

FINNEY CROSSING

PROPOSED UNION BANK BUILDING B

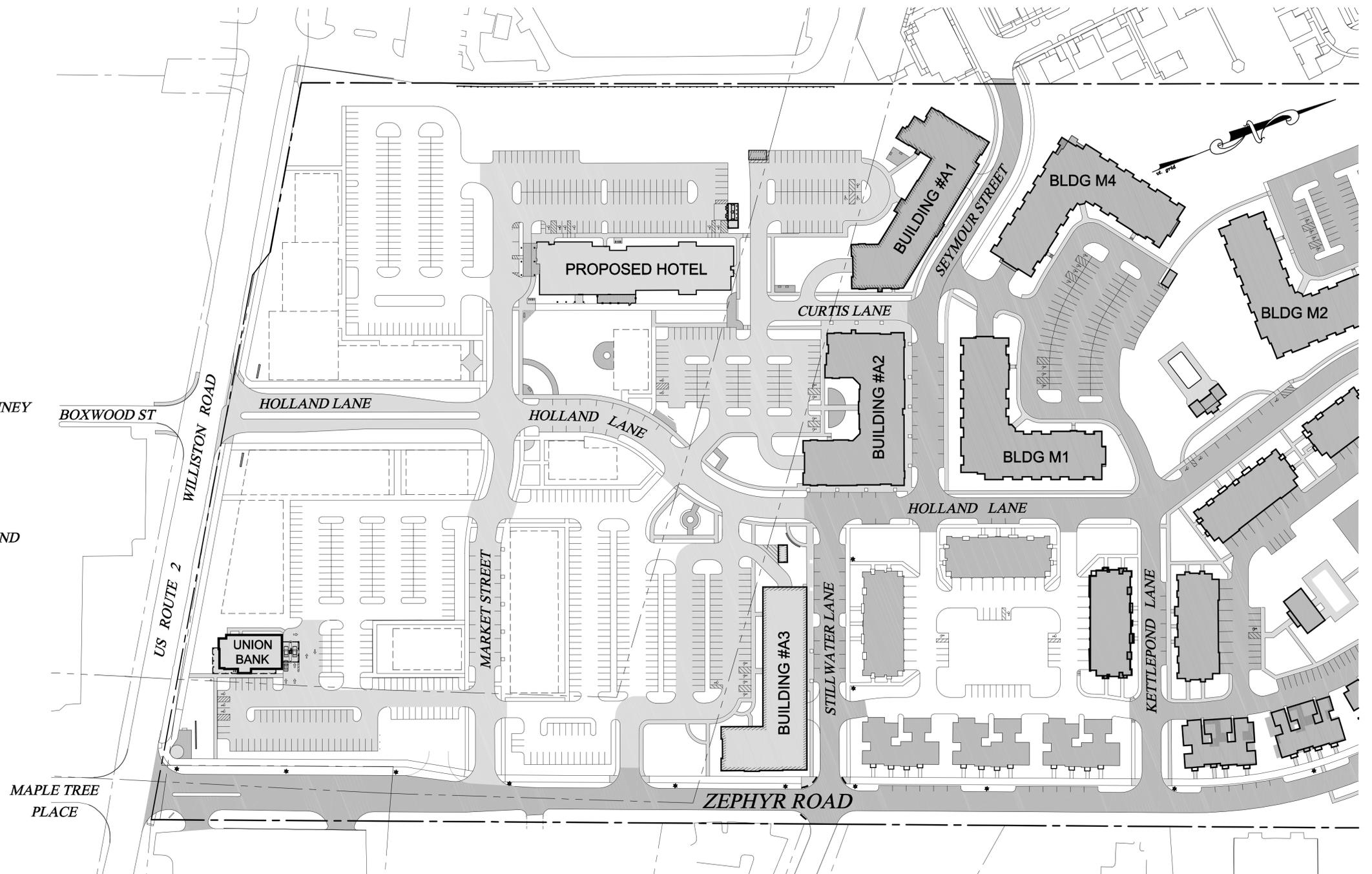
ZEPHYR ROAD & MARKET STREET
WILLISTON, VT

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- B2 SITE & UTILITY PLAN
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THE FOLLOWING PLANS LISTED BELOW ARE PART OF THE FINNEY CROSSING FINAL PLAN SET, AND SHALL BE USED FOR CONSTRUCTION OF THIS PHASE, WHERE APPLICABLE:

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APPLICANT:
UNION BANK
P.O. BOX 667
MORRISVILLE, VT 05661

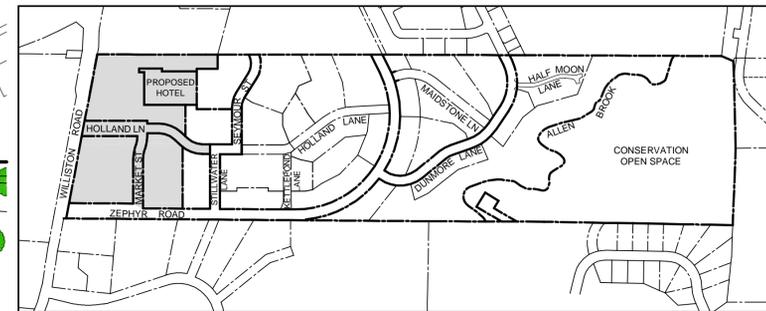
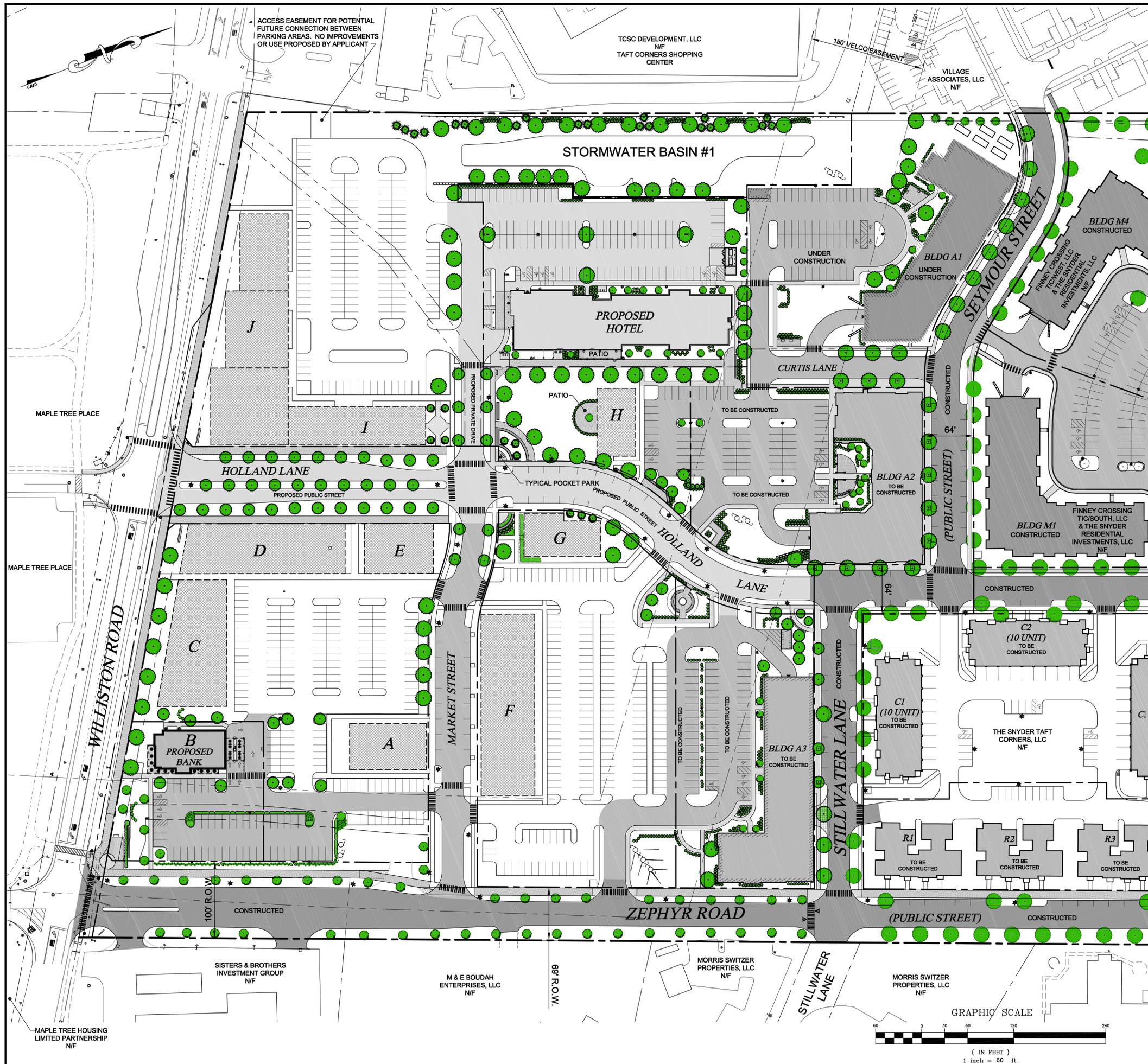
LANDOWNER:
THE SNYDER FC COMMERCIAL PROPERTIES, LLC
AND RIELEY PROPERTIES, LLC
4076 SHELBURNE ROAD, SUITE 6
SHELBURNE, VT. 05482

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

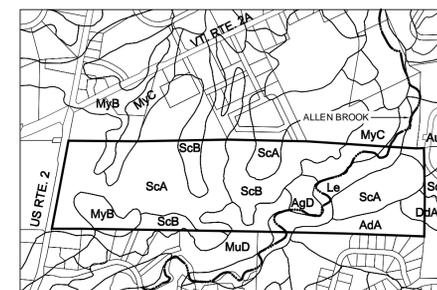
L LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

WILLISTON DISCRETIONARY PERMIT #DP-09-01 AMENDMENT #



FINNEY CROSSING LOCATION MAP
N.T.S.

- PUBLIC STREET**
 ZEPHYR ROAD (CONSTRUCTED)
 DUNMORE LANE (CONSTRUCTED)
 STILLWATER LANE (CONSTRUCTED)
 SEYMOUR STREET (CONSTRUCTED)
 MARKET STREET (TO BE CONSTRUCTED)
 HOLLAND LANE, SOUTH OF SEYMOUR ST (PARTIALLY CONSTRUCTED)
- PRIVATE STREETS**
 HALF MOON LANE (CONSTRUCTED)
 MAIDSTONE LANE (CONSTRUCTED)
 KETTLEPOND LANE (CONSTRUCTED)
 HOLLAND LANE, NORTH OF SEYMOUR ST (CONSTRUCTED)



SOILS MAP
SCALE: 1" = 1000'

SOILS LEGEND

SCS MAPPING UNIT	DESCRIPTION	ERODABILITY COEFFICIENT
AgD	AGAWAM FINE SANDY LOAM	0.28
MuD	MUNSON & BELGRADE SILT LOAM	0.48
MyB	MUNSON & RAYNHAM SILT LOAM	0.48
MyC	MUNSON & RAYNHAM SILT LOAM	0.48
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

NOTES:

- THE PURPOSE OF THIS PLAN IS TO PRESENT THE OVERALL LAYOUT OF THE SOUTHERLY PORTION OF THE FINNEY CROSSING PROJECT PARCEL.
- SEE ADDITIONAL SHEETS FOR DESIGN INFORMATION RELATED TO THE PROPOSED HOTEL, RELATED SITE IMPROVEMENTS, AND THE EXTENSION OF HOLLAND LANE TO WILLISTON ROAD.
- SEE ALSO DESIGN PLANS FOR BUILDINGS A1, A2, & A3 AND RELATED SITE IMPROVEMENTS.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01_A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

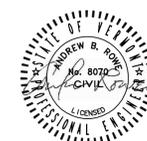
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

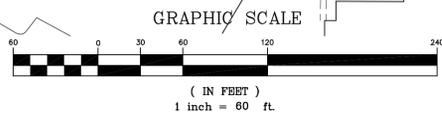
FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

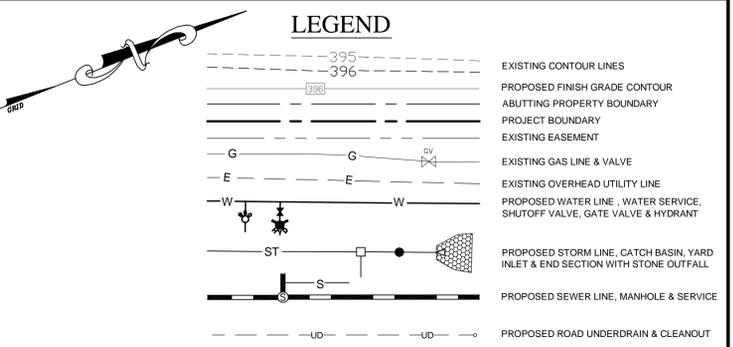
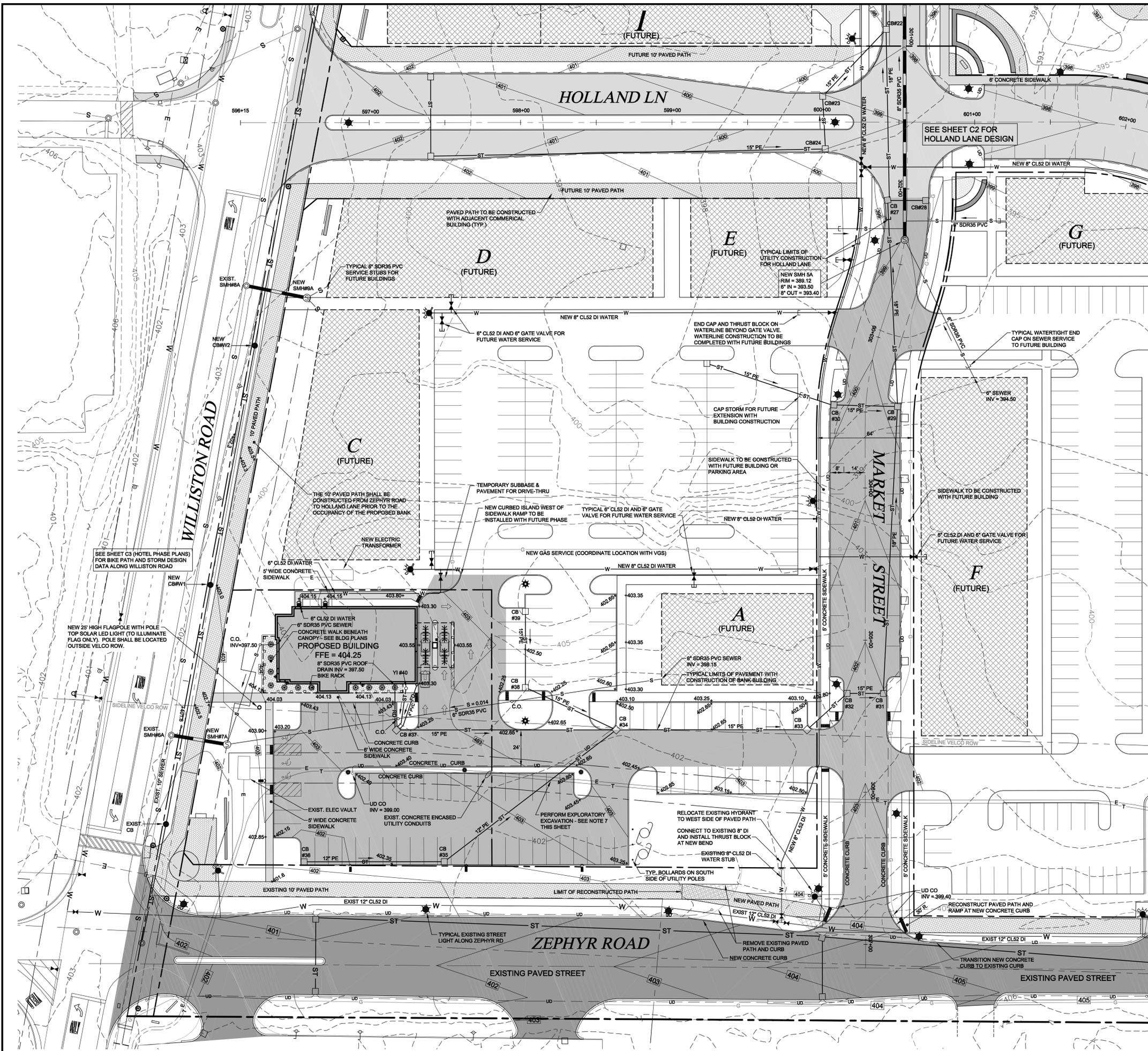
COMMERCIAL AREA
SITE PLAN

LD LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450



WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08143-010





UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

CATCHBASIN DATA

NEW CB #29 STA 303+45, 22' LT RIM = 399.68 6" UD IN = 396.15 6" UD OUT = 395.15 15" IN = 392.65 18" IN = 392.65 18" OUT = 392.60	NEW CB#26 RIM = 401.60 12" OUT = 396.00	NEW CB#37 RIM = 403.00 4" FD IN = 396.50 (2) 8" IN = 396.50 15" OUT = 396.00	NEW CB #30 STA 303+47, 22' RT RIM = 399.68 6" UD IN = 395.15 6" UD OUT = 395.15 15" IN = 393.20 15" OUT = 393.15	NEW CB#38 RIM = 402.00 15" IN = 395.20 15" OUT = 395.15	NEW CB#39 RIM = 402.00 15" OUT = 395.45	NEW CB #31 STA 303+35, 13' LT RIM = 401.98 6" UD IN = 397.45 6" UD OUT = 397.45 15" IN = 393.65 18" OUT = 393.60	NEW CB #32 STA 303+35, 13' RT RIM = 401.98 6" UD IN = 397.45 6" UD OUT = 397.45 15" IN = 393.65 15" OUT = 393.60	NEW CB#33 RIM = 402.00 15" IN = 394.15 15" OUT = 394.10	NEW CB#34 RIM = 402.00 12" IN = 397.50 12" IN = 394.80 15" IN = 394.80 15" OUT = 394.75	NEW CB#35 RIM = 402.00 12" IN = 395.50 12" OUT = 395.50	NEW CB#26 RIM = 401.60 12" OUT = 396.00	NEW CB#37 RIM = 403.00 4" FD IN = 396.50 (2) 8" IN = 396.50 15" OUT = 396.00	NEW CB #30 STA 303+47, 22' RT RIM = 399.68 6" UD IN = 395.15 6" UD OUT = 395.15 15" IN = 393.20 15" OUT = 393.15	NEW CB#38 RIM = 402.00 15" IN = 395.20 15" OUT = 395.15	NEW CB#39 RIM = 402.00 15" OUT = 395.45	YARD INLET #40 RIM = 403.60 8" OUT = 399.60 PLACE 1 1/2" - 3" CLEAN RIVER STONE AROUND INLET, BETWEEN SIDEWALK & BLDG
---	---	--	--	--	---	--	--	--	--	--	---	--	--	--	---	--

SEE SHEET B3 FOR LIGHTING INFORMATION

PROJECT DATA:
ZONING DISTRICT: TAFT CORNERS ZONING DISTRICT
PROPOSED BANK & GENERAL OFFICE
BANK = 3,360 SF GFA
OFFICE = 5,952 SF GFA

REQUIRED PARKING
BANK - 4.75 SPACES PER 1000 SF GFA
3,360 SF X 4.75 SPACES/1000 SF = 16.0 SPACES
OFFICE - 3.5 SPACES PER 1000 SF GFA
5,952 SF X 3.5 SPACES/1000 SF = 20.8 SPACES
TOTAL REQUIRED PARKING = 36.8 SPACES

PROPOSED TOTAL PARKING SPACES = 54 SPACES
SHARED PARKING PROPOSED WITH FUTURE BUILDING A

REQUIRED ACCESSIBLE PARKING = 4 SPACES (PER BYLAW)
PROPOSED TOTAL ACCESSIBLE SPACES = 3 SPACES - PROPOSED BUILDING B
14 SPACES - FUTURE BUILDING A

PARKING LOT LANDSCAPING (UNIFIED DEVELOPMENT BYLAW 23.5.1)
- LANDSCAPED ISLANDS OR MEDIANS SHALL OCCUPY A MIN. OF 5% OF PARKING AREA
- LANDSCAPED ISLANDS = 7.8% (1,752 SF ISLANDS / 22,531 SF PARKING AREA & AISLES)

BICYCLE PARKING:
MINIMUM TOTAL REQUIRED BIKE SPACES = 3 SPACES
7% OF VEHICULAR SPACES X 37 SPACES = 3 SPACES
MINIMUM REQUIRED LONG TERM SPACES PER BYLAW = 1 SPACE
20% OF REQUIRED BIKE SPACES = 3 BIKE SPACES X 0.2 = 0.6 SPACE

EXTERIOR BICYCLE PARKING (BIKE RACK) PROVIDED UNDER BUILDING CANOPY
INTERIOR BICYCLE STORAGE TO BE PROVIDED INSIDE THE BUILDING.

