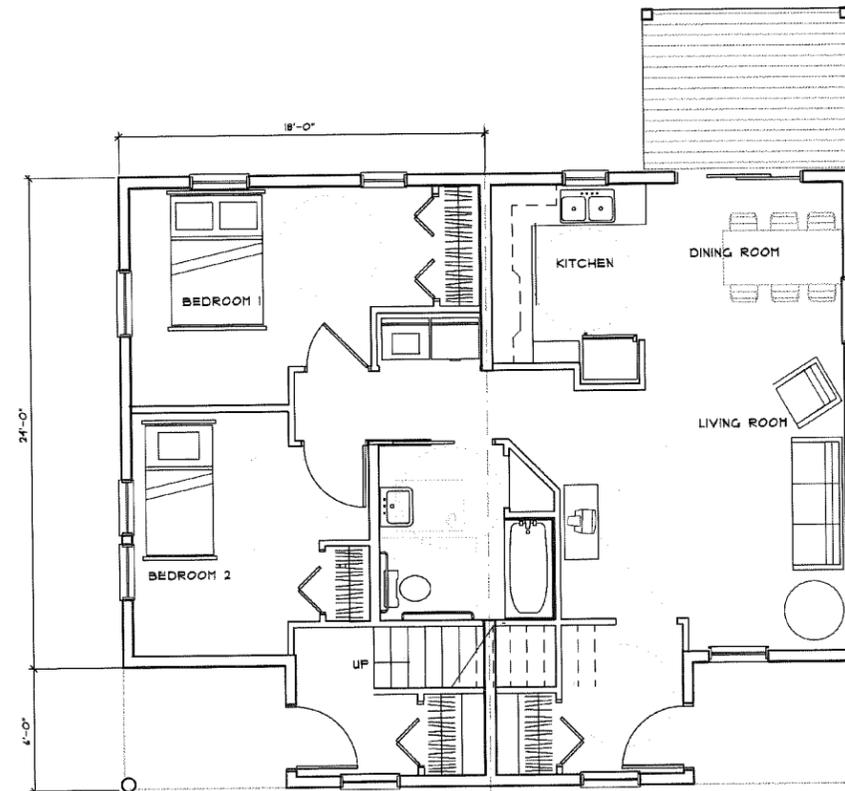
Drawn by:
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SHEET No.

A05



Second Floor Plan

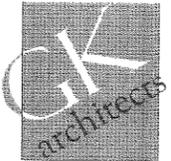


First Floor Plan

APPROVAL SIGNATURE BLOCK
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT (DPO)-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE DATE OF 10/6/12 2012
Kenn Belbin
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**
Williston,
Vermont
Proj. No.:
07-46

Drawing Title:

Flats
Elevations

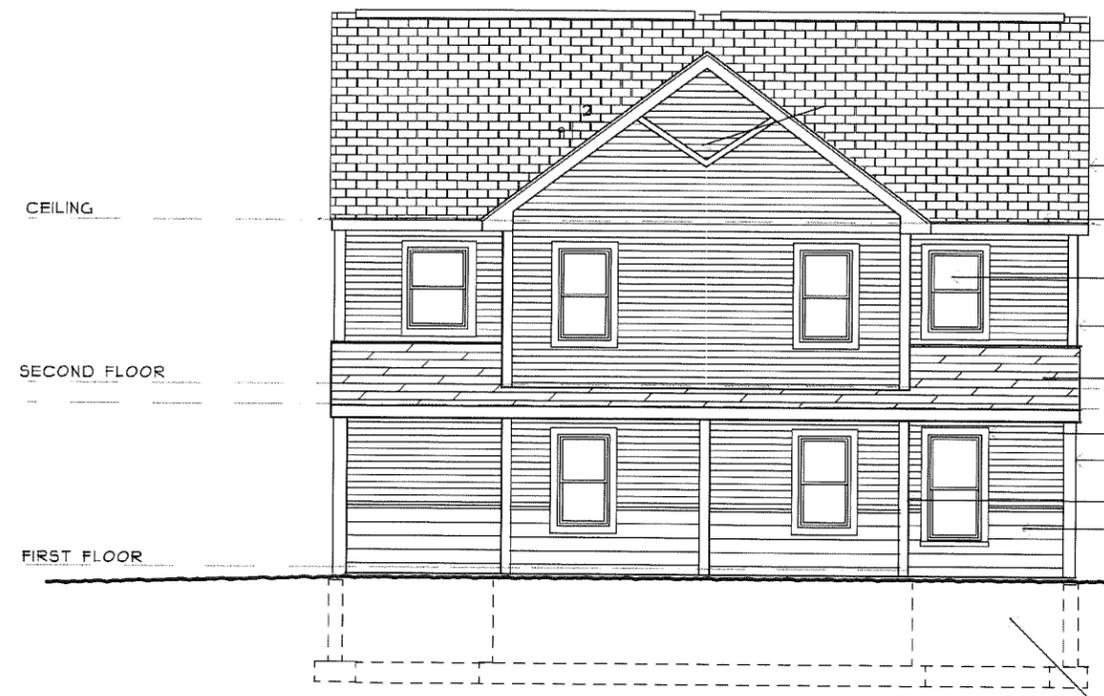
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Date:
4/20/12
Rev:

Drawn by:
BG

SHEET No.
A06

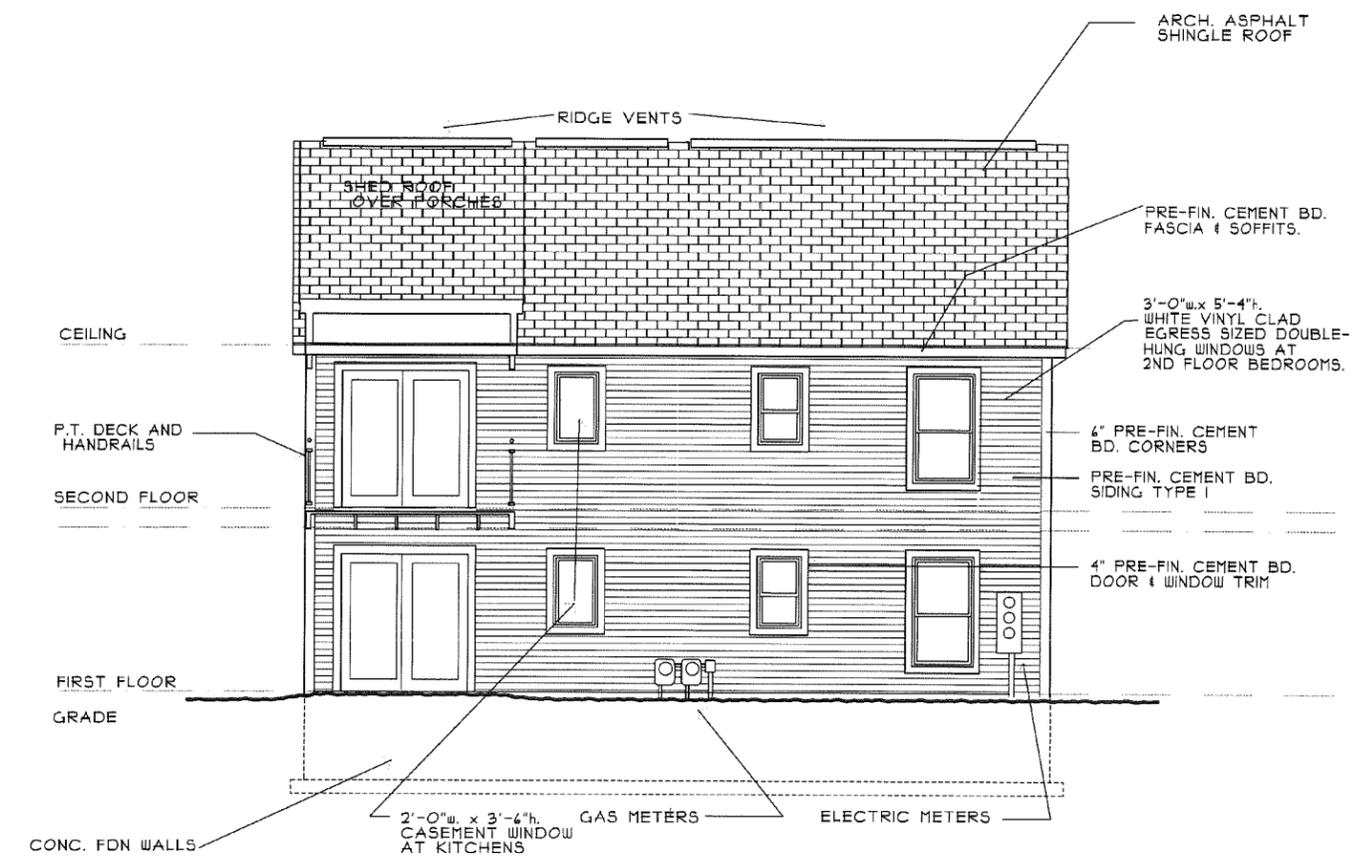


Side Elevation



Front Elevation

- ARCH. ASPHALT SHINGLES
- VINYL CLAD LOUVER
- PRE-FIN. CEMENT BD. FASCIA & SOFFITS.
- PRE-FIN. CEMENT BD. SIDING TYPE 1
- VINYL CLAD WINDOWS
- 4" PRE-FIN. CEMENT BD. CORNERS
- FRONT PORCH ROOF
- 4" PRE-FIN. CEMENT BD. DOOR & WINDOW TRIM
- 8" WD. COLUMNS
- INS. F.G. DOOR
- PRE-FIN. CEMENT BD. SIDING TYPE 2
- CONCRETE FOUNDATION



Rear Elevation

- ARCH. ASPHALT SHINGLE ROOF
- RIDGE VENTS
- PRE-FIN. CEMENT BD. FASCIA & SOFFITS.
- 3'-0" w. x 5'-4" h. WHITE VINYL CLAD EGRESS SIZED DOUBLE-HUNG WINDOWS AT 2ND FLOOR BEDROOMS.
- 4" PRE-FIN. CEMENT BD. CORNERS
- PRE-FIN. CEMENT BD. SIDING TYPE 1
- 4" PRE-FIN. CEMENT BD. DOOR & WINDOW TRIM
- GAS METERS
- ELECTRIC METERS



Side Elevation

APPROVAL SIGNATURE BLOCK
 I HEREBY CERTIFY THAT THE SEPA PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED BY THE APPROVAL OF DISCRETIONARY PERMIT DEVELOP-21. THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 20th DAY OF **MAY** 2015.