- NOTES:**
- COORDINATE THE HORIZONTAL LOCATION OF THE WATER, SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICE CONNECTIONS TO EACH BUILDING WITH THE OWNER AND ARCHITECTURAL PLANS.
 - PRIOR TO CONSTRUCTION, THE ELEVATIONS OF THE SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICES FROM THE ARCHITECTURAL PLANS SHALL BE COMPARED TO THE ELEVATION OF THE COLLECTION MAINS AND SERVICES SHOWN ON THESE PLANS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
 - COORDINATE THE LOCATION OF THE SIDEWALK ENTRANCES TO EACH BUILDING WITH THE OWNER. UNLESS STEPS ARE PROPOSED, THE MAXIMUM SLOPE ON ANY SIDEWALK SHALL BE LESS THAN 5%.
 - CAST IRON DETECTABLE WARNING STRIPS SHALL BE INSTALLED AT ALL SIDEWALK AND PAVED PATH RAMPS AT CROSSWALKS AND AT ADDITIONAL LOCATIONS NOTED ON THE PLANS. AT PAVED PATHS, DETECTABLE WARNING STRIPS SHALL BE INSTALLED IN CONCRETE.
 - THE CONTRACTOR SHALL PROVIDE STUBS BEYOND PHASE LIMITS FOR FUTURE EXTENSION INTO OTHER PHASES (SEWER, WATER, STORM, UD, ETC.).
 - UTILITY LAYOUTS SHOWN ON THIS PLAN ARE FOR REVIEW PURPOSES ONLY. REFER TO DESIGN DRAWINGS BY EACH RESPECTIVE UTILITY FOR CONSTRUCTION.
 - PRIOR TO CONSTRUCTION (AND FABRICATION OF THE PRECAST STRUCTURES), THE CONTRACTOR SHALL EXCAVATE A TEST PIT TO CONFIRM THE LOCATION AND ELEVATION OF THE CONCRETE ENCASUREMENT AND SHALL REPORT THE DATA TO THE ENGINEER.
 - ALL PIPE SLOPES ARE IN FEET / FEET.

EXISTING GRADE NOTE:
1. EXISTING GRADE CONTOURS ARE BASED UPON PRE-CONSTRUCTION TOPOGRAPHY. ONE OR MORE PORTIONS OF THE PROJECT SITE HAVE BEEN USED, OR ARE CURRENTLY BEING USED FOR STOCKPILING AND/OR PLACEMENT OF EXCESS FILL MATERIAL.



09-04-18	ADD FOOTING DRAIN TO CB37, REV GRADING AT CANOPY	ABR
08-27-18	ADD FLAG POLE AT UB / EDITS PER DPW COMMENTS	ABR
08-09-18	ADD YARD INLET AT BLDG/CANOPY	ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

	# OF SHEETS
SKETCH/CONCEPT	
PRELIMINARY	
FINAL	
RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

SITE & UTILITY PLAN

proj. no. 01-087
survey L&D
design DJG/ABR
drawn L&D
checked DJG/ABR
date 04-06-18
scale 1" = 30'
sht. no. B2

LAMOREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450



WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08143-010

Cree Edge™ Series

LED Area/Flood Luminaire

Product Description
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherlight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Luma or Side Arm (details on page 2). Includes a leaflet for details.
Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

Performance Summary

- Patented NanoOptic™ Product Technology
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 4200K (±1-300K), 5700K (±1-500K) standard
- Limited Warranty: 10 years on luminaires/10 years on ColorStar DeltaQuad™ finish

Accessories

Field Insulator	Blacklight Control Shields
Red Splice	KA-206LS-A
Hand Held Remote	KA-SNDRM
KA-SNDRM	KA-SNDRM

Ordering Information

Product	Optic	Mounting*	LED Count (K/M)	Series	Voltage	Color Options	Drive Current	Options	
ARE LED	Type II Medium WELS	Type V Medium WELS	52	E	UL	BK Black	350	PMS Programmable Multi-Level, 20-40 Mounting Height Refer to UL, spec sheet for details.	
									AA Adjustable Arm
									SA Side Arm
									DA Direct Arm
									DL Direct Long Arm
									DM Direct Medium Arm
	Type II Medium WELS	Type V Medium WELS	52	E	UL	WH White	350	PMS Programmable Multi-Level, 20-40 Mounting Height Refer to UL, spec sheet for details.	
									AA Adjustable Arm
									SA Side Arm
									DA Direct Arm
									DL Direct Long Arm
									DM Direct Medium Arm
Type II Medium WELS	Type V Medium WELS	52	E	UL	GRN Green	350	PMS Programmable Multi-Level, 20-40 Mounting Height Refer to UL, spec sheet for details.		
								AA Adjustable Arm	
								SA Side Arm	
								DA Direct Arm	
								DL Direct Long Arm	
								DM Direct Medium Arm	
FLD LED	Type II Flood WELS	Type V Flood WELS	52	E	UL	BK Black	700	4000K Color Temperature Minimum 70 CRI Color temperature per luminaire	
									AA Adjustable Arm
									SA Side Arm
									DA Direct Arm
									DL Direct Long Arm
									DM Direct Medium Arm

Rev. Date: V6 12/07/2017
CREE
 www.cree.com/canada
 T 800 234-6800 F 234 541-5415
 Canada: www.cree.com/canada T 800 234-6800 F 234 541-5415

UCM/UCL

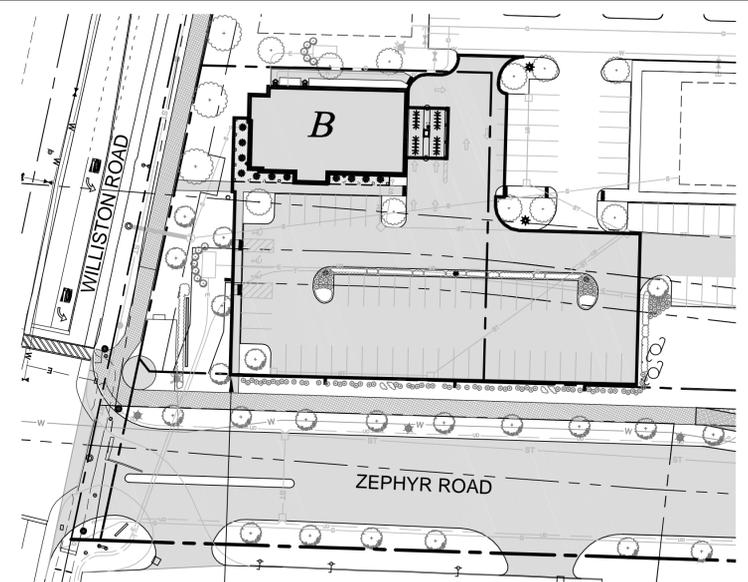
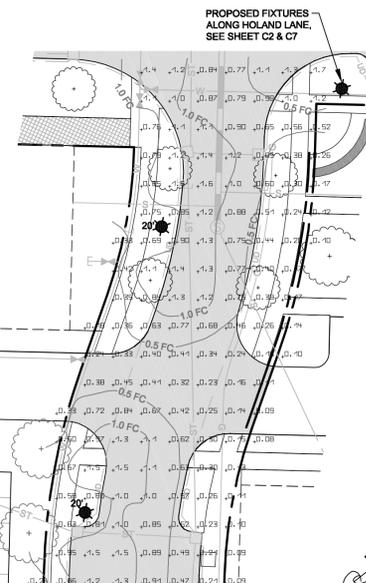
Universe Collection® - Medium/Large Scale

- MicroCore™ technology
- First decorative, modular system with precise LED aiming capabilities
- Surge protection included
- 0-10v dimming ready
- IP66 optics
- DLC listed
- Powder coat finish in 14 standard colors with a polymer primer sealer



UCM/UCL	BEL	T2	700	FTG
MODEL	UCM Universe Medium	UCM Universe Large	UCM Upgrade Kit - UCM-LK	
HOOD	ANG Angled hood	BEL Bell hood	FLR Flared hood	STR Straight hood
UPLT	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts
DISTRIBUTION	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR
COLOR	32LED-3K Warm White, 3000K output	32LED-4K Neutral White, 4000K output	32LED-5K Bright White, 5000K output	
DRIVER	700 (700mA, 75 watts)	450 (450mA, 45 watts)	700 (700mA, 75 watts)	
BEZEL FINISHES	Available in 13 standard finishes and premium finishes	Available in 13 standard finishes and premium finishes	Available in 13 standard finishes and premium finishes	
UCM Upgrade Kit - UCM-LK				
UPLT	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts	For internal illumination, Add 4 watts
DISTRIBUTION	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR	T2, T3, T4, T5, TL, TR
COLOR	32LED-3K Warm White, 3000K output	32LED-4K Neutral White, 4000K output	32LED-5K Bright White, 5000K output	
DRIVER	700 (700mA, 75 watts)	450 (450mA, 45 watts)	700 (700mA, 75 watts)	
BEZEL FINISHES	Available in 13 standard finishes and premium finishes	Available in 13 standard finishes and premium finishes	Available in 13 standard finishes and premium finishes	

Please visit www.aal.net for mounting, dimensions, weight and EPA.



CALCULATION SURFACE INSET
SCALE: 1" = 50'

#	SURFACE	MINIMUM	MAXIMUM	AVERAGE	UNIFORMITY RATIO (MAX./MIN.)
1	BANK PARKING LOT	0.25 FC	5.0 FC	1.2 FC	20

ILLUMINATION DATA - BANK:
TOTAL INITIAL LUMENS = 104,684 LUMENS
AREA TO BE ILLUMINATED = 0.89 ACRES
151,700 LUMENS PER ACRE PROPOSED
200,000 LUMENS PER ACRE ALLOWED

LIGHTING SPECIFICATIONS

LEGEND	DESCRIPTION	LAMP TYPE	DISTRIBUTION TYPE	MOUNTING HEIGHT	INITIAL LUMENS	COUNT
↓	CREE EDGE SERIES	20 LEDS, 3000K	TYPE II CUTOFF	12 FT POLE MOUNT	4,189 LUMENS	4
☼	CREE EDGE SERIES	80 LEDS, 3000K	TYPE V CUTOFF	25 FT POLE MOUNT	13,070 LUMENS	2
●	CREE EDGE SERIES	40 LEDS, 3000K	TYPE V CUTOFF	12 FT POLE MOUNT	8,814 LUMENS	3
☼	ASPEN 15 WALL SCONCE	LED, 3000K	WALL MOUNT CUTOFF	6.5 FT BLDG MOUNT	648 LUMENS	3
☼	PITCH SINGLE WALL SCONCE	LED, 3000K	WALL MOUNT CUTOFF	8.5 FT BLDG MOUNT	823 LUMENS	2
☼	LUMENWERX VIA 4 LED	(2) 4' LED, 3000K	CEILING MOUNT CUTOFF	11 FT CEILING MOUNT	6,000 LUMENS	4
●	LITHONIA 48MM	LED, 3000K	CEILING MOUNT CUTOFF	9.5 FT CEILING MOUNT	706 LUMENS	11

LIGHTING SPECIFICATIONS

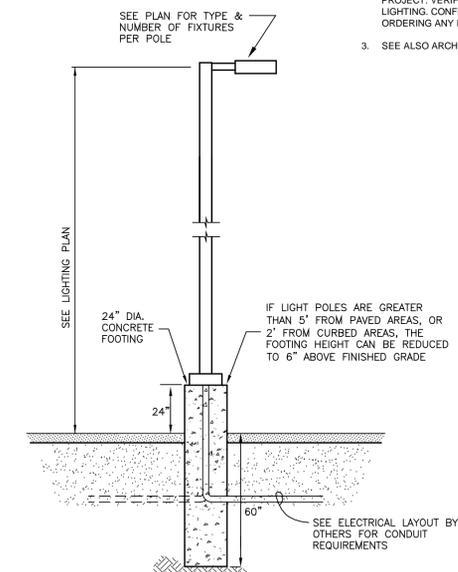
LEGEND	DESCRIPTION	LAMP TYPE	DISTRIBUTION TYPE	MOUNTING HEIGHT	INITIAL LUMENS	COUNT
☼	AAL UCM-BEL-T2-32LED-4K-700-FTG	32 LEDS, 4000K	TYPE II CUTOFF	SEE PLANS	3,489 LUMENS	5

GENERAL NOTES:

- OUTDOOR LIGHTING CONTROLS IN WILLISTON, VERMONT MUST OPERATE AS FOLLOWS:
OUTDOOR LIGHTS, INCLUDING SIGN LIGHTING MUST BE TURNED OFF WITHIN ONE-HALF HOUR AFTER THE CLOSE OF BUSINESS OR 10PM, WHICHEVER IS LATER. PARKING AREA ILLUMINATION MUST BE REDUCED BY 75% WITHIN ONE-HALF HOUR AFTER THE CLOSE OF BUSINESS. THE PARKING AREA SERVES. THIS MAY BE ACHIEVED BY TURNING OFF AT LEAST 75% OF THE PARKING LOT LIGHT FIXTURES, OR BY DIMMING LIGHT LEVELS BY 75%.
- ELECTRICAL ENGINEER (OTHER THAN SITE LIGHTING ENGINEER) TO DETERMINE THE BEST METHOD TO CONTROL EXTERIOR LIGHTING AS PER WILLISTON, VERMONT'S REQUIREMENTS; LISTED ABOVE. IF DIMMING IS NOT REQUIRED TO ACHIEVE 75% REDUCTION OF LIGHTING THEN ELIMINATE EXTERIOR LUMINAIRES' DIMMING FROM THE PROJECT. VERIFY WITH OWNER THE BEST METHOD TO CONTROL UNION BANK LIGHTING AND FUTURE TENANT LIGHTING. CONFIRM METHOD OF DIMMING AND ALL LIGHT OPTION WITH ELECTRICAL ENGINEER PRIOR TO ORDERING ANY LIGHT FIXTURES.
- SEE ALSO ARCHITECTURAL PLANS FOR DETAILS ON ALL BUILDING MOUNTED LIGHT FIXTURES.

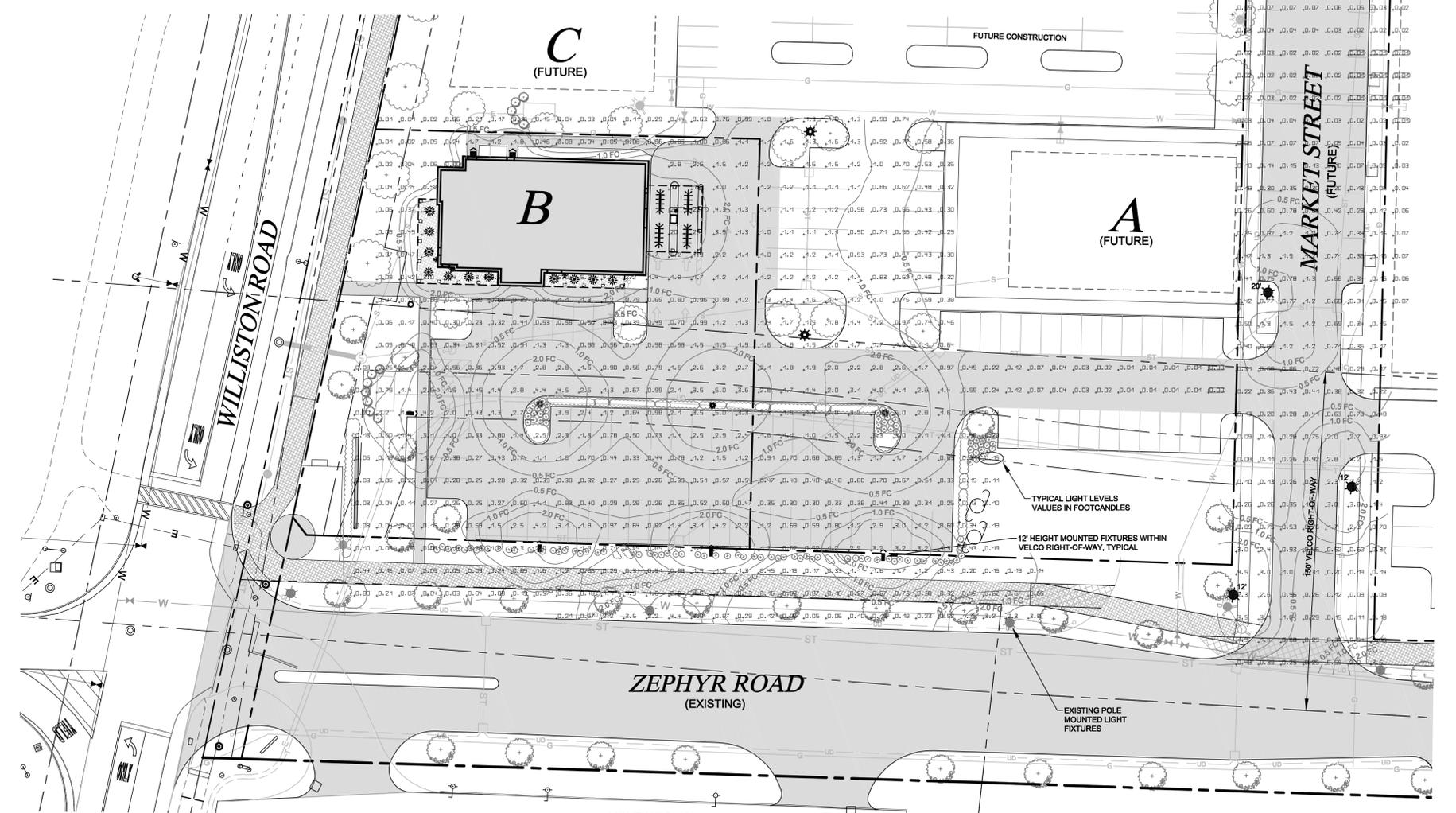
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DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND/OR ELECTRICIAN ON THE ELECTRICAL DISTRIBUTION SYSTEM FOR THE PROPOSED LIGHTING.

POLE MOUNTED LIGHT DETAIL
NTS

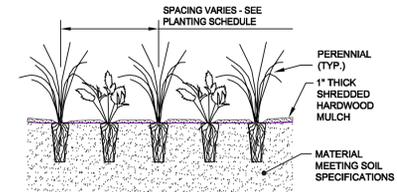


LIGHTING PLAN
SCALE: 1" = 30'

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
☐	SKETCH/CONCEPT	
☐	PRELIMINARY	
☑	FINAL	
☐	RECORD DRAWING	
FINNEY CROSSING		proj. no. 01-087
A PLANNED UNIT DEVELOPMENT		survey L&D
WILLISTON, VERMONT		design DJG/ABR
LIGHTING PLAN		drawn L&D
		checked DJG/ABR
		date 04-06-18
		scale AS SHOWN
		sht. no. B3
LAMOREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450		

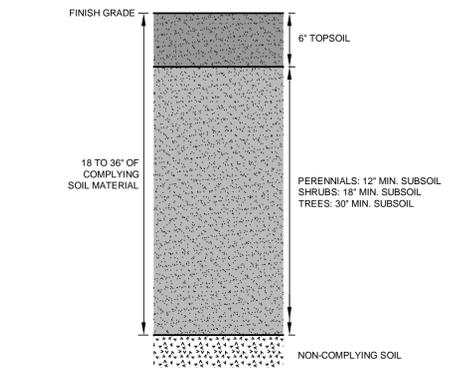
TREE AND SHRUB PLANTING SPECIFICATIONS

- ALL PLANT MATERIALS SHALL CONFORM TO THE INTERNATIONAL SOCIETY OF ARBORICULTURE PRINCIPALS AND PRACTICES OF PLANTING TREES AND SHRUBS AND THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
- ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN APRIL 15TH AND JUNE 30TH. NO PLANTING SHALL BE DONE WHEN THERE IS SNOW COVER, FROZEN GROUND OR UNSATISFACTORY WEATHER CONDITIONS. SOME PLANTINGS CAN OCCUR BETWEEN AUGUST 15TH AND SEPTEMBER 30TH WITH APPROVAL BY THE ENGINEER PRIOR TO PLANTING. IF SPECIAL CONDITIONS EXIST THAT WARRANT A VARIANCE FROM THESE PLANTING TIMES, A WRITTEN REQUEST SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO PLANTING. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE GUARANTEE PERIOD.
- ALL PLANTS SHALL HAVE A PRELIMINARY INSPECTION BY THE ENGINEER AT THE TIME OF DELIVERY. PLANTS THAT HAVE DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUN SCALD, INSECT DAMAGE, DISFIGURING KNOTS, OR CUTS OF LIMBS GREATER THAN 3/4" WILL BE REJECTED. PLANTS WITH EXCESSIVE SOIL ON TOP OF THE ROOT FLARE AND/OR MINIMAL ROOT BALL WILL BE REJECTED.
- ALL PLANTS THAT ARE TEMPORARILY STORED IN DESIGNATED AREAS ON SITE UNTIL READY FOR INSTALLATION SHALL BE PROTECTED FROM THE SUN AND DRYING WINDS. ALL PLANT ROOT BALLS SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, SHREDED HARDWOOD MULCH OR OTHER ACCEPTABLE MATERIAL, AND REGULARLY WATERED.
- PRIOR TO INSTALLATION OF LANDSCAPE PLANTINGS, CONTRACTOR SHALL DETERMINE WHERE EXISTING UNDERGROUND UTILITIES ARE LOCATED TO AVOID INTERFERENCE.
- DO NOT PRUNE SHRUBS EXCEPT FOR DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.
- EACH SHRUB AND PERENNIAL MUST BE PLANTED SUCH THAT THE ROOT FLARE AND MAIN ORDER ROOTS ARE VISIBLE AT THE TOP OF THE ROOT BALL, WHERE THE MAIN ORDER ROOTS ARE NOT VISIBLE, EXCESS SOIL SHALL BE REMOVED TO LOCATE THEM. PLANT SHRUBS AND PERENNIALS SO THAT THE MAIN ORDER ROOTS ARE AT FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MORE THAN 1" OF MULCH.
- EXAMINE EVERY TREE AND SHRUB AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
- CUT AND COMPLETELY REMOVE WIRE MESH BASKET, ROPE, AND BURLAP WRAP AFTER PLACEMENT IN PLANTING PIT.
- WATER ALL TREES AND SHRUBS THOROUGHLY ONCE PLANTED TO PULL SOIL AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED; WATER AGAIN TO ENSURE COMPLETE COMPACTION. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- ONCE ALL TREES AND SHRUBS HAVE BEEN INSTALLED, PLACE A LAYER OF SHREDED HARDWOOD MULCH AS SHOWN IN THE DETAIL. NO DYED MULCH WILL BE ACCEPTED.
- THE MINIMUM WATERING INTERVAL DURING THE WARRANTY PERIOD SHALL BE TWICE WEEKLY. TREES SHALL RECEIVE A MINIMUM OF 10 GALLONS AND SHRUBS SHALL RECEIVE A MINIMUM OF 5 GALLONS.
- CORRECTIVE WORK SHALL OCCUR AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER PERMITS.
- ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL PLANTINGS AND SHALL INCLUDE PRUNING, WEEDING, AND WATERING NECESSARY TO MAINTAIN PLANTS IN GOOD HEALTH AND FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE.



PERENNIAL PLANTING SPECIFICATIONS

- PERENNIALS SHALL BE OF THE SPECIES SHOWN IN THE PLANTING SCHEDULE. ANY CHANGES TO THE SCHEDULE SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- DO NOT APPLY FERTILIZER UNLESS THE NEED HAS BEEN ESTABLISHED. THE PLANTING SCHEDULE CONTAINS SPECIES WITH LOW FERTILIZER REQUIREMENTS. EXCESS FERTILIZER CAN CAUSE WEAK GROWTH AND REDUCED LONGEVITY.
- AVOID PLANTING WHEN THE SOIL IS WET. DIGGING OR WALKING ON THE SOIL WHEN SATURATED WILL COMPACT THE SOIL AND REDUCE THE PLANT'S ABILITY TO ABSORB WATER. ITS PRIMARY PURPOSE BEFORE TRANSPLANTING, KEEP PERENNIALS MOIST AND IN AN AREA NOT SUBJECT TO STRONG WIND OR TEMPERATURE EXTREMES.
- SPECIES ARE TO BE DISTRIBUTED EVENLY OVER THE PLANTING AREAS, NOT IN BLOCKS OR CLUSTERS.
- SPACING BETWEEN PLANTS REFERS TO THE DISTANCE BETWEEN PLANTS OF THE SAME SPECIES. PLACE SPECIES WITH WIDER SPACING FIRST, THEN FILL IN WITH PLANTS WITH LESSER SPACING, USING THE LESSER DISTANCE AS THE FINAL DISTANCE BETWEEN ALL PLANTS IN THE MIX.
- DISTRIBUTE PLUGS OVER EACH AREA BEFORE PLANTING TO ENSURE APPROPRIATE SPACING AND DISTRIBUTION OF SPECIES. WORK QUICKLY TO MINIMIZE THE LENGTH OF TIME THAT ROOTS ARE EXPOSED AFTER REMOVAL FROM PLUG TRAYS.
- MAKE A HOLE FOR EACH PLUG, INSERT THE PLUG UNTIL THE UPPERMOST ROOTS ARE JUST BELOW THE SURFACE OF THE SOIL, THEN FIRM THE SOIL AROUND THE ROOTS TO REMOVE AIR POCKETS.
- WHEN ALL PLUGS ARE PLANTED, APPLY A 1" LAYER OF WOOD CHIP MULCH OVER THE ENTIRE PLANTING AREA, TAKING CARE THAT PLANT CROWNS ARE NOT COVERED.
- IMMEDIATELY AFTER PLANTING, ENSURE THAT SOIL IS MOISTENED TO THE FULL DEPTH OF THE ROOTS.
- USING STAKES AND ROPE, ERECT A BARRICADE AROUND THE PLANTING AREA TO PREVENT FOOT TRAFFIC.
- UNTIL PLANTS ARE ESTABLISHED, ENSURE THAT THEY RECEIVE AT LEAST 1" OF WATER EACH WEEK, EITHER FROM RAINFALL OR BY IRRIGATION.



- TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP. TOPSOIL SHALL NOT BE OBTAINED FROM WETLANDS.
- SOIL FURNISHED BY THE CONTRACTOR SHALL BE REASONABLY FREE FROM ROOTS, HARD CLAY, COARSE GRAVEL, STONES LARGER THAN TWO INCHES IN ANY DIMENSION, NOXIOUS WEEDS, TALL GRASS, BRUSH, STICKS, STUBBLE, AND ANY MATERIALS THAT WOULD BE DETRIMENTAL TO THE PROPER DEVELOPMENT OF VEGETATIVE GROWTH.
- BOTH TOPSOIL AND SUBSOIL SHALL HAVE A TEXTURE OF SANDY LOAM PER THE USDA TEXTURAL TRIANGLE AND CONFORM TO THE FOLLOWING SPECIFICATIONS:

SIEVE NO.	% PASSING
2"	100
10	90-100
40	80-90
60	50-70
100	20-40
200	10-40

- CLAY LESS THAN 10% 5.5 TO 7.0
- ORGANIC MATTER TOPSOIL: 5-10%; SUBSOIL: LESS THAN 5%
- TO ASSURE THE GROWTH OF PLANTS, THE SOIL MUST NOT BE COMPACTED. ANY AREAS OF INADVERTENTLY COMPACTED SOIL WILL NEED TO BE DECOMPACTED USING A SUBSOILER, CHISEL PLOW, OR BY EXCAVATION AND REPLACEMENT WITH UNCOMPACTED SOIL. DO NOT DRIVE EQUIPMENT ON THE SOIL AFTER IT HAS BEEN PLACED OR DECOMPACTED. FINE GRADING AND PLANTING OF SPECIFIED LANDSCAPING MAY BE DONE USING LOW GROUND PRESSURE EQUIPMENT, IF THIS CAN BE ACHIEVED WITHOUT COMPACTION.

- ALL SOIL INTENDED FOR USE SHALL BE STOCKPILED ON SITE AND MEASURES TAKEN TO ENSURE THE MATERIAL IS CONSISTENT IN QUALITY. AFTER SOIL TESTING IS COMPLETED, NO ADDITIONAL MATERIAL MAY BE ADDED TO THE STOCKPILE. A MINIMUM OF TWO SUCCESSFUL, REPRESENTATIVE TESTS SHALL BE PROVIDED BY THE CONTRACTOR FROM THE STOCKPILED SOIL. ADDITIONAL TESTING WILL BE REQUIRED FOR ANY NEW OR ADDITIONAL STOCKPILES.

- DO NOT PLACE SOIL MATERIALS IN WET OR MUDDY CONDITIONS. PROTECT THE MATERIALS AS NECESSARY USING TARPS OR MATTING. PROVIDE EROSION CONTROL TO PREVENT TRANSPORT OF SEDIMENT OR DUST AWAY FROM THE STORAGE AREA.

- SOILS WITHIN THE FULL SPECIFIED DEPTH SHALL HAVE A BULK DENSITY NOT EXCEEDING 1.5 g/cm³. SOILS SHALL EXHIBIT THE FOLLOWING CONE PENETROMETER READINGS:
 - SURFACE RESISTANCE - LESS THAN 110 PSI (7.7 kg/cm²)
 - SUBSURFACE RESISTANCE - LESS THAN 260 PSI (18.3 kg/cm²)

- ANY COMPOST THAT IS USED SHALL MEET THE REQUIREMENTS OF THE U.S. COMPOSTING COUNCIL "LANDSCAPE ARCHITECTURE / DESIGN SPECIFICATIONS FOR COMPOST USE". SECTION "COMPOST AS A LANDSCAPE BACKFILL MIX COMPONENT". THE ANALYSIS SHALL BE PROVIDED BY THE COMPOST SUPPLIER. BEFORE BEING DELIVERED TO THE SITE, THE SUPPLIER MUST PROVIDE THE FOLLOWING DOCUMENTATION:
 - A STATEMENT THAT THE COMPOST MEETS FEDERAL AND STATE HEALTH AND SAFETY REQUIREMENTS
 - THE SAMPLING AND TESTING METHODOLOGIES SHALL CONFORM WITH THE U.S. COMPOSTING COUNCIL'S "TEST METHOD FOR THE EXAMINATION OF COMPOSTING AND COMPOST"

- SOIL QUALITY AND DEPTH SHALL BE ESTABLISHED TOWARD THE END OF CONSTRUCTION AND, ONCE ESTABLISHED, SHALL BE PROTECTED FROM COMPACTION, EROSION, AND OTHER DETRIMENTAL INFLUENCES THROUGH THE END OF CONSTRUCTION.

- SUBMITTALS REQUIRED:
 - SOIL ANALYSIS, INCLUDING:
 - USDA PARTICLE SIZE ANALYSIS FOR PERCENTAGES OF GRAVEL, SAND, SILT, AND CLAY
 - USDA TEXTURE
 - NUTRIENT LEVELS IN PARTS PER MILLION FOR PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, MANGANESE, IRON, COPPER, AND ZINC
 - PERCENTAGE ORGANIC MATTER
 - PH
 - ELECTRICAL CONDUCTIVITY (TOTAL DISSOLVED SOLIDS)
 - COMPOST ANALYSIS, PER ITEM #8, ABOVE
 - BEFORE DELIVERY OF SOIL MATERIALS TO THE SITE, REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO THE ENGINEER IN MINIMUM VOLUMES OF 1 GALLON FOR EACH MATERIAL USED. FOR VISUAL INSPECTION ONLY - CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSURING THAT MATERIALS MEET THE SPECIFICATIONS.

08-09-2018	ADD YARD INLET AND RIVER STONE	ABR
5-14-2018	REVISE PLAN PER WILLISTON HAAC REVIEW	BJT
Date	Revision	By

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT		
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

LANDSCAPING PLAN

proj. no. 01-087
survey L&D
design DJG/ABR
drawn L&D
checked DJG/ABR
date 04-06-18
scale 1" = 30'
sheet no. B4

LAMOUREUX & DICKINSON
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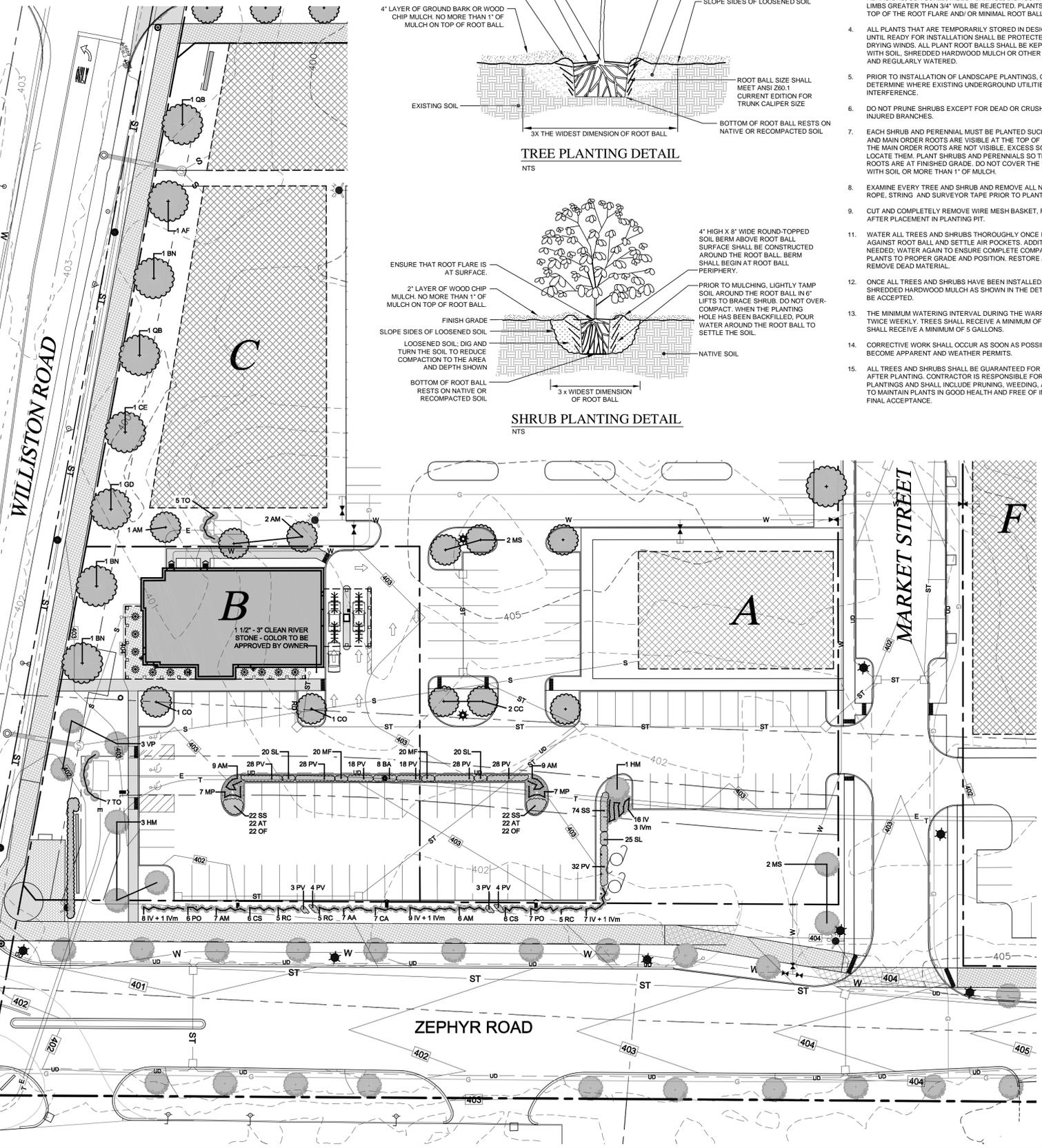
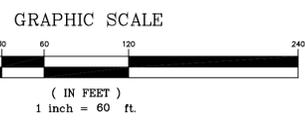
PLANTING SCHEDULE

Key	Botanical Name	Common Name	Size	Remarks
Large Trees (1)				
AF	<i>Acer x freemanii 'Siema Glen'</i>	Freeman Maple	2 1/2" to 3" Cal	B&B (1)
BN	<i>Betula nigra 'Heritage'</i>	River Birch	2" to 2 1/2" Cal.	B&B (1)
CE	<i>Celtis occidentalis</i>	Common Hackberry	2 1/2" to 3" Cal.	B&B (1)
GD	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	2 1/2" to 3" Cal.	B&B (1)
QB	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" to 3" Cal.	B&B (1)
Small Trees				
AM	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Apple Serviceberry	1 1/2" to 2" Cal.	B&B or container
CO	<i>Cotinus obovatus</i>	American Smoketree	1 1/2" to 2" Cal.	B&B or container
CC	<i>Crataegus crusgalli var. inermis 'Cracum'</i>	Cockspur Hawthorn	1 1/2" to 2" Cal.	B&B or container
HM	<i>Heptacodium miconoides</i>	Seven-Son Flower	1 1/2" to 2" Cal.	B&B or container
MS	<i>Malus sargentii</i>	Sargent Crabapple	1 1/2" to 2" Cal.	B&B or container
TO	<i>Tilia occidentalis 'Smaraqul' ('Emerald')</i>	Northern White Cedar	4" to 6" Height	B&B or container
VP	<i>Viburnum prunifolium</i>	Blackhaw	1 1/2" to 2" Cal.	B&B or container
Shrubs				
AA	<i>Aronia arbutifolia 'Brilliantissima'</i>	Red Chokeberry	18" to 24" Height	Container
AM	<i>Aronia melanocarpa 'Viking'</i>	Black Chokeberry	18" to 24" Height	Container
CS	<i>Cornus sericea 'Cardinal'</i>	Red Osier Dogwood	18" to 24" Height	Container
CA	<i>Corylus americana</i>	American Hazelnut	18" to 24" Height	Container
IV	<i>Ilex verticillata 'Winter Red'</i>	Winterberry (female)	18" to 24" Height	Container
IVm	<i>Ilex verticillata 'Southern Gentleman'</i>	Winterberry (male)	18" to 24" Height	Container
MP	<i>Morella (Myrica) pensylvanica</i>	Northern Bayberry	18" to 24" Height	Container
PO	<i>Physocarpus opalifolius 'Center Glow'</i>	Common Ninebark	18" to 24" Height	Container
RC	<i>Rhus copallinum</i>	Shining Sumac	18" to 24" Height	Container
Perennials (2)				
AG	<i>Agastache foeniculum</i>	Anise Hyssop	Plug (3)	Space: 12" O.C.
AT	<i>Asclepias tuberosa</i>	Butterfly Milkweed	Plug (3)	Space: 12" O.C.
BA	<i>Baptisia 'Purple Smoke'</i>	Wild Indigo	Plug (3)	Space: 24" O.C.
MF	<i>Monarda fistulosa 'Claire Grace'</i>	Wild Bergamot	Plug (3)	Space: 12" O.C.
OF	<i>Oenothera fruticosa 'Fireworks'</i>	Sundrops	Plug (3)	Space: 12" O.C.
PV	<i>Panicum virgatum 'Northwind'</i>	Switchgrass	Plug (3)	Space: 18" O.C.
SL	<i>Symphoricarpos laevis (Aster laevis) 'Bluebird'</i>	Smooth Blue Aster	Plug (3)	Space: 12" O.C.
SN	<i>Sorghastrum nutans</i>	Indiangrass	Plug (3)	Space: 18" O.C.
SO	<i>Solidago 'Solar Cascade'</i>	Goldenrod	Plug (3)	Space: 12" O.C.
SS	<i>Schizachyrium scoparium 'Standing Ovation'</i>	Little Bluestem	Plug (3)	Space: 12" O.C.

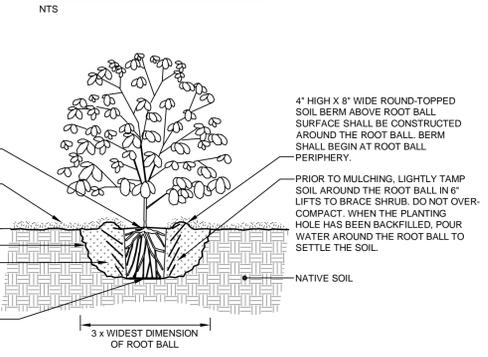
(2) Where cultivars are not specified, use the species.
(3) Use fully rooted, 2" square by 5" deep landscape plugs (as available from North Creek Nurseries, Landenberg, PA; Prairie Moon Nursery, Winona, MN, or equal).