Kenn Bellin
 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

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Vt. Registration

Essex Alliance

Project:
**Essex
Alliance
Housing**

Williston,
Vermont

Proj. No.:
07-46

Drawing Title:

Flats
Elevations

Scale:
1/4"=1'-0"

Date:
4/20/12

Rev:

Drawn by:
BG

SHEET No.

A06
C



Side Elevation



Front Elevation



Rear Elevation

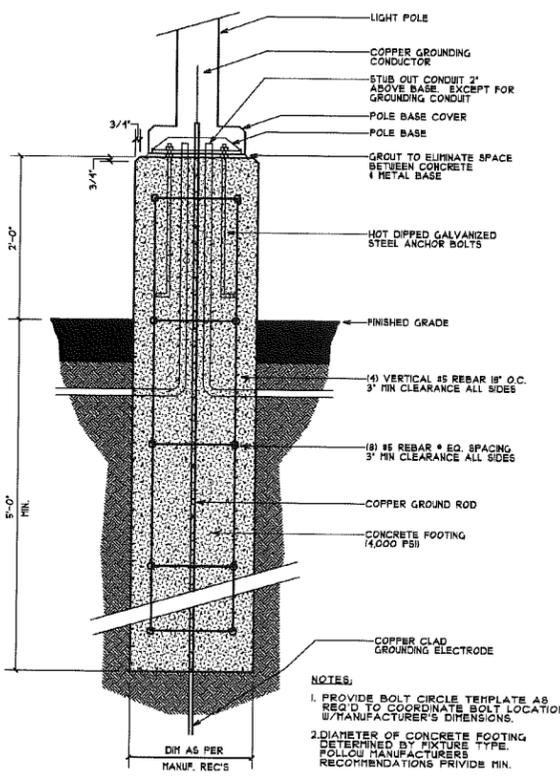


Side Elevation

APPROVAL SIGNATURE BLOCK
I HEREBY CERTIFY THAT THE ENCL. PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON
DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY
PERMIT 07-04-21. THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVES THE FINAL PLANS FOR
THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THIS DAY OF June 2012
Kent Bellin
DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