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, #814, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

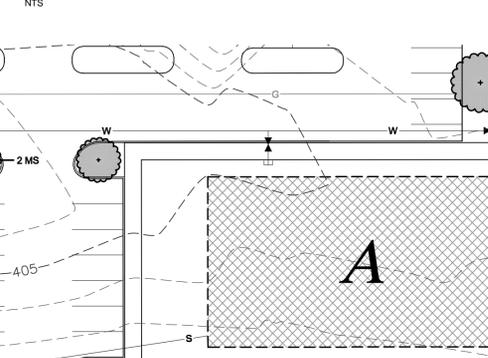
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

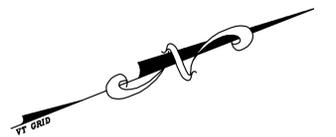
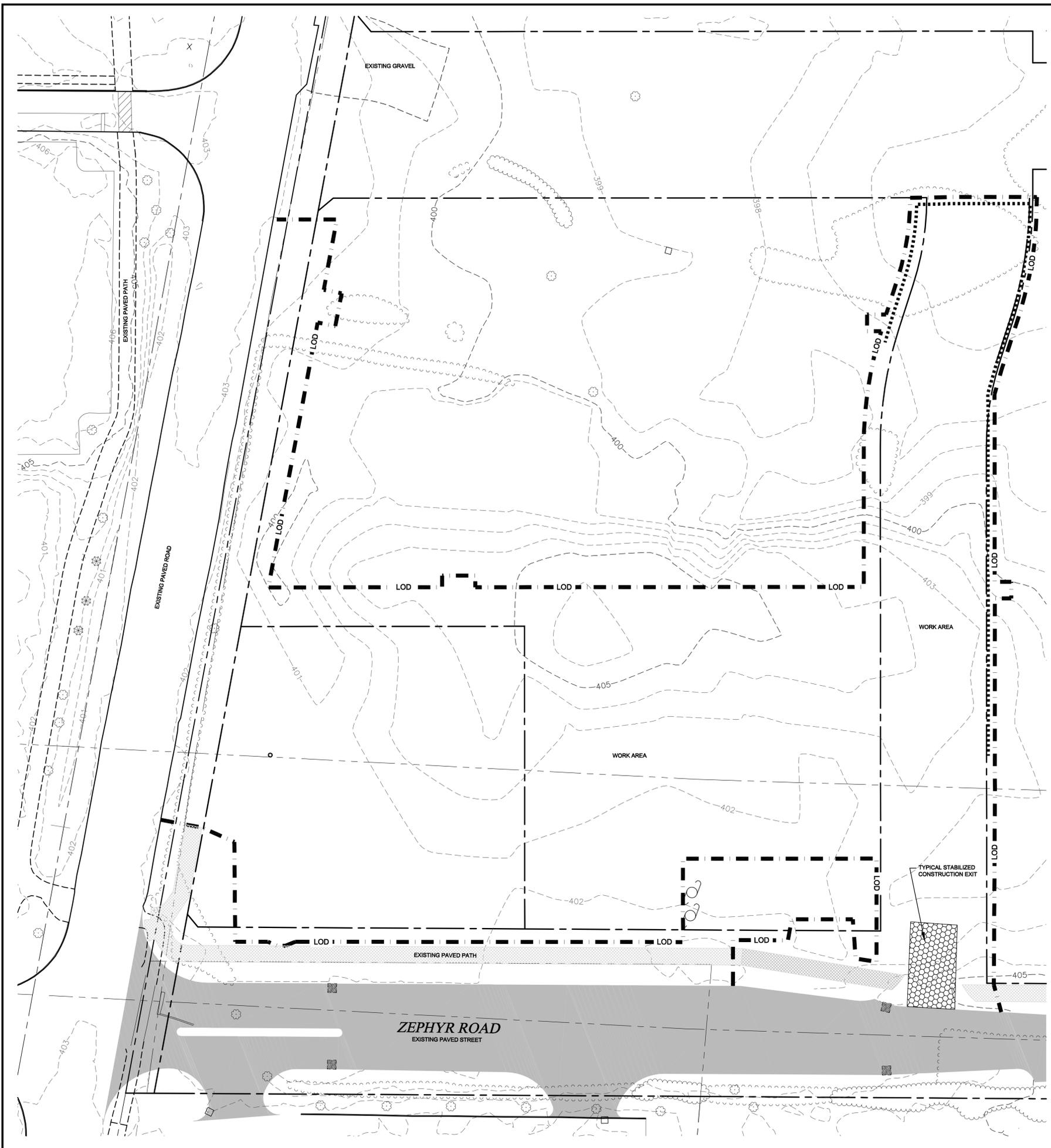


TREE PLANTING DETAIL



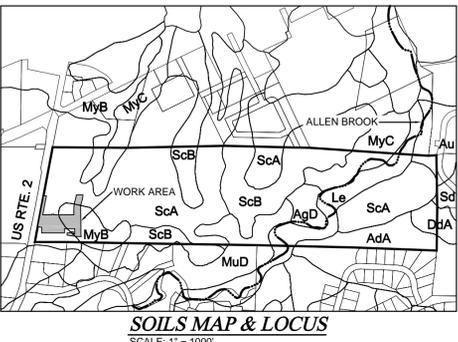
SHRUB PLANTING DETAIL





THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

- LEGEND**
- LOD LIMIT OF DISTURBANCE
 - EROSION LOG OR SILT FENCE
 - STABILIZED CONSTRUCTION EXIT
 - EXISTING CATCH BASIN INLET PROTECTION



SOILS LEGEND

SCS MAPPING UNIT	DESCRIPTION	ERODABILITY COEFFICIENT
AgD	AGAWAM FINE SANDY LOAM	0.28
MuD	MUNSON & BELGRADE SILT LOAM	0.49
MyB	MUNSON & RAYNHAM SILT LOAM	0.49
MyC	MUNSON & RAYNHAM SILT LOAM	0.49
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

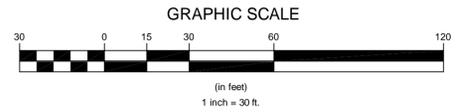
PRE CONSTRUCTION PLAN

PURPOSE: THIS PLAN PRESENTS THE EXISTING SITE CONDITIONS AND EROSION PREVENTION & SEDIMENT CONTROL MEASURES THAT MUST BE IMPLEMENTED PRIOR TO INITIATING MAJOR EARTHWORK IN EACH PHASE OF WORK. THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE COMPLETE AND IN PLACE PRIOR TO EARTH DISTURBANCE FOR SITE WORK OR BUILDING CONSTRUCTION.

LIMITS OF DISTURBANCE: LOD SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE. WHERE DELINEATED BY EXISTING PAVEMENT (STREETS OR DRIVES), THE LOD NEED NOT BE MARKED.

STANDARD CONDITIONS: SEE SHEET XX FOR EROSION PREVENTION AND SEDIMENT CONTROL STANDARD CONDITIONS THAT SHALL APPLY THROUGHOUT THE DURATION OF ALL PHASES OF CONSTRUCTION.

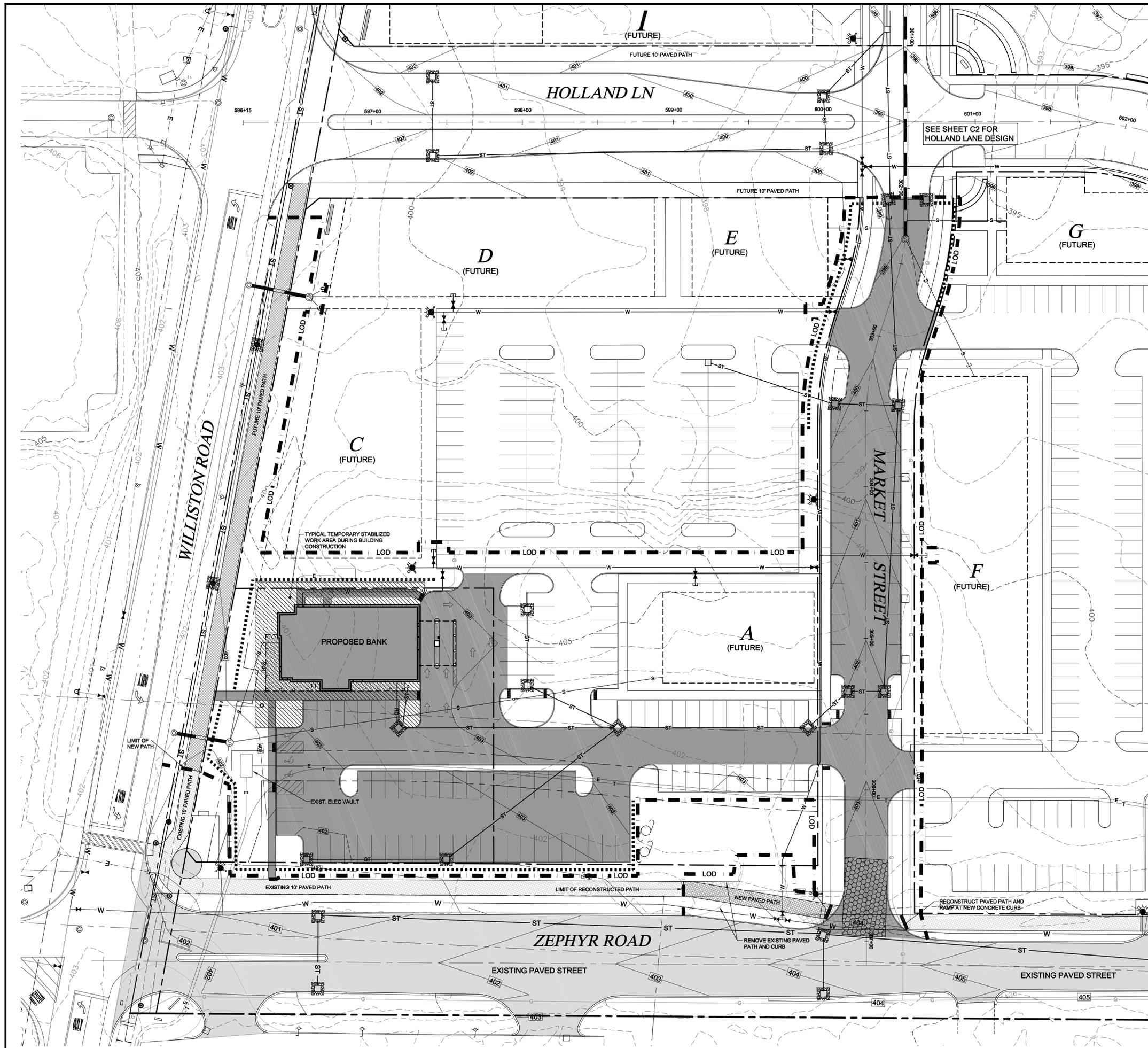
EXISTING SITE CONDITIONS: THE WORK AREA IS A FORMER HAYFIELD AND PASTURE. SMALL TREES AND BRUSH ARE LOCATED AROUND THE PERIMETER OF THE PROJECT BOUNDARY.



REVISIONS		# OF SHEETS
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<input type="checkbox"/> SKETCH/CONCEPT		
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		
FINNEY CROSSING		proj. no. 01-087
A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		survey L&D
		design DJG/ABR
EROSION PREVENTION AND SEDIMENT CONTROL PRE-CONSTRUCTION PLAN		drawn L&D
		checked DJG/ABR
		date 04-06-18
		scale 1" = 30'
		sht. no. B5

WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 08143.010

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Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450



NOTE:
THE LIMITS OF DISTURBANCE SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE, EXCEPT IN AREAS WITHIN 50 FEET OF A PRESERVED WETLAND OR STREAM WHERE CONSTRUCTION FENCE SHALL BE USED TO MARK THE LIMITS OF DISTURBANCE.

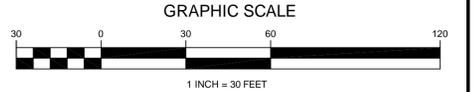
LEGEND

- LOD
- LIMIT OF DISTURBANCE
- EROSION LOG OR SILT FENCE
- STABILIZED CONSTRUCTION EXIT
- CATCH BASIN INLET PROTECTION
- TEMPORARY STABILIZED WORK AREA DURING BUILDING CONSTRUCTION
- EXISTING PAVEMENT/ROOFTOPS/WALKS
- PROPOSED PAVEMENT/ROOFTOPS/WALKS

- INSPECTION & MONITORING**
- THE ON-SITE COORDINATOR IS BRAD CARTER (802-249-9060)
 - THE ON-SITE COORDINATOR SHALL INSPECT, AND DOCUMENT IN WRITING, THE STATUS OF CONSTRUCTION ON THE PROJECT SITE AND EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES IN PLACE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, PRIOR TO PREDICTED PRECIPITATION, AND AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES A DISCHARGE OF STORMWATER FROM THE CONSTRUCTION SITE.
 - DURING THE WINTER CONSTRUCTION PERIOD (OCT. 15 - APRIL 15) DAILY INSPECTIONS SHALL BE PERFORMED AND DOCUMENTED.
 - INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE PER MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED AND ALL CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED. INSPECTIONS SHALL RESUME PRIOR TO RESUMING CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED ABOVE.
 - IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THIS WILL INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.
- PERMIT NOTICE**
- A COPY OF THE GENERAL DISCHARGE PERMIT (3-9020), THE AUTHORIZATION TO DISCHARGE, A BRIEF DESCRIPTION OF THE PROJECT, AND THE LOCATION WHERE THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN IS AVAILABLE SHALL BE POSTED AT A LOCATION ON THE PROJECT SITE THAT IS VISIBLE TO THE PUBLIC.

- CONSTRUCTION EVENT SEQUENCING**
- THIS SECTION IS INTENDED TO PROVIDE A SUMMARY OF THE SEQUENCE OF MAJOR CONSTRUCTION EVENTS. THE SCHEDULE FOR PROCEEDING WITH THE CONSTRUCTION OF THE BUILDING MAY AFFECT THE SEQUENCING OF EVENTS. EACH EVENT SHALL BE SUBSTANTIALLY COMPLETED AND STABILIZED (PERMANENT AND/OR TEMPORARY STABILIZATION) PRIOR TO PROCEEDING TO THE NEXT EVENT. HOWEVER, TWO EVENTS MAY PROCEED SIMULTANEOUSLY IF WORK FORCES ARE AVAILABLE AND CAN BE MANAGED WHILE REMAINING IN COMPLIANCE WITH THE REQUIREMENTS OF THE PLAN, INCLUDING, BUT NOT LIMITED TO THE MAXIMUM AREA OF SOIL DISTURBANCE ON THE PROJECT.

- SEQUENCE OF MAJOR CONSTRUCTION EVENTS**
- COMPLETE EXCAVATION OF STORMWATER POND 1. STORMWATER POND 1 TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION OF THE BANK.
 - EXTEND UTILITY SERVICES AND EXCAVATE FOR BUILDING FOOTINGS, AND THEN CONTINUE WITH BUILDING FOUNDATION CONSTRUCTION (BUILDING CONSTRUCTION TO RUN CONCURRENTLY WITH REMAINING EVENTS).
 - CONSTRUCT NEW PARKING AREA. PARKING AREA AROUND EACH BUILDING TO BE USED FOR STAGING & STORAGE DURING CONSTRUCTION OF THE BUILDING.
 - CONSTRUCT MARKET STREET AND RELATED UTILITIES. CONSTRUCT STREET AND UTILITIES IN SEGMENTS, SO THAT EACH SEGMENT IS TEMPORARILY STABILIZED BEFORE PROCEEDING WITH SUBSEQUENT SEGMENT(S).



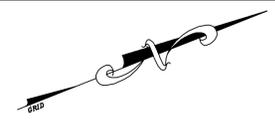
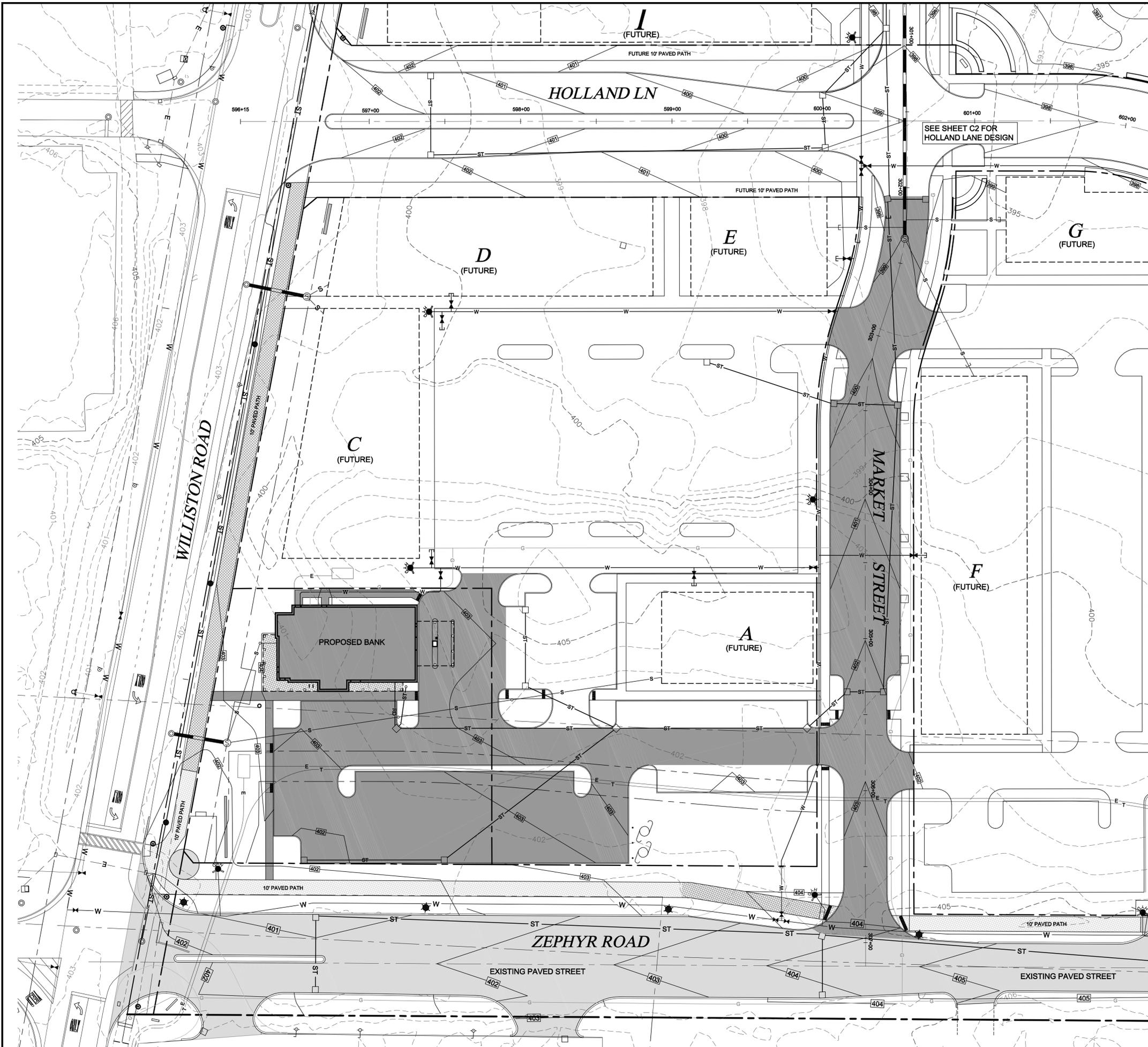
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DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

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WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08143-010

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LEGEND

- EXISTING PAVEMENT/ROOFTOPS
- PROPOSED PAVEMENT/ROOFTOPS

STABILIZATION NOTES:

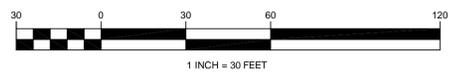
THE PURPOSE OF THIS PLAN IS TO PRESENT THE METHODS OF PERMANENT STABILIZATION FOR ALL AREAS OF SOIL DISTURBANCE DURING CONSTRUCTION:

1. ALL PUBLIC AND PRIVATE STREETS SHALL HAVE A GRAVEL OR PAVED WEARING SURFACE WITH CURBS OR GRAVEL SHOULDERS.
2. SIDEWALKS SHALL HAVE A TEMPORARY GRAVEL OR PERMANENT CONCRETE WEARING SURFACE.
3. SWALES, DITCHES, AND OTHER AREAS OF CONCENTRATED FLOW HAVING A FINISH SLOPE LESS THAN 5% SHALL BE LINED WITH EROSION MATTING. THE LIMITS OF THE MATTING SHALL EXTEND UP THE SIDESLOPES.
4. SWALES, DITCHES, AND OTHER AREAS OF CONCENTRATED FLOW HAVING A FINISH SLOPE GREATER THAN 5% SHALL HAVE A STONE LINING OR OTHER APPROVED TURF REINFORCEMENT.
5. STONE FILL OR ROCK BORROW SHALL BE PLACED AT CULVERT INLETS AND OUTLETS AT THE LOCATIONS SHOWN (OR AS DIRECTED BY THE OSPC) TO PREVENT EROSION.
6. BARK MULCH OR CRUSHED STONE MAY BE PLACED AROUND NEW PLANTINGS AND IN LANDSCAPING BEDS. LOOSE MULCH SHALL NOT BE PLACED ON SLOPES OR IN AREAS WHERE IT MAY BE SUBJECT TO WASHING.
7. A VIGOROUS GROWTH OF VEGETATION SHALL BE ESTABLISHED IN ALL OTHER AREAS OF DISTURBED SOIL. SEE ALSO TURF ESTABLISHMENT REQUIREMENTS.
8. SITE INSPECTIONS BY THE ONSITE PLAN COORDINATOR SHALL CONTINUE UNTIL A VIGOROUS GROWTH OF PERMANENT VEGETATION HAS BEEN ESTABLISHED AND A NOTICE OF TERMINATION FOR COVERAGE HAS BEEN EXECUTED. AFTER THE ENTIRE SITE HAS BEEN TEMPORARILY STABILIZED, THE INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE (1) PER MONTH.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

GRAPHIC SCALE



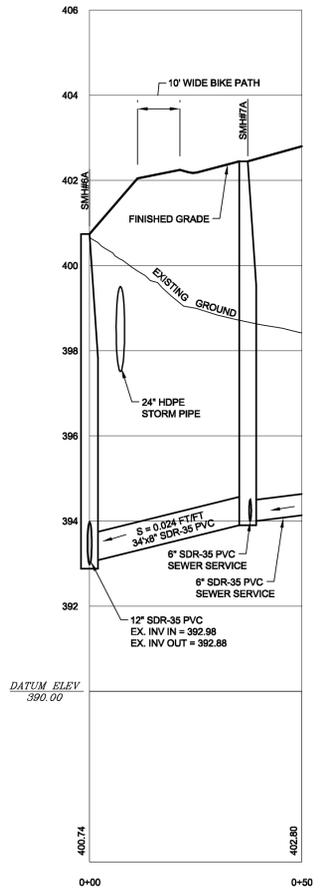
REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT		
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		
FINNEY CROSSING		proj. no. 01-087
A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		survey L&D
EROSION PREVENTION AND SEDIMENT CONTROL STABILIZATION PLAN		design DJG/ABR
		drawn L&D
		checked DJG/ABR
		date 04-06-18
		scale 1" = 30'
		sht. no. B7

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08143-010

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

GENERAL CONSTRUCTION SPECIFICATIONS

- ALL WORK AND MATERIALS SHALL BE APPROVED BY AND IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE TOWN OF WILLISTON PUBLIC WORKS SPECIFICATIONS AND THESE PLANS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND THE AGENCY OF TRANSPORTATION (FOR WORK WITHIN OR NEAR STATE HIGHWAYS) BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS AS NEEDED TO DETERMINE THE ACTUAL LOCATION OF THE EXISTING UTILITIES WITHIN THE LIMITS OF THE PROPOSED WORK.
- UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM LIMITED FIELD SURVEYS AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE OWNER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP PAVED STREETS WITH A POWER BROOM AS DUST CONTROL.
- THE CONTRACTOR SHALL ERECT TEMPORARY CONSTRUCTION SIGNS IN ACCORDANCE WITH VTRANS STANDARDS AND TOWN REQUIREMENTS. ADDITIONAL TEMPORARY CONSTRUCTION SIGNS SHALL BE IN PLACE WHILE ANY WORK IS UNDERWAY WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL PROVIDE FLAGGERS FOR TRAFFIC CONTROL AT ALL TIMES THAT WORK IS UNDERWAY ON THE SHOULDER OR WITHIN THE PAVED PORTION OF THE PUBLIC RIGHT OF WAY.
- ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
- THE HORIZONTAL AND VERTICAL SEPARATION FOR SEWER, STORM, AND WATER LINES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "TEN STATE STANDARDS - RECOMMENDED STANDARDS FOR WATER."
- HEALTHY EXISTING TREES ON AND ADJACENT TO THE SITE SHALL BE PROTECTED, WHERE NOTED ON THE PLANS, BY THE CONTRACTOR.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.
- AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.