4/18/2012

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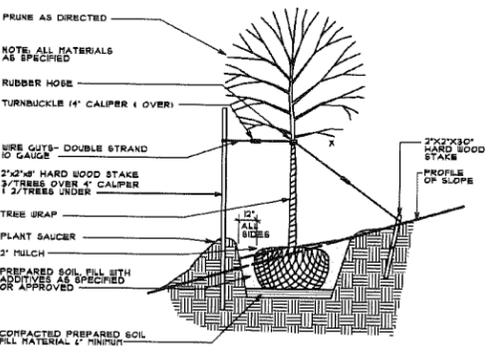
6 PARKING LOT LIGHT POLE STANDARD BASE (REF. X/AXX) SCALE: 1" = 1'-0" 029506

Plant Schedule - Trees								
Key	Botanical Name	Common Name	Qty.	Caliper	Height	Spread	Root	Remarks
A.1	Acer rubrum 'Red Sunset'	Red Maple	4	2.5"-3"			B&B	
A.2	Acer triflorum 'ariseum'	Three-flowered or Paperbark Maple	2	2.5"-3"			B&B	
B.1	Betula nigra 'Heritage'	River Birch	3	2"			B&B	Multi-stemmed
C.1	Cornus kousa	Kousa Dogwood	2	2.5"-3"			B&B	
C.2	Corylus coccinea	Turkish Filbert	5	2"-2.5"			B&B	
F.1	Fraxinus americana 'Autumn Purple'	White Ash	5	2.5"-3"			B&B	
G.1	Gleditsia triacanthos 'Shademaster'	Thornless Honeylocust	2	2.5"-3"			B&B	
M.1	Malus 'Prairifire'	Prairifire Crab Apple	2	2.5"-3"			B&B	
P.2	Prunus cerasifera 'Newport'	Newport Flowering Plum	2	2"-2.5"			B&B	
P.3	Picea abies	Norway Spruce	1		8'-10'	4'-5'	B&B	Dense
P.8	Pinus nigra	Austrian Pine	4		8'-10'	4'-5'	B&B	Dense
P.9	Pinus strobus	Eastern White Pine	3		8'-10'	4'-5'	B&B	Dense
Q.1	Quercus bicolor	Swamp White Oak	5	2.5"-3"			B&B	
Q.2	Quercus palustris	Pin Oak	5	2.5"-3"			B&B	
U.1	Ulmus parvifolia	Lacebark Elm	2	2.5"-3"			B&B	

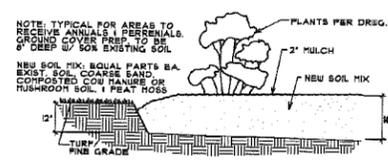
Plant Schedule - Shrubs							
Key	Botanical Name	Common Name	Qty.	Height	Spread	Root	Remarks
A.A	Aronia arbutifolia 'Brilliantissima'	Red Chokeberry	8	24"-30"		#2	
C.S	Cornus sericea 'Cardinal'	Redosier Dogwood 'Cardinal'	7	24"-30"		#2	
F.M	Forsythia mandshurica 'Vermont Sun'	Vermont Sun Forsythia	9	24"-30"		#2	
H.Q	Hydrangea quercifolia	Oakleaf Hydrangea	10	24"-30"		#2	
H.S	Hibiscus syriacus 'Minerva'	Rose of Sharon Minerva	3	3"-4"		#2	
P.C	Prunus x cistena	Purple Leaf Sand Cherry	6	24"-30"		#2	

Plant Schedule - Perennials & Groundcovers							
Key	Botanical Name	Common Name	Qty.	Root	Remarks		
Cal	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	15	#2			
Pan	Panicum virgatum 'Rotstahlbusch'	Red Rays Switch Grass	13	#2			
Pcy	Pachysandra terminalis	Japanese Pachysandra	600	2 1/4"	Ground cover spaced @ 12" o.c., ea. Way		
Vin	Vinca minor	Periwinkle	540	2 1/4"	Ground cover spaced @ 12" o.c., ea. Way		