SEWER PROFILE FROM SMH #6A TO SMH #7A

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

STANDARD EPSC PLAN REQUIREMENTS

THIS SECTION CONTAINS THE MINIMUM REQUIRED ELEMENTS FOR THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN. THESE ELEMENTS ARE IN ADDITION TO THE SITE SPECIFIC EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES SHOWN ON THE PLANS.

EROSION PREVENTION

- THROUGHOUT CONSTRUCTION, THE AREA OF SOIL DISTURBANCE SHALL BE LIMITED TO THOSE AREAS(S) THAT CAN BE ACTIVELY WORKED AND MANAGED WITH THE FORCES AVAILABLE. AREAS THAT ARE NOT ACTIVELY BEING WORKED FOR A PERIOD OF 5 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED.
- THE MAXIMUM AREA OF SOIL DISTURBANCE AT ANY ONE TIME ON THE ENTIRE PROJECT PARCEL SHALL BE LESS THAN 5 ACRES.
- SEDIMENT BASINS, SEDIMENT TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.
- WHENEVER WATER SEEPS FROM SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND THE RECEIVING CHANNEL.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES AS A PART OF MAINTENANCE SHALL BE DISPOSED OF IN AN AREA THAT IS:
 - LESS THAN 5% IN SLOPE.
 - AT LEAST 100 FT. FROM ANY DOWNSLOPE WATER BODY OR CONVEYANCE TO A WATER BODY (INCLUDING STORM DRAIN INLET OR DITCH).
 - VEGETATED.
 PERMANENT STABILIZATION OF SEDIMENT SHALL BE IMMEDIATELY IMPLEMENTED FOLLOWING DISPOSAL.
- FOR ANY AREA TO BE STABILIZED FOR WINTER BY VEGETATIVE COVER, SEEDING MUST BE COMPLETED NO LATER THAN SEPTEMBER 15.
- ANY AREA TO BE STABILIZED FOR WINTER THAT DOES NOT HAVE ESTABLISHED VEGETATION BY OCTOBER 15 MUST BE STABILIZED BY ANCHORED MULCH AT THE WINTER APPLICATION RATE OF 4 TONS PER ACRE, OR OTHER APPROVED STABILIZATION MEASURES (E.G. ROLLED EROSION CONTROL PRODUCT). DORMANT SEEDING (E.G. WITH WINTER RYE) IS RECOMMENDED.
- DISTURBED AREAS BORDERING AND DRAINING TO ROADS MUST HAVE AN APPROPRIATE SEDIMENT BARRIER SPANNING THE EDGE OF THE DISTURBANCE TO PREVENT WASHING OF SEDIMENT ONTO ROADWAYS OR INTO ROAD DITCHES.
 - HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2 TONS PER ACRE. HAY MULCH APPLICATION DURING WINTER CONSTRUCTION SHALL BE AT A RATE OF 4 TONS PER ACRE. WHERE SUBJECT TO BLOWING, MULCH SHALL BE SECURED IN PLACE BY TRACKING WITH EQUIPMENT (WITH TRACK RUNNING PARALLEL TO SLOPE), A TACKIFIER, NETTING, OR REPLACED WITH PROPERLY ANCHORED EROSION MATTING.
- PLACEMENT OF SEED AND MULCH SHALL OCCUR WITHIN 48 HOURS OF PLACEMENT OF TOPSOIL AND COMPLETION OF FINAL GRADING (NOT WITHSTANDING STABILIZATION REQUIREMENTS ELSEWHERE IN THIS PLAN).
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED.

STABILIZATION

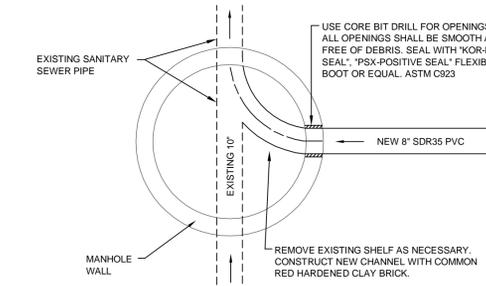
- ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 14 DAYS. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY.
 - THE FOLLOWING EXCEPTIONS APPLY:
 - STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
 - STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. HOUSE FOUNDATION EXCAVATION, UTILITY TRENCHES).

- MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. EXCEPT AS NOTED BELOW, ALL SITES SHALL BE SEEDING AND STABILIZED WITH EROSION CONTROL MATERIALS, SUCH AS MULCH OR ROLLED EROSION CONTROL PRODUCTS, INCLUDING AREAS WHERE CONSTRUCTION HAS BEEN SUSPENDED OR SECTIONS COMPLETED.
 - ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS (E.G. RECP), OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS SOD.
 - FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FT. OF A BUILDING UNDER CONSTRUCTION, A DOWNSLOPE PERIMETER SEDIMENT CONTROL SYSTEM CONSISTING, FOR EXAMPLE, OF SILT FENCING, SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL EXPOSED DISTURBED AREAS ADJACENT TO A CONVEYANCE THAT PROVIDES RAPID OFFSITE DISCHARGE OF SEDIMENT. SUCH A CUT SLOPE AT AN ENTRANCE SHALL BE COVERED WITH PLASTIC OR GEOTEXTILE TO PREVENT SOIL LOSS UNTIL IT CAN BE STABILIZED. STABILIZED CONSTRUCTION ENTRANCES WILL BE MAINTAINED TO CONTROL VEHICLE TRACKING MATERIAL OFF SITE.
 - TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTING DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT PRACTICES.
 - STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
 - ALL SLOPES STEEPER THAN 3:1 (H:V), OR 33.3%, AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES (RECP). AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.

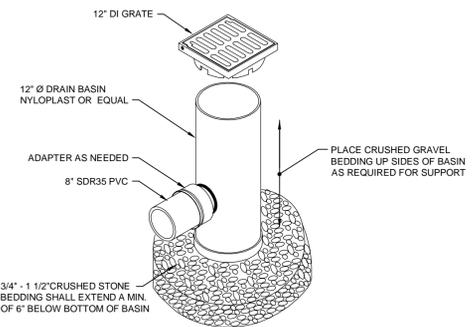
SPECIAL WINTER EPSC PLAN REQUIREMENTS

IF CONSTRUCTION ACTIVITIES INVOLVING EARTH DISTURBANCE CONTINUE PAST OCTOBER 15, OR BEGIN BEFORE APRIL 15, THEN THE FOLLOWING PROVISIONS SHALL BE IMPLEMENTED:

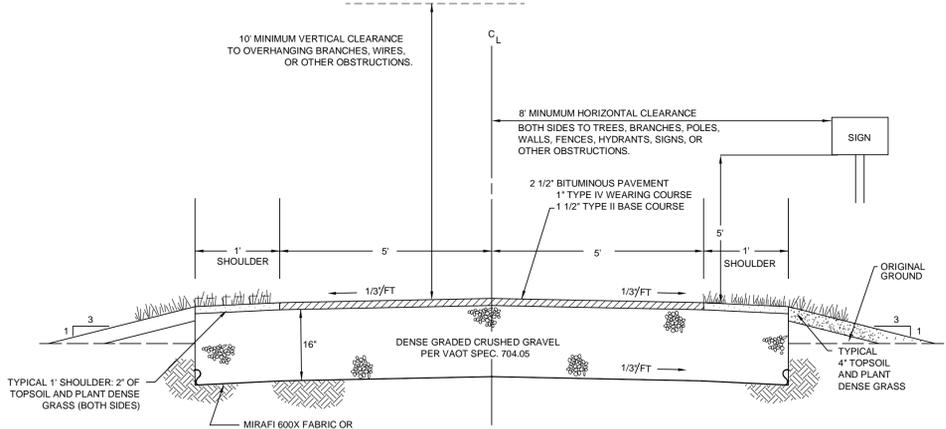
- STABILIZED ACCESS POINTS SHALL BE ENLARGED TO PROVIDE FOR SNOW STOCKPILING WHILE STILL MAINTAINING EFFECTIVE SEDIMENT CONTROL. PACKED SNOW AND ICE MAY NEED TO BE REMOVED AND ADDITIONAL STONE PLACED TO MAINTAIN THE LOOSE STONE SURFACE AT STABILIZED CONSTRUCTION EXITS.
- THE LIMITS OF DISTURBANCE MAY NEED TO BE REPLACED OR DRAWN IN TO REFLECT THE BOUNDARY OF WINTER WORK. THE LIMITS OF DISTURBANCE SHALL BE DRAWN IN TO EXCLUDE ALL AREAS TEMPORARILY STABILIZED FOR THE WINTER, AND AREAS WHERE DISTURBANCE DURING THE WINTER IS NOT PLANNED.
- BASED UPON THE WINTER ACTIVITIES PROPOSED, THE ON-SITE PLAN COORDINATOR SHALL DEVELOP A SNOW MANAGEMENT PLAN THAT SHALL INCLUDE AT A MINIMUM:
 - ADEQUATE SIZE FOR SNOW STORAGE AREAS
 - SNOW STORAGE AREAS LOCATED DOWN GRADIENT OF AREAS OF PLANNED DISTURBANCE
 - CONTROL OF SNOWMELT RUNOFF
 - PROHIBITING STORAGE OF SNOW IN STORMWATER TREATMENT STRUCTURES
 - A MINIMUM 25 FOOT BUFFER BETWEEN PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR SNOW CLEARING AND MAINTENANCE.
- IN AREAS OF DISTURBANCE WITHIN 100 FT. OF A RECEIVING WATER, SILT FENCE SHALL BE REINFORCED OR REPLACED WITH PERIMETER DIKES, SWALES, OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
- THE ON-SITE PLAN COORDINATOR INSPECTIONS SHALL INCLUDE MAINTENANCE OF FENCE STRUCTURES TO INSURE THAT THEY ARE OPEN AND FREE OF SNOW AND ICE DAMS.
- SILT FENCE AND OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE INSTALLED AHEAD OF GROUND FREEZING. IF PRACTICES MUST BE INSTALLED OR MAINTAINED AFTER GROUND FREEZING, NO FROZEN MATERIAL SHALL BE USED IN THE CONSTRUCTION OF BERMS OR DIKES, OR INSTALLATION OF SILT FENCE.
- WHERE MULCH IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT TWICE THE STANDARD RATE, OR A MINIMUM OF 4 TONS PER ACRE.
- WHEN MULCH IS USED FOR TEMPORARY STABILIZATION, AS NEEDED, IT SHALL BE ANCHORED TO PREVENT BLOWING AND REMOVAL BY WIND. ANCHORING MAY INCLUDE TRACKING WITH EQUIPMENT, APPLICATION OF A TACKIFIER, OR NETTING.
- TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH DAY, WITH THE FOLLOWING EXCEPTIONS:
 - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
- SNOW AND/OR ICE SHALL BE REMOVED TO A THICKNESS OF LESS THAN 1" (ONE INCH) PRIOR TO TEMPORARY STABILIZATION.
- WHERE EXTERIOR CONSTRUCTION ON BUILDINGS WILL CONTINUE, OR WHERE VEHICLE OR EQUIPMENT TRAFFIC ASSOCIATED IS EXPECTED, A STABILIZED WORK AREA AROUND THE PERIMETER OF THE STRUCTURE SHALL BE STABILIZED WITH CRUSHED STONE OR GRAVEL.



MANHOLE CORING DETAIL

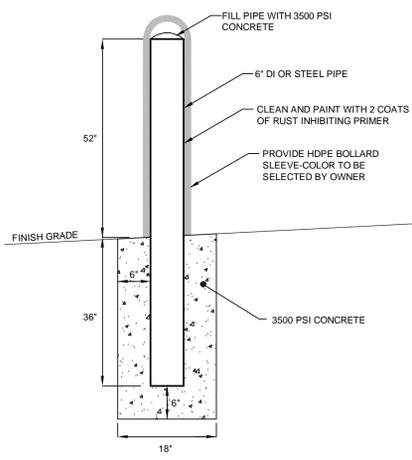


TYPICAL YARD INLET



NOTE: FOR THE PURPOSE OF FINE GRADING PRIOR TO PAVING, FINE CRUSHED GRAVEL HAVING A DEPTH OF UP TO 4" MAY BE USED IN PLACE OF THE TOP 4" OF THE DENSE GRADED CRUSHED STONE.

PAVED PATH CROSS SECTION



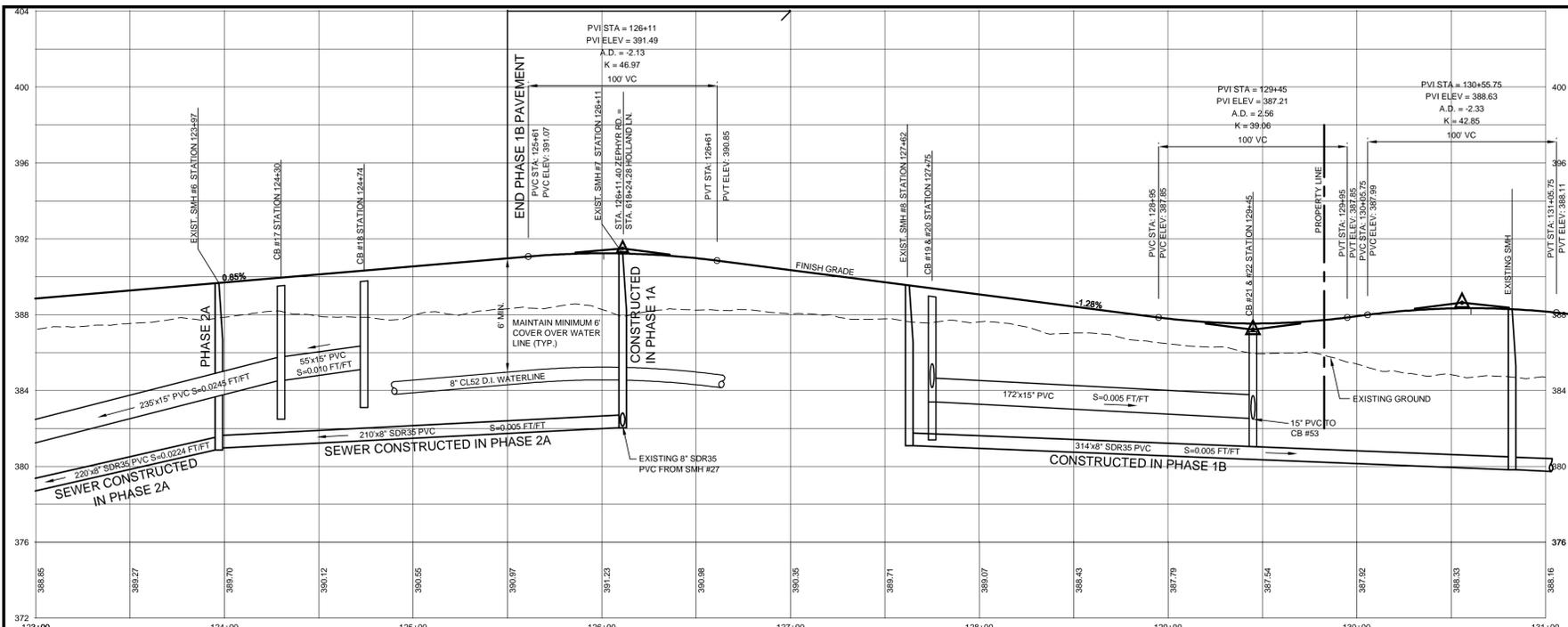
TYPICAL BOLLARD

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01_#414, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

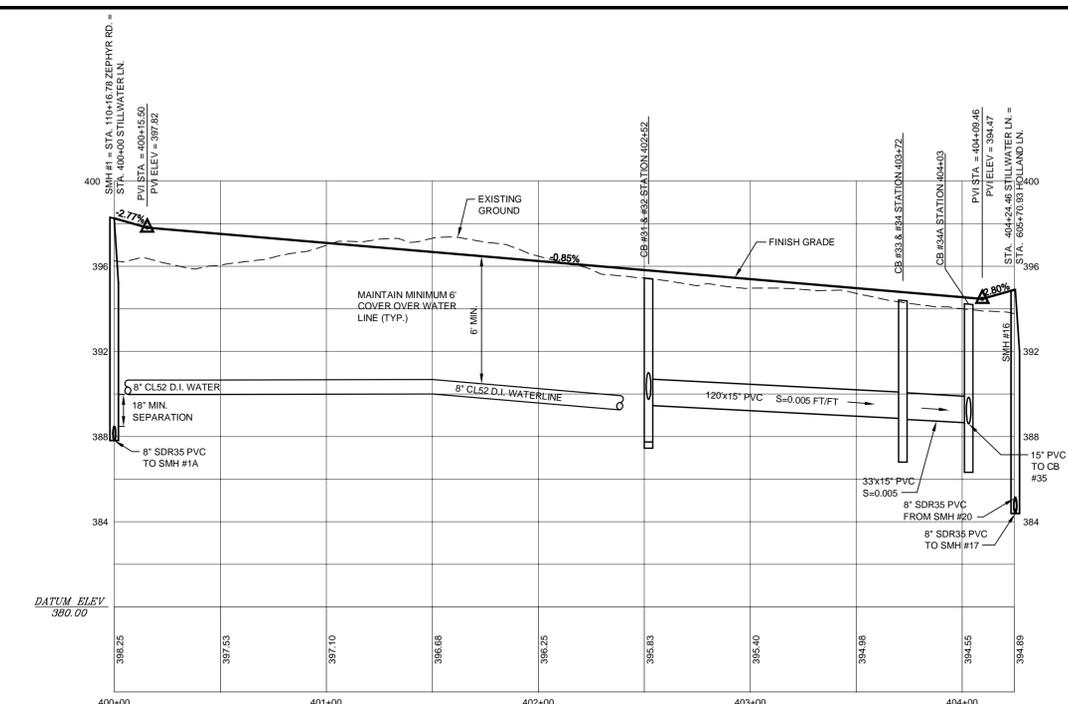
08-09-2018	ADD YARD INLET DETAIL	NDS
05-10-2018	ADDED SEWER PROFILE	NDS
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		# OF SHEETS
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<input type="checkbox"/>	PRELIMINARY	
<input type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		proj. no. 01-087
DETAILS & SPECIFICATIONS		survey L&D
MISC. SITEWORK & EPSC		design DJG/ABR
LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450		drawn L&D
		checked DJG/ABR
		date 04-06-18
		scale
		AS SHOWN sht. no.
		B8

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08-104-010



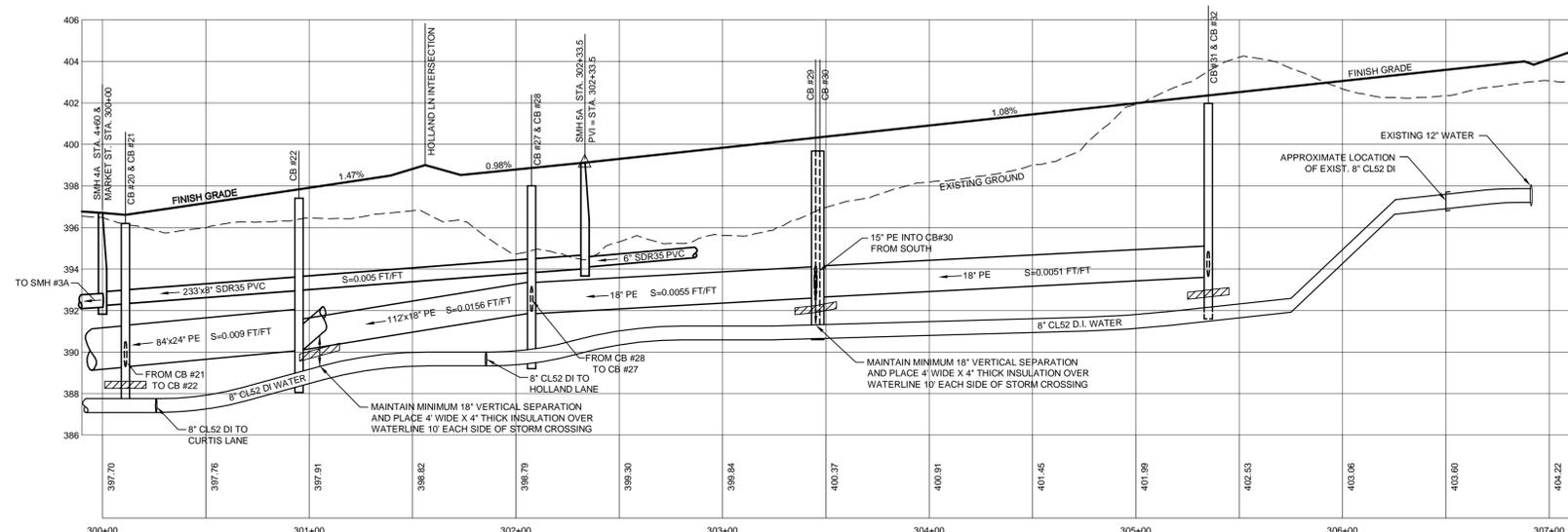
ZEPHYR ROAD PROFILE (CONSTRUCTED)

SCALE: HOR: 1"=40'
VER: 1"=4'



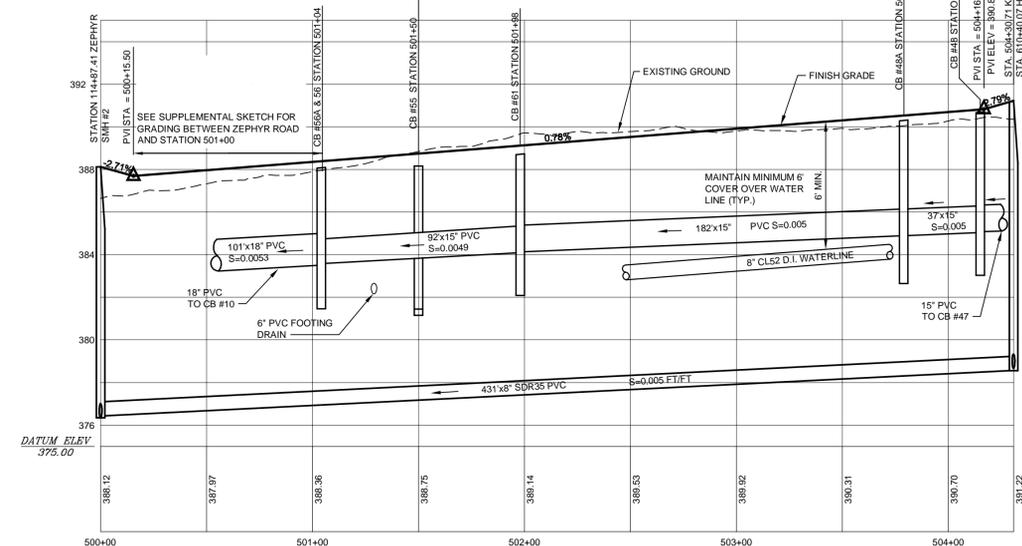
STILL WATER LANE PROFILE (CONSTRUCTED)

SCALE: HOR: 1"=40'
VER: 1"=4'



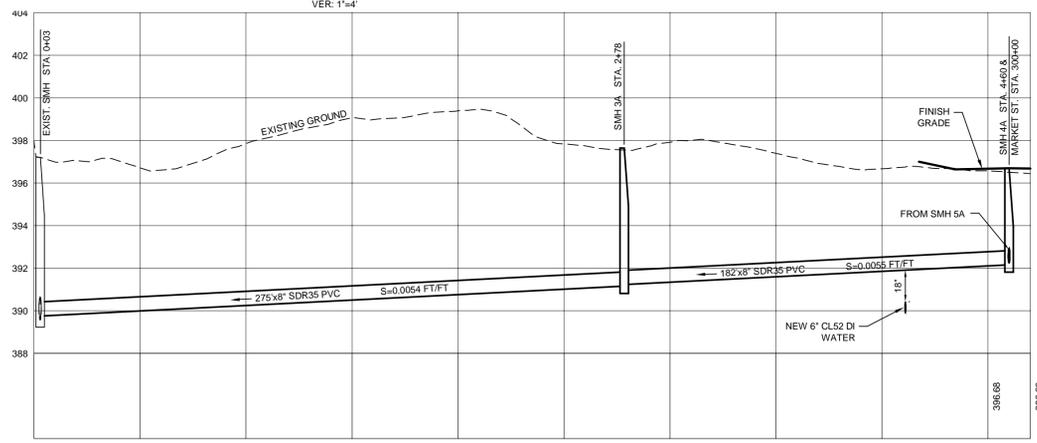
MARKET STREET PROFILE - PROPOSED

SCALE: HOR: 1"=40'
VER: 1"=4'



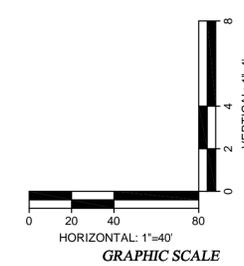
KETTLEPOND LANE PROFILE (CONSTRUCTED)

SCALE: HOR: 1"=40'
VER: 1"=4'



SEWERLINE PROFILE - FROM U.S. ROUTE 2 TO MARKET STREET

SCALE: HOR: 1"=40'
VER: 1"=4'



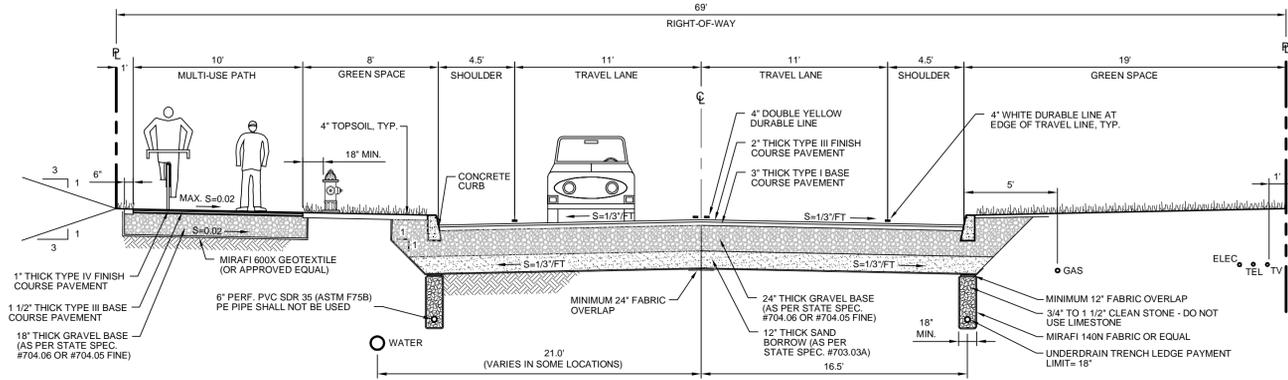
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

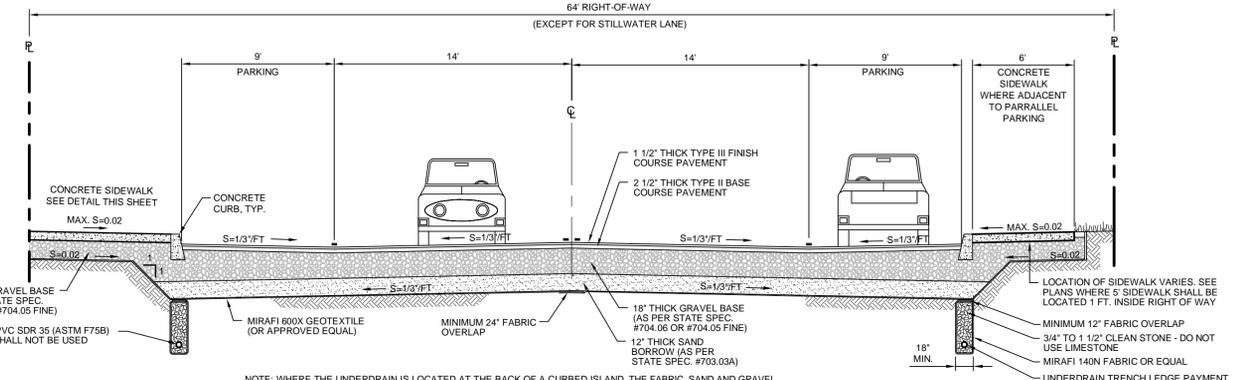
02-16-18	REVISE PER WS REVIEW, MARKET/HOLLAND INTERS	ABR
02-13-18	REVISE PER WS REVIEW, ADD INSUL AT WATER/STORM XINGS	ABR
12-28-17	REVISE STORM & WATER ON MARKET ST	ABR
12-05-17	REVISE MARKET STREET, ADD SEWER PROFILE	ABR
05-18-15	ADD NOTE TO KETTLEPOND PROFILE (ZEPHYR ROAD TO 501+00)	ABR
11-04-13	REVISED STORM ALONG KETTLEPOND LANE	DJG
08-12-11	REVISED SEWER FROM SMH8 TO HAMLET	ABR
07-06-07	REVISED ZEPHYR STORM PIPING FROM CB 19820	ABR/JT
01-12-07	REVISED ZEPHYR PROFILE & STORM PIPING, ADDED KETTLEPOND	ABR/JT
09/26/06	REVISED SAN. SEWER FROM SMH #1 TO SMH #1A	JT

<p>REVISIONS (SEE LEFT SIDE OF TITLE BLOCK)</p> <p>THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:</p>		# OF SHEETS
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
<p>FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT</p>		<p>proj. no. 01-087</p> <p>survey L&D</p> <p>design DJG/ABR</p> <p>drawn JET/BH</p> <p>checked DJG/ABR</p> <p>date 11/30/05</p> <p>scale: H: 1"=40' V: 1"=4'</p> <p>sh. no. 11</p>
<p>ZEPHYR RD STA. 123+00 TO 130+55, MARKET ST., STILL WATER LN. & KETTLEPOND LN. ROAD PROFILES</p>		
<p>LAMOREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450</p>		

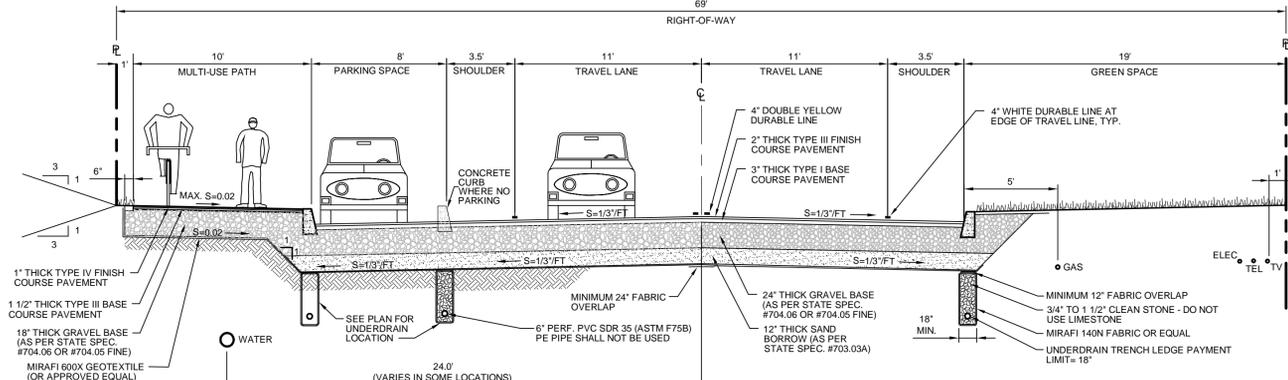
WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 081104-01-01, 081143-002-004, & 010



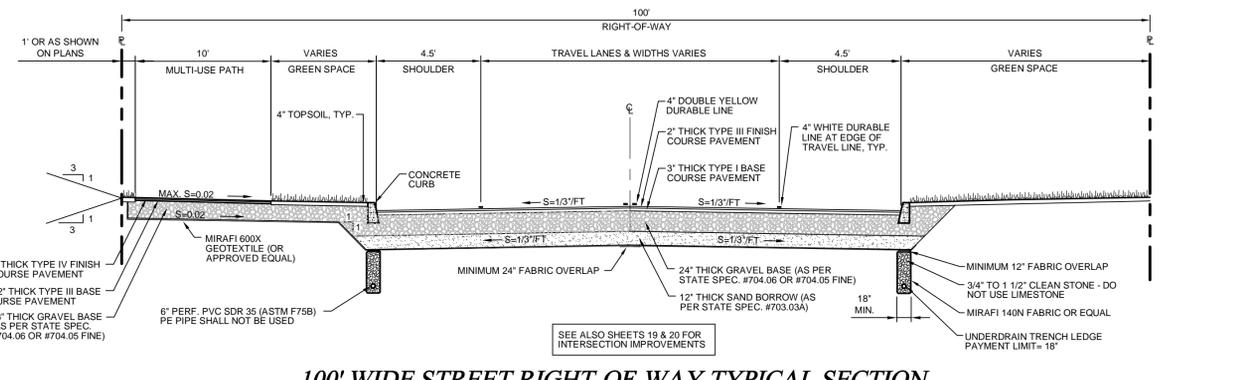
69' WIDE STREET RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD, STATION 106+00 TO STATION 129+82 (STATION 104+50 TO STATION 106+00 PAVEMENT WIDTH VARIES)



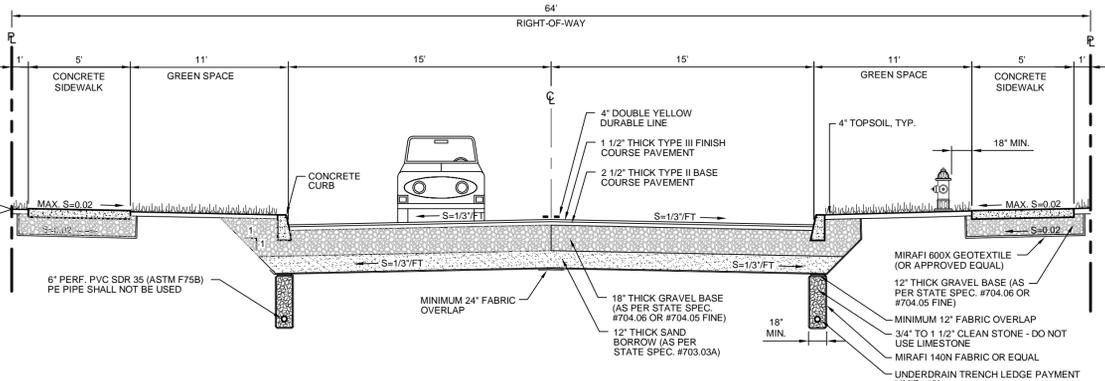
64' WIDE SEYMOUR, HOLLAND, STILL WATER, & MARKET ST RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS FOR PORTIONS OF ROADWAY WITH ON-STREET PARALLEL PARKING



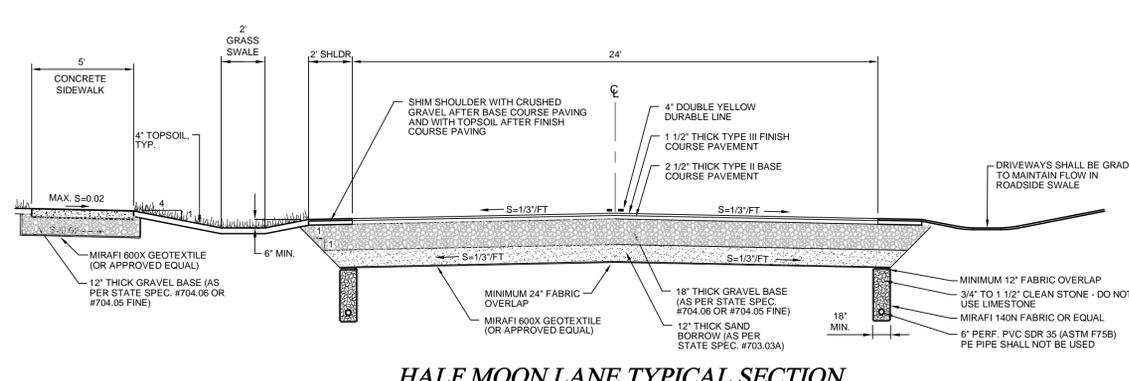
ZEPHYR ROAD ON-STREET PARKING TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD, STATION 110+50 TO STATION 125+50 (ON STREET PARKING IS NOT CONTINUOUS, SEE SITE PLAN)



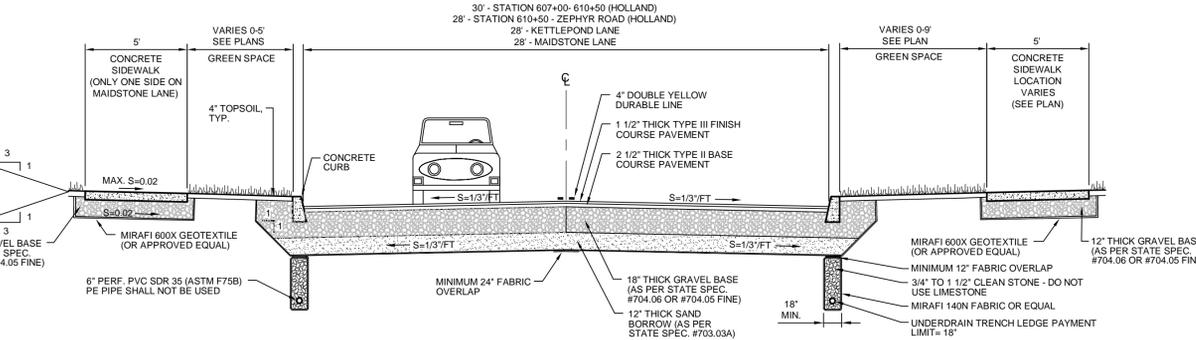
100' WIDE STREET RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD, STATION 100+21 TO STATION 104+76 MARKET STREET



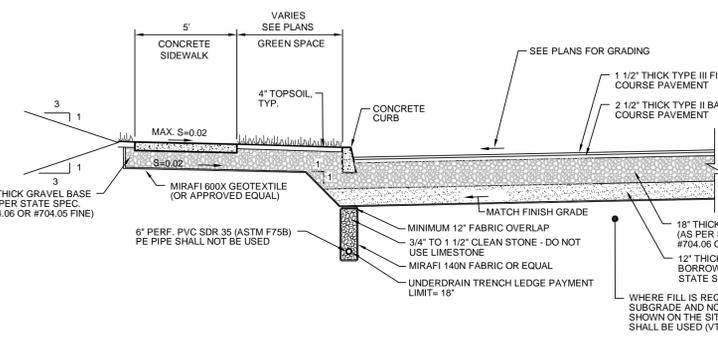
64' WIDE DUNMORE LANE RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS



HALF MOON LANE TYPICAL SECTION
SCALE: NTS



MAIDSTONE, HOLLAND & KETTLEPOND LANE TYPICAL SECTION
SCALE: NTS MAIDSTONE LANE, STATION 607+00 TO ZEPHYR ROAD KETTLE POND LANE



TYPICAL PRIVATE DRIVE & PARKING AREA SECTION
SCALE: NTS

- NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN PUBLIC WORKS SPECIFICATIONS, THE 2006 VERMONT STATE STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
 - EMULSION WILL BE PLACED ON THE FACE OF THE CURB WHERE IT WILL BE IN CONTACT WITH THE PAVEMENT.
 - EMULSION WILL BE PLACED BETWEEN THE BASE AND FINISH COATS OF PAVEMENT WHEN THE FINISH COURSE IS NOT PLACED IMMEDIATELY AFTER THE BASE COURSE PLACEMENT.
 - THE STREET FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 0.5%.
 - WHERE LEDGE EXISTS IT SHALL BE SHATTERED TO A MINIMUM OF 2'-6" BELOW SUBGRADE.
 - YELLOW OR ORANGE WARNING TAPE SHALL BE BURIED 15" ABOVE ALL GAS, ELECTRIC, TELEPHONE AND T.V. LINES.
 - PRIOR TO INSTALLING THE UNDERDRAINS, THE FABRIC AND GRAVEL, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSPECTION OF THE SUBGRADE SOILS. THE CONTRACTOR SHALL FURNISH A LOADED DUMP TRUCK FOR TRAVELING ON THE SUBGRADE WHEN THE ENGINEER PERFORMS THE INSPECTION. THE CONTRACTOR SHALL OVER-EXCAVATE UNSUITABLE SOILS AND ADD ADDITIONAL SAND BASE AS REQUESTED BY THE ENGINEER.
 - PRIOR TO PLACEMENT OF SAND BORROW OR GRAVEL BASE MATERIALS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A GRADATION ANALYSIS FOR EACH MATERIAL SOURCE TO BE USED DEMONSTRATING COMPLIANCE WITH THE REQUIRED SPECIFICATIONS. THIS GRADATION ANALYSIS SHALL BE REPRESENTATIVE OF THE MATERIAL TO BE USED. SUBSEQUENT SAMPLES SHALL BE TAKEN FROM ON-SITE MATERIAL IN PLACE FOR GRADATION ANALYSIS BY THE ENGINEER.
 - ALL PAVEMENT MARKINGS ON PUBLIC STREETS, AND ALL CROSSWALKS (PUBLIC OR PRIVATE STREETS) SHALL BE DURABLE MARKINGS (3M TAPE). TEMPORARY PAINT MARKINGS SHALL BE PROVIDED ON BASE COURSE PAVEMENT.