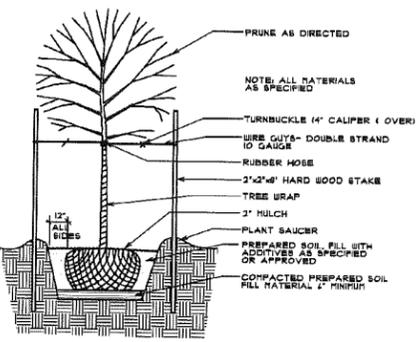
Luminaire Schedule									
Symbol	Label	Quantity	Catalog Number	Description	Lamp	Mounting Hgt	Lumens	LLF	Watts
☉	SD2	4	CF71-X-TT3N100H-X	Large Techtra Full Cut Off	100MH	15 ft	8800	0.72	125
☉	SD	2	CF73-X-2KR5-X	Type 5 Refr Bowl/ Acrylic Lens	50MH	3.5 ft	3800	0.72	64



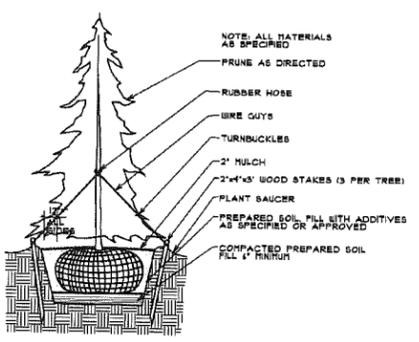
5 TYPICAL TREE PLANTING ON SLOPE DETAIL NOT TO SCALE 029505



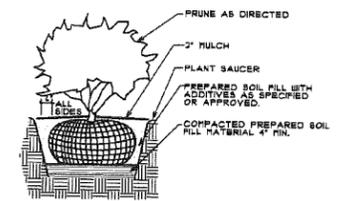
4 PREPARED PLANTING BED NOT TO SCALE 029504



3 TYPICAL DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE 029503



2 EVERGREEN TREE PLANTING DETAIL NOT TO SCALE 029502



1 TYPICAL SHRUB DETAIL NOT TO SCALE 029501

LANDSCAPING NOTES

- General Landscape Requirements:
 - All landscaping installation shall be done under the supervision of a Landscape Architect, certified Arborist or certified Horticulturalist.
 - Layout beds, hedges, and areas of planting and mark location of major trees for review by Architect prior to planting.
 - Plant size and Quality: Provide sizes of plants as indicated or scheduled, and conforming to the standards of ANSI Z60.1 American Standard for Nursery Stock for shape and quality. Plant materials indicated which are not available at the time of planting or which would be at risk if planted during stipulated installation season may be considered for substitution if approved by Architect; otherwise, the Contractor shall be responsible to furnish hand plant listed materials when available or proper to plantsame, and shall extend the warranty on those materials from the date of their acceptance.
 - Furnish balled and burlapped (B&B) trees and shrubs, except container-grown plants may be furnished if indicated size is below limit established by ANSI Z60.1. Burlap and twine shall be 100% organic hemp/jute or other natural fiber which will readily decompose after planting.
 - Furnish ground cover plants as rooted cuttings or in removable containers or integral peat pots.
 - Perennial plants and the like shall be furnished in removable pots and shall be of field grown quality.
 - Provide topsoil to supplement that available for reuse onsite. Topsoil shall be clean, fertile, screened, friable, natural loam obtained from a local, well drained source.
 - Provide fertilizer, peat humus and other soil amendments of a type which are known to improve pH conditions of soil for particular plant material to be planted. Mix peat humus with topsoil in the ratio of 1:3 for use in planting trees, shrubs, and groundcovers. For perennial borders and flower beds, mix equal parts topsoil, coarse sand, composted leavover manure, and milled sphagnum/peat moss.
 - Fertilize topsoil for planting trees, shrubs, and ground cover with a 5-10-5 (5 percent nitrogen, 10 percent phosphorus and 5 percent potash) organic fertilizer, applied and mixed at rates recommended by the manufacturer per cubic foot of soil/humus mixture.
 - For perennial plants and bare root groundcover plants supplement general soil fertilizer with a liquid application of starter fertilizer designed to promote establishment of plant root systems; apply at dilution and rates per manufacturer's recommendations.
 - Apply corn gluten pre-emergent weed control at a rate of 20 lbs per 1,000 sq. ft. to all planting beds upon completion of planting.
- Planting:
 - All planting work shall conform with ANSI A290, Best Management Practices, Tree Planting.
- Planting Trees:
 - Excavate planting pits to a width 1 1/2 times diameter of tree ball and not less than 6 inches deeper than tree ball. Place and compact a layer of topsoil in pit to locate collar of tree slightly above finish grade. Orientation of all major trees shall be as directed by Architect. Backfill around ball with topsoil, rod and tamp to eliminate voids and air pockets, watering thoroughly as layers are placed. Build a 3 inch high berm (saucer) of topsoil beyond edge of excavation. Apply a 2 inch thick mulch, of double shredded hardwood bark. Final orientation shall be approved by Architect prior to staking.
 - Prune trees to remove damaged branches, improve natural shape, thin out structure* and remove not more than 15 percent of branches. Do not prune back terminal leader. *Does not apply to specimen trees & shrubs unless approved or directed by Architect.
 - Guy and stake trees 3 directions with galvanized wire, through flexible hose chafing guards, with wooden stake anchors, as per details.
- Planting Shrubs:
 - Excavate planting pits or trenches to width of 1-1/2 times diameter of plant balls or containers, and 4 inches deeper than required for positioning at proper height. Lightly compact a layer of topsoil in bottom before placing plants. Backfill around plants with topsoil, rod and tamp to eliminate voids and air pockets. Water thoroughly as layers are placed. Form grade slightly dished, and bermed at edges of excavation. Apply a 2 inch thick mulch of double shredded hardwood bark.
 - Prune shrubs to remove damaged branches and correct any imperfections in shape, removing not more than 15 percent of branches.
- Planting Perennials, Ground Covers, & Annuals:
 - Till soil to depth of 10 inches in areas where topsoil has not been stripped. Add 5 inches soil amendments (compost, sand, peat) and till into cultivated areas.
 - Loosen subgrade to depth of 4 inches in areas where topsoil has been stripped, and spread topsoil/humus mix to depth of 12 inches.
 - Space plants as indicated. Dig holes large enough to allow for spreading of roots. Compact backfill to eliminate voids, and leave grade slightly dished at each plant. Water thoroughly. Apply a 2 inch mulch of shredded hardwood bark over entire planting bed, lifting plant foliage above mulch.
 - Perennial plants and the like listed in the schedule shall be well rooted, blooming size plants, filling out containers as is appropriate for healthy field grown plants.
- Landscape Maintenance:
 - Contractor shall maintain landscape for a period of 60 days for fall planting / 120 days for spring planting immediately following complete installation of each major category of work. Include watering/weeding, restoration of grade, pruning of trees and shrubs, protection from insects and diseases, fertilizing, and operations as needed to ensure healthy, vigorous growth.
 - Water plantings weekly during the active growing season when natural precipitation is less than 1 inch.
 - Prior to end of warranty period, return to site and remove tree staking.
- Warranty:
 - Warranty plants, shrubs, and trees for a period of one year against death and unhealthy condition, except as a result of neglect by Owner and damage by others. Replace at optimum planting time, unless directed otherwise by Architect.

APPROVAL SIGNATURE BLOCK
 UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP09-21, THE WILLISTON DEVELOPMENT REVIEW BOARD APPROVED THE FINAL PLANS FOR THE ESSEX ALLIANCE CHURCH SUBDIVISION ON THE 22 DAY OF APRIL 2015
 [Signature]
 DEVELOPMENT REVIEW BOARD PRESIDING MEMBER

APPLICATION NO: DP 09-21
 TAX PARCEL NO: 8:102:28, 48
 PERMIT SET: 04.20.12

GARDNER KILCOYNE architects
 20 Woodland Hill, Weymouth, Vermont 05699
 Phone: 802.685.0165
 Fax: 802.685.7900
 www.gardnerkilcoyne.com

ESSEX ALLIANCE HOUSING
 ROUTE 2A / ESSEX ROAD
 WILLISTON VT 05452

DRAWING TITLE: PLANT SCHEDULES, NOTES & DETAILS
 Drawn: TUB
 Scale: AS NOTED
 Comm. No: 4401

DRAWING NO. L-3h