TYPICAL STREET, DRIVE & PARKING AREA CROSS-SECTION NOTES
SCALE: N.T.S.

DATE	DESCRIPTION	BY
04-06-18	ADD MARKET STREET TO 64' ROW WITH ONSTREET PARKING	ABR
02-29-12	ADD SIDEWALK BOTH SIDES DUNMORE LN. AND ON HALF MOON LANE	ABR
01-27-12	REV. PER DPW REVIEW - ADD SIDEWALK AND SUBGRADE SLOPE	ABR
08-12-11	ADD HALF MOON LN & DRIVEWAY / PARKING SECTION, EDIT GENERAL NOTES	ABR
05-16-07	REVISED PER TOWN AND STATE REVIEWS	DJG/J
01-12-07	ADDED ZEPHYR ROAD ON-STREET PARKING DETAIL	PMP

REVISIONS	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT <input type="checkbox"/> PRELIMINARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
ROADS

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale AS SHOWN
sht. no. 14

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, AM14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR "FINNEY CROSSING AMENDMENT #14" ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

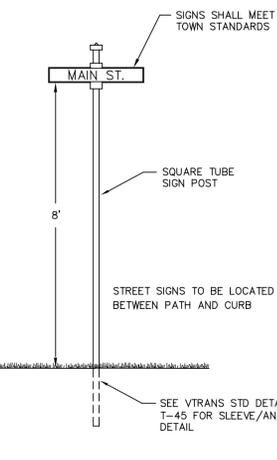
WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 0811041010, 081143002, 0041 & 010

GENERAL CONSTRUCTION SPECIFICATIONS

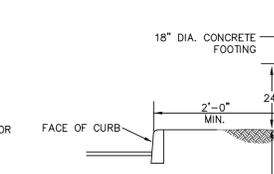
- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. THE SURFACES, LINE OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2006 VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN OF WILLISTON PUBLIC WORKS SPECIFICATIONS AND THESE PLANS.
- NEW PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH NOTE #4 ABOVE. ALL EXISTING PAVEMENT MARKINGS CONFLICTING WITH THE NEW IMPROVEMENTS SHALL BE REMOVED BY GRINDING OR BURNING.
- A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OR HER OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SURFACES OF THE CONSTRUCTION AREA WITH WATER OR A 1% CALCIUM CHLORIDE OR SUREE THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK. CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAINTING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ENSURE COMPLIANCE WITH THE PLANS.
- PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND THE TOWN.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM T-99 STANDARD PROCTOR, AND SHALL BE TESTED AT 500' INTERVALS, UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PIPES IN FILL AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT. THE PIPES SHALL ONLY BE INSTALLED OVER ADEQUATELY COMPACTED SOILS.
- THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR PRIOR TO AND AFTER EVERY RAINFALL UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED BY STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS INC. (L&D) TO DETERMINE IF THE WORK IS BEING PERFORMED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. L&D WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY, ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT L&D'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING PROGRESS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF THE INDIVIDUAL UNIT OR LOT CURB CUTS AND PIPE SERVICES WITH THE OWNER AT THE TIME OF CONSTRUCTION.
- ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.

STREET NAME SIGN

N.T.S.

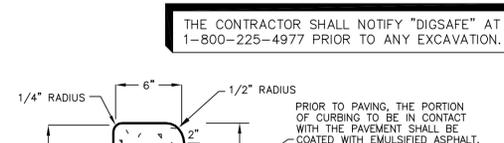


- GENERAL NOTES:**
- ALL ELECTRICAL MATERIAL AND ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AREA ELECTRICAL INSPECTOR AND/OR THE POWER COMPANY WITH JURISDICTION IN THE PROJECT AREA.
 - ALL WORK MUST MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND THE ILLUMINATING ENGINEERS SOCIETY OF NORTH AMERICA (IESNA) AS WELL AS OTHER LOCAL AND STATE CODES.
 - MOUNTING, CONDUIT, GROUNDING AND OTHER LIGHTING DETAILS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.



TYPICAL STREET LIGHT

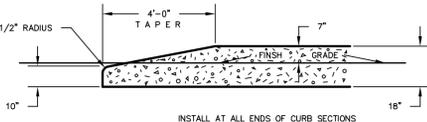
N.T.S.



- NOTES:**
- CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8" JOINT BETWEEN SECTIONS.
 - CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO ASTM DESIGNATION M-16.5 (1/2" SPONGE RUBBER OR CORK.)
 - ALL EXPOSED CONCRETE CURB SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND AFTER THE INITIAL CURING PERIOD (APPROXIMATELY 28 DAYS)

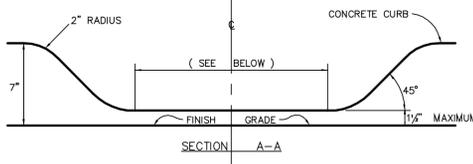
CONCRETE CURB

N.T.S.



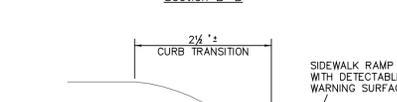
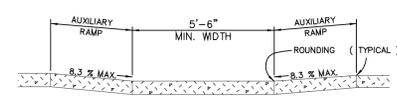
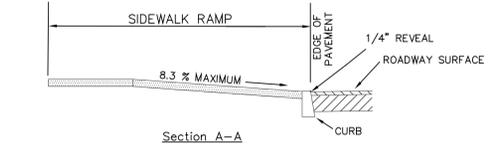
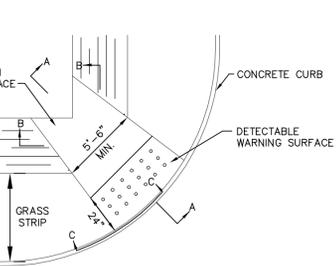
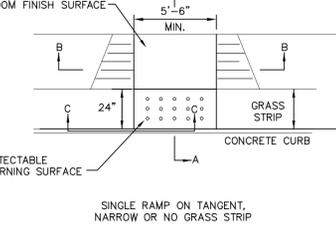
TYPICAL TAPERED CURB

N.T.S.



SIDEWALK RAMP

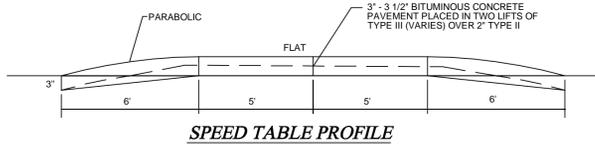
N.T.S.



NOTE: THE TYPE, COLOR AND MANUFACTURER OF THE DETECTABLE WARNING SURFACE SHALL BE APPROVED BY THE TOWN AND OWNER.

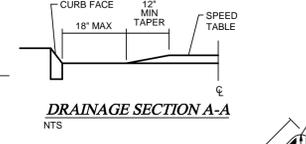
SIDEWALK RAMP

N.T.S.



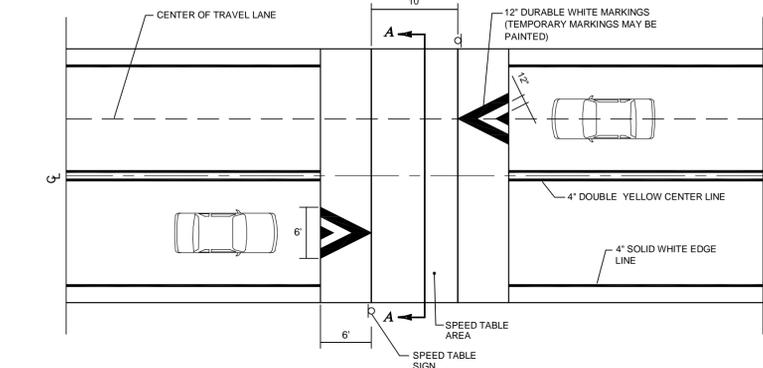
SPEED TABLE PROFILE

N.T.S.



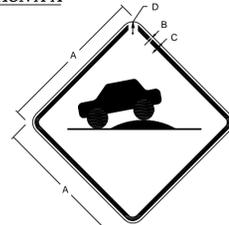
DRAINAGE SECTION A-A

N.T.S.



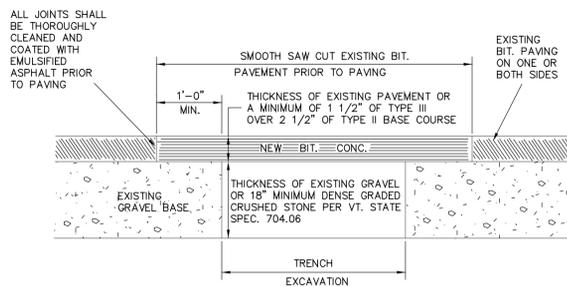
SPEED TABLE

N.T.S.



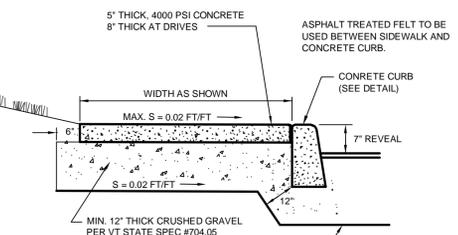
SPEED TABLE

SIGN	DIMENSIONS			
	A	B	C	D
STD	30"	30"	3/4"	1-3/4" R.



DRIVEWAY APRON & CURB CUT

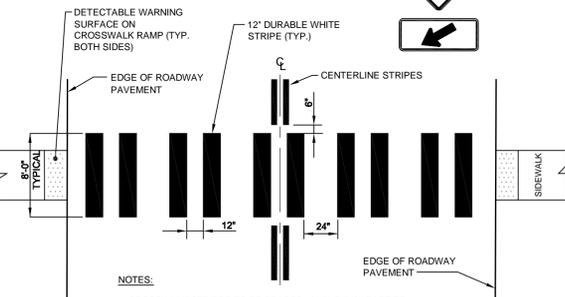
N.T.S.



- NOTES:**
- CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 PSI AT 28 DAYS. AIR ENTRAINMENT WITH AN ADMIXTURE PRODUCING AN AIR CONTENT OF BETWEEN 5% AND 7% BY VOLUME.
 - HALF INCH (1/2) TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT EXCEEDING TWENTY FEET (20'). SIDEWALKS SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE (5) FEET. CURB AND SIDEWALK SECTIONS SHALL BE SEPARATED BY ASPHALT TREATED FELT.
 - AFTER THE INITIAL CURING PERIOD IS OVER (APPROXIMATELY 28 DAYS), ALL EXPOSED SURFACES SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND.
 - SEE ARCHITECTURAL PLANS AND DETAILS AT BUILDING ENTRANCE LOCATIONS FOR ADDITIONAL SIDEWALK FOUNDATION AND SUPPORT DETAILS.

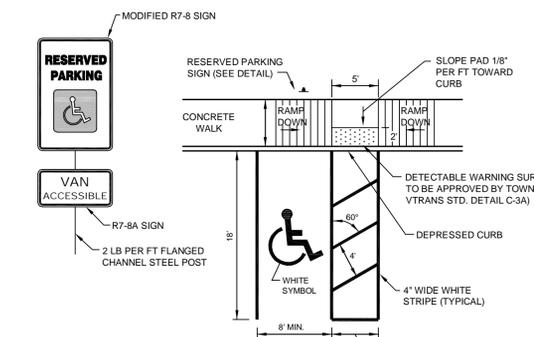
CONCRETE SIDEWALK DETAIL

N.T.S.



CROSSWALK DETAIL

N.T.S.



ACCESSIBLE PARKING SPACE DETAIL

N.T.S.

- SET UP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES IN ACCORDANCE WITH VTRANS E-STANDARDS AND THE MUTCD.
- RESHAPE HOLE AND PATCH AREA BY CUTTING WITH CONCRETE SAW INTO A SQUARE OR RECTANGULAR SHAPE. OUTSIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND AROUND HOLE TO SOLID PAVEMENT.
- BACKFILL TRENCH IN 6" LIFTS AND COMPACT EACH LIFT TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
- REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
- APPLY LIQUID EMULSION (RS-1) TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE EMULSION ON BOTTOM OF THE HOLE.
- PLACE TYPE II BASE COURSE PAVEMENT A MINIMUM OF 2 1/2" THICK.
- FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS OF NO MORE THAN 2". FINAL LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT BEFORE COMPACTION SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE EXISTING PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTED WITH A VIBRATORY PLATE COMPACTOR OR A VIBRATORY PORTABLE ROLLER. HAND TAMP SHOULD ONLY BE USES FOR SMALL AREAS (LESS THAN 1 S.F.).
- CLEAN UP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS AND DEVICES.

REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT

N.T.S.

LEDGE REMOVAL SPECIFICATIONS

- ALL LEDGE BLASTING AND REMOVAL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL EXCAVATE ROCK, IF ENCOUNTERED, TO THE LINES AND GRADES INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER, PROPERLY DISPOSE OF THE ROCK AND BACKFILL WITH ACCEPTABLE MATERIAL. GENERALLY, ROCK IN PIPE TRENCHES SHALL BE EXCAVATED SO AS NOT TO BE LESS THAN SIX INCHES FROM THE BOTTOM OF THE PIPE AFTER IT HAS BEEN LAID.
- ROCK EXCAVATION SHALL MEAN BOULDERS EXCEEDING ONE CUBIC YARD IN VOLUME OR SOLID LEDGE ROCK, WHICH, IN THE OPINION OF THE ENGINEER, REQUIRES ITS REMOVAL. DRILLING AND BLASTING, WEDGING, SLEDGING, OR BARRING, NO HARD PAN, SOFT, OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITH A PICK, LOOSE, SHAKEN, OR PREVIOUSLY BLASTED ROCK OR BROKEN STONE, SMALLER THAN ONE CUBIC YARD IN VOLUME OR SOLID LEDGE ROCK, AND NO ROCKS EXTERIOR TO THE MAXIMUM LIMITS OF EXCAVATIONS BY THE APPROVED BY THE ENGINEER WHICH MAY FALL INTO THE TRENCH OR OTHER EXCAVATIONS, WILL BE MEASURED OR ALLOWED AS ROCK EXCAVATION.
- IN ROCK EXCAVATION, IT IS ESPECIALLY REQUIRED THAT BLASTING SHALL BE CONDUCTED WITH ALL POSSIBLE CARE SO AS TO AVOID INJURY TO PERSONS AND PROPERTY. THAT ROCK SHALL BE WELL COVERED WITH EFFECTIVE APPLIANCES; THAT SUFFICIENT WARNING SHALL BE GIVEN TO ALL PERSONS IN THE VICINITY OF WORK BEFORE BLASTING; THAT CARE SHALL BE TAKEN TO AVOID INJURY TO WATER PIPES, GAS PIPES, SEWERS, DRAINS, OR OTHER STRUCTURES; AND THAT CAPS OR OTHER PRIMERS SHALL NOT BE KEPT IN THE SAME PLACE WHERE DYNAMITE OR OTHER EXPLOSIVES ARE STORED.
- THE CONTRACTOR SHALL OBSERVE ALL LAWS AND ORDINANCES RELATING TO STORAGE AND HANDLING OF EXPLOSIVES.
- THE CONTRACTOR SHALL BE PAID FOR BLASTING AND REMOVAL OF ROCK ONLY TO THE LEDGE PAYMENT LIMITS SHOWN ON THE PLANS.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01.AM14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

REV	DESCRIPTION	DATE	BY
09-15-17	DELETE BOLLARD LIGHT DETAIL		ABR
01-27-12	REV PER DPW - ADD SIDEWALK AND SUBGRADE SLOPE		ABR
12-16-11	REVISE STREET LIGHT TO LED		ABR
08-12-11	REVISE SW DETAIL PER DPW SPEC		ABR
01-12-07	ADD SPEED TABLE & ACCESSIBLE PARKING SPACE DETAILS		PMP

REVISIONS	# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:	
<input type="checkbox"/> SKETCH/CONCEPT	
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> FINAL	
<input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
ROADWAY & MISC.

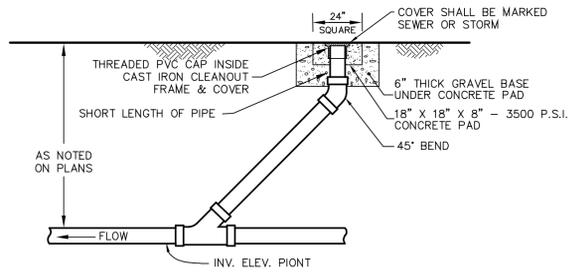
LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale
AS SHOWN
sheet no. 15

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08-104-010, 08-143-002, 004, & 010

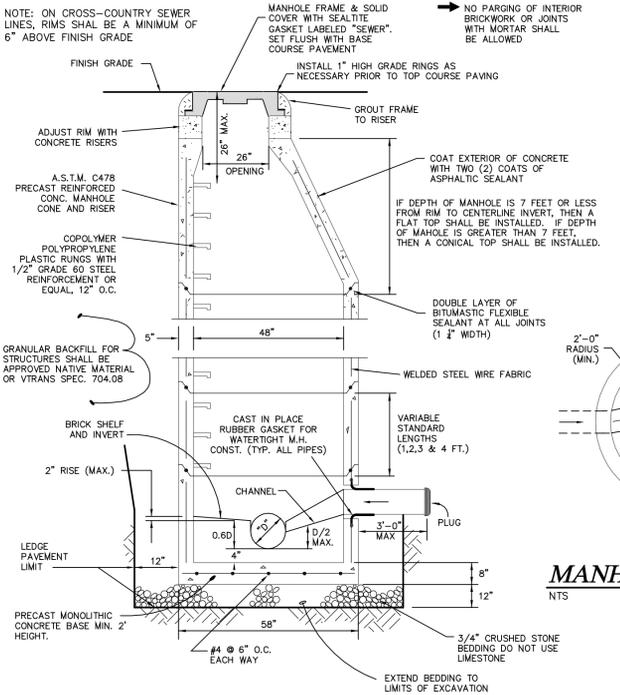
SANITARY & STORM SPECIFICATIONS

- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3212, AND ASTM F-477. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-190 FOR ACCOMP PIPE AND AASHTO M-246 TYPE B FOR POLYMERIC COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M294-90, TYPE S (SMOOTH LINED).
- 2) ALL NEW GRAVITY SANITARY SEWER MAINS SHALL BE LEAK TESTED BY A LOW PRESSURE AIR TEST AND DEFLECTION TESTED. THE LOW PRESSURE AIR TEST WILL BE USED TO SIMULATE INFILTRATION OR EXFILTRATION INTO OR OUT OF ALL GRAVITY SANITARY SEWERS. ALL TESTING WILL BE CONDUCTED UNDER THE SUPERVISION OF THE ENGINEER. AIR TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C828-90. THE MINIMUM ALLOWED TIME FOR A PRESSURE DROP FROM 3.5 PSI TO 2.5 PSI SHALL BE 1.2 MINUTES PER 100 FEET OF 8" SEWER. AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS, THE DEFLECTION TEST MAY BE PERFORMED. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT (5%). IF THE DEFLECTION TEST IS RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 85% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES. ALL MANHOLE AND PIPELINE MATERIALS, METHODS AND TESTING SHALL BE IN ACCORDANCE WITH TOWN AND STATE STANDARDS AND THESE PLANS.
- 3) ALL SANITARY SEWER MANHOLES SHALL BE TESTED PRIOR TO CONSTRUCTION OF THE INVERT BY THE VACUUM TEST METHOD DESCRIBED IN THE TECHNICAL SPECIFICATIONS. FOR MANHOLES UP TO 10' DEEP THE MINIMUM ALLOWED TIME FOR A VACUUM DROP FROM 10" TO 9" OF MERCURY SHALL BE 2 MINUTES. FOR MANHOLES 10'-15' DEEP THE MINIMUM ALLOWED TIME SHALL BE 2 MINUTES AND 30 SECONDS.



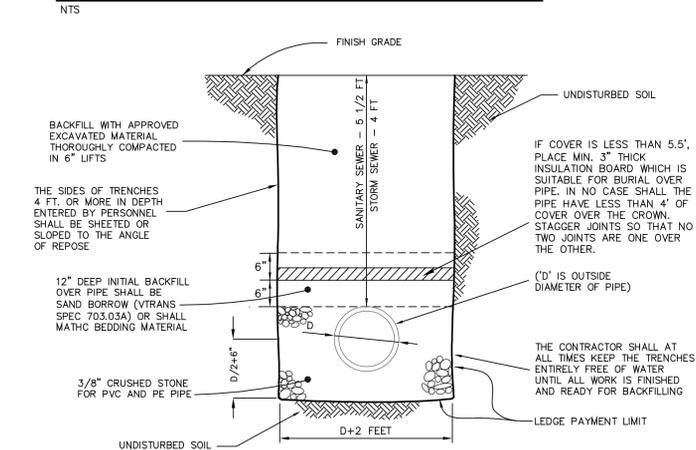
CLEANOUT DETAIL (STORM & GRAVITY SEWER)

NOTE: ON CROSS-COUNTRY SEWER LINES, RIMS SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE

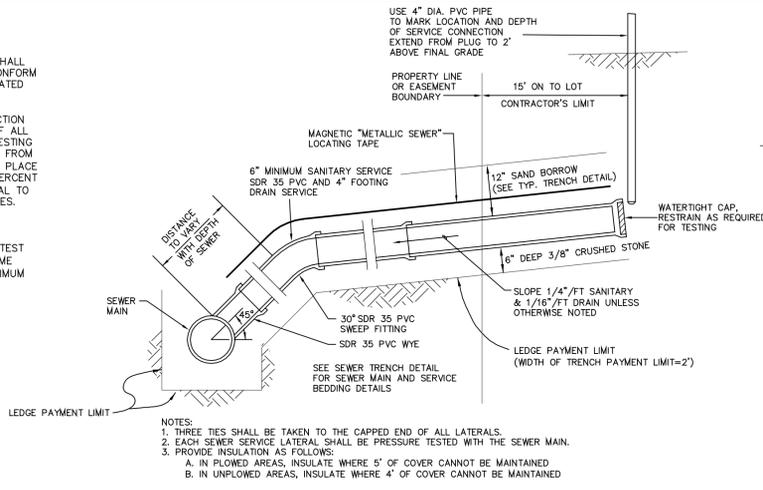


MANHOLE CHANNEL

TYPICAL PRECAST SANITARY MANHOLE

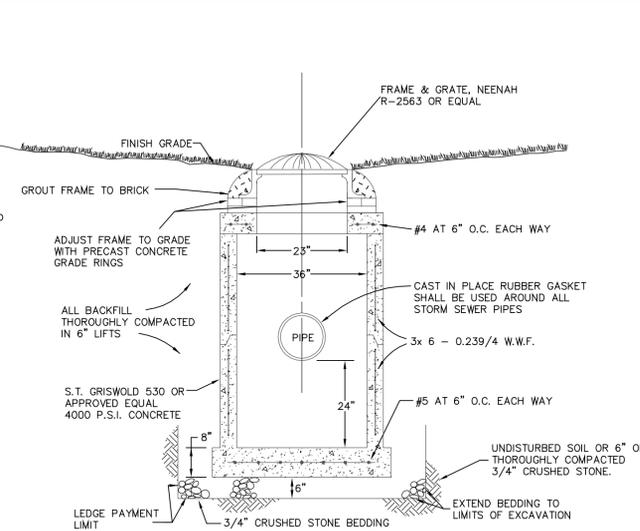


TYPICAL SANITARY SEWER & STORM TRENCH



SANITARY SEWER OR FOOTING DRAIN SERVICE CONNECTION

- NOTES:
1. THREE TIES SHALL BE TAKEN TO THE CAPPED END OF ALL LATERALS.
 2. EACH SEWER SERVICE LATERAL SHALL BE PRESSURE TESTED WITH THE SEWER MAIN.
 3. PROVIDE INSULATION AS FOLLOWS:
 - A. IN FLOWED AREAS, INSULATE WHERE 5" OF COVER CANNOT BE MAINTAINED
 - B. IN UNFLOWED AREAS, INSULATE WHERE 4" OF COVER CANNOT BE MAINTAINED

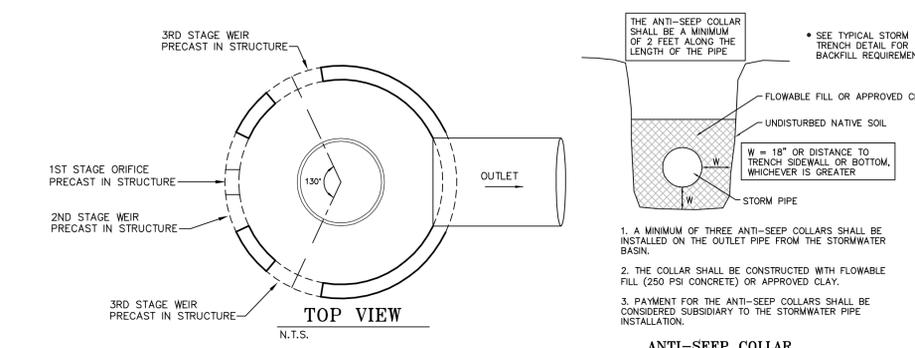


YARD INLET

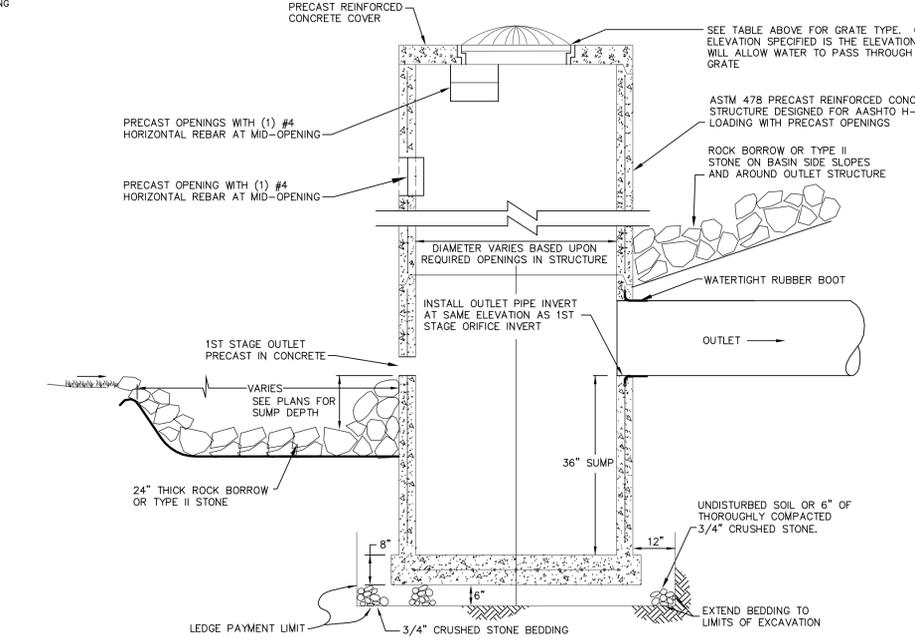
BASIN OUTLET STRUCTURE ELEVATIONS

OUTLET STRUCTURE	1ST STAGE ORIFICE	2ND STAGE ORIFICE	3RD STAGE WEIR(S)	OVERFLOW WEIR(S)	TOP / GRATE	TYPE GRATE
BASIN #1	SEE PLANS FOR BUILDINGS A1-A3					
BASIN #2	2" ORIFICE=380.00	5" ORIFICE=380.50	12" X 36" WEIR = 382.00	N / A	GRATE=383.66	NEENAH R-2560-G
BASIN #3	4.5" ORIFICE=374.00	4.5" ORIFICE=375.75	16" X 36" WEIR = 378.00	(2) 12" X 24" WEIRS=379.25	TOP=381.25	2" X 2" OPENING W/ RACK
BASIN #4	1" ORIFICE=373.00	2" ORIFICE=373.30	6" X 24" WEIR = 374.50	N / A	GRATE=376.25	LEBARON LF 248
BASIN #5	2.8" ORIFICE=375.00	-	(2) 12" W X 24" H = 378.00	N / A	GRATE=379.67	LEBARON LF 248

- WEIR DIMENSIONS ARE WIDTH X HEIGHT
- ALL ELEVATIONS ARE FOR THE INVERT OF THE ORIFICE AND BOTTOM OF WEIR
- RACKS SHALL BE HDPE STRUCTURAL PLASTIC AS MANUFACTURED BY PLASTIC SOLUTIONS, INC. OR APPROVED EQUAL.
- RACK SHALL BE BOLTED TO TOP OF STRUCTURE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

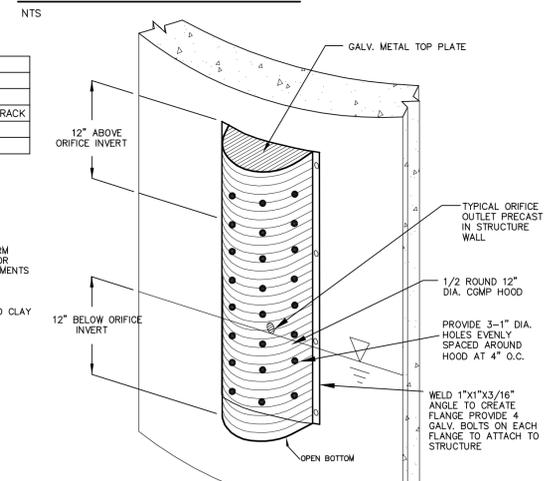


ANTI-SEEP COLLAR



BASIN OUTLET STRUCTURE

PRECAST CATCH BASIN



BASIN OUTLET STRUCTURE ORIFICE HOOD DETAIL

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01 AB18, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE _____

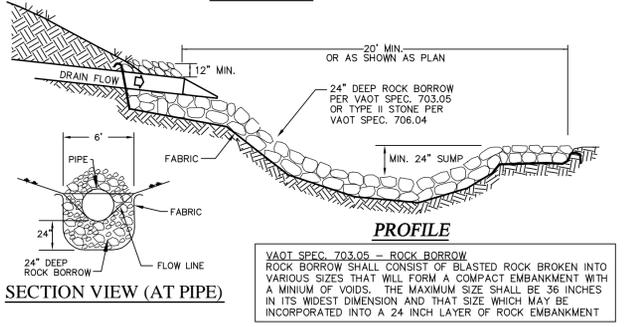
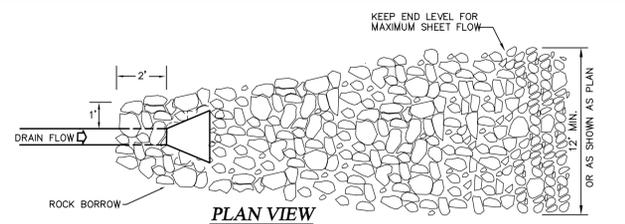
DATE	REVISIONS	BY
10-27-16	REVISE BASIN OUTLET STRUCTURE ELEVATIONS (1 & 2)	ABR
08-06-14	REVISED BASIN #4 OUTLET STRUCTURE ORIFICE ELEV.	CED
01-27-12	REV PER DPW - DROP MANHOLE STRAPS & STEPS	ABR
11-07-11	REVISE OUTLET STRUCTURE DETAIL FOR POND 5	ABR
08-12-11	REVISED PER DPW SPECIFICATIONS	ABR
05-16-07	REVISED PER TOWN AND STATE REVIEWS	DJG/JT
1-22-07	REVISIONS FOR STORMWATER PERMITTING	ABR

REVISIONS	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT <input type="checkbox"/> PRELIMINARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> RECORD DRAWING	

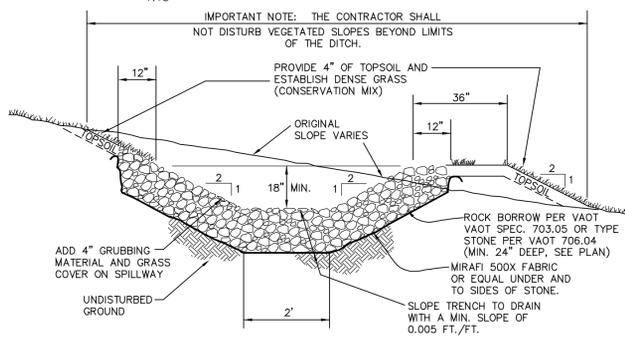
FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
SEWER & STORM

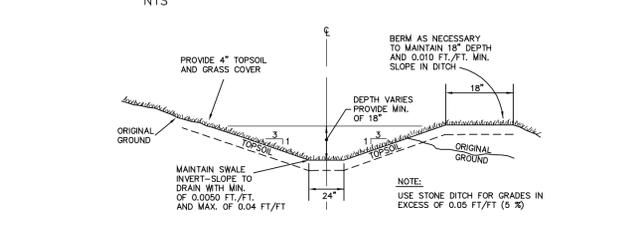
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checked DJG/ABR
date 11/30/05
scale AS SHOWN
sht. no. 17



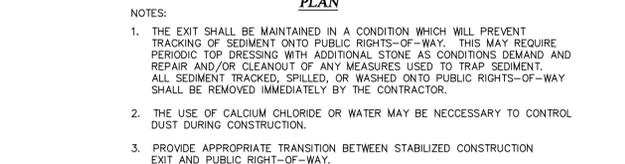
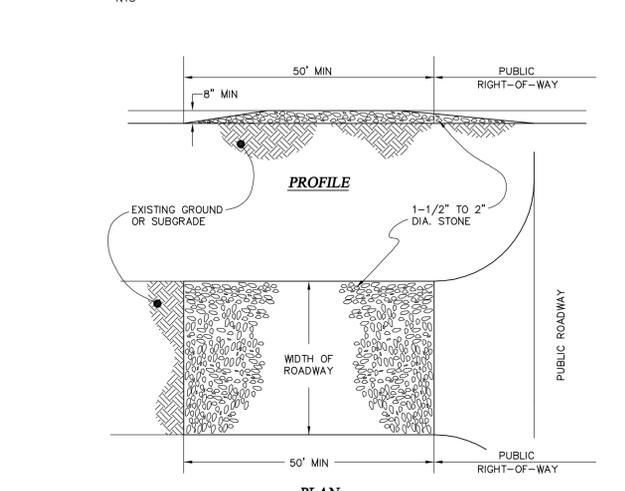
SECTION VIEW (AT PIPE)



TYPICAL STONE DITCH DETAIL



TYPICAL SPECIAL DRAINAGE SWALE



STABILIZED CONSTRUCTION EXIT

TURF ESTABLISHMENT SPECIFICATIONS

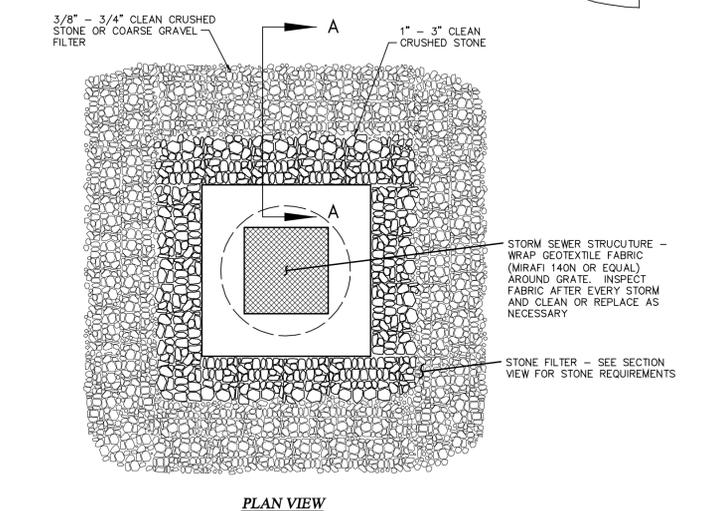
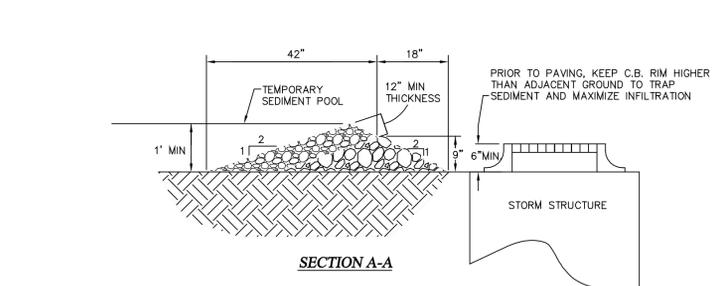
- ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETE PRIOR TO SEPTEMBER 15. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - A MINIMUM OF 4" OF APPROVED TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
 - URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS AT THE SPECIFIED RATE.
 - FERTILIZER SHALL BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL pH TEST.
 - MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKIFIER TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKIFIER WITHOUT ADDITIONAL COST TO THE OWNER.
 - ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 5% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTINGS APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO BIODEGRADABLE JUTE FIBER NETTINGS, NORTH AMERICAN GREEN S150BN OR EQUAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEED, MULCH, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

CONSERVATION MIX GRASS SEED			URBAN MIX GRASS SEED		
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED	% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED
35	35	CREeping RED FESCUE	31.5	45	CREeping RED FESCUE
23	23	KENTUCKY BLUEGRASS	37.25	37.5	KENTUCKY BLUEGRASS
15	15	ANNUAL RYE	31.25	37.5	WINTER HARDY, PERENNIAL RYE
11	11	WINTER HARDY, PERENNIAL RYE (VARIETY PENNINE, MANHATTAN OR SIMILAR VARIETY)	100	120 #	LIVE SEED PER ACRE
6	6	WHITE CLOVER			
10	10	HIGHLAND BENTGRASS			
100	100#	LIVE SEED / ACRE			

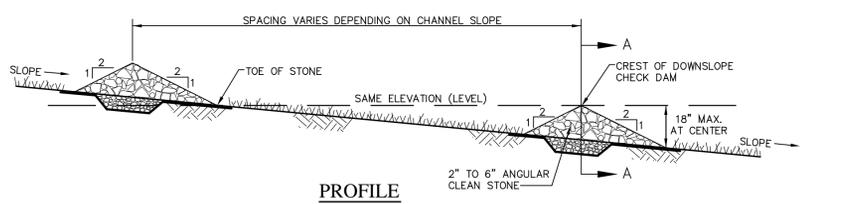
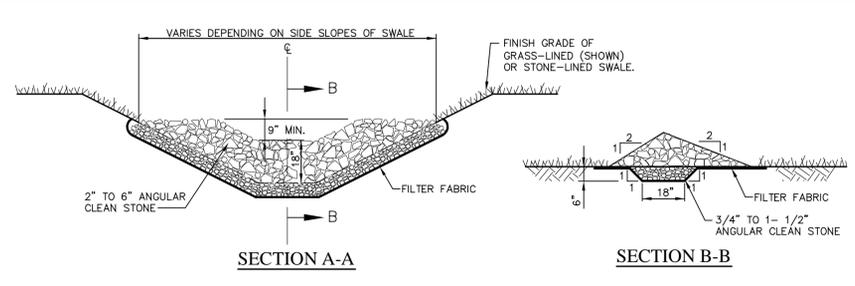
CONSERVATION SEED MIX SHALL BE USED IN ALL OPEN SPACE AREAS

STUMP DISPOSAL SPECIFICATIONS

- THE TREES THAT MUST BE CUT WILL BE USED AS FIREWOOD. THE STUMPS, BRUSH, AND EXCESS UNSUITABLE EARTH WILL BE DISPOSED OF AT THE LOCATION DESIGNATED BY THE ENGINEER AS A STUMP DISPOSAL AREA WELL ABOVE THE SEASONAL HIGH WATER OR HAULED OFF-SITE TO A STATE-APPROVED LANDFILL. IF ON-SITE STUMP DISPOSAL IS IMPLEMENTED, THE FOLLOWING GUIDELINES SHALL BE MET:
 - WHENEVER POSSIBLE, STUMP DISPOSAL SITES SHOULD BE LOCATED ON NEARLY LEVEL TO MODERATELY SLOPING LANDS (SLOPES LESS THAN 12%).
 - DISPOSAL SITES WILL NOT BE LOCATED IN OR WITHIN 100 FEET OF FLOWING WATERCOURSES OR STREAMS OR IN ACTIVELY ERODING GULLIES.
 - DISPOSAL SITES SHALL NOT BE LOCATED IN FLOODED OR FLOOD-PRONE LANDS, MARSHES, OR OTHER AQUIFER RECHARGE AREAS.
 - STUMPS WILL BE PLACED ON THE SITE IN A SINGLE LIFT PRIOR TO BACKFILLING. WHEN ADDITIONAL STUMPS ARE TO BE DEPOSITED ON THE SAME SITE, EACH SUCCESSIVE LAYER OR LIFT OF STUMPS WILL BE BACKFILLED.
 - A MINIMUM OF TWO FEET (2') OF OVERBURDEN WILL BE PLACED OVER ALL DISPOSAL SITES.

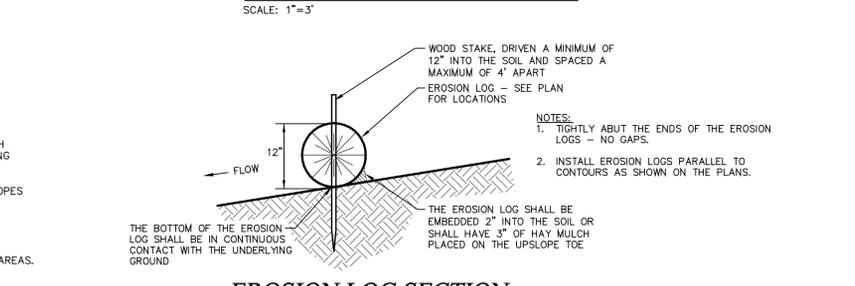


CATCH BASIN INLET PROTECTION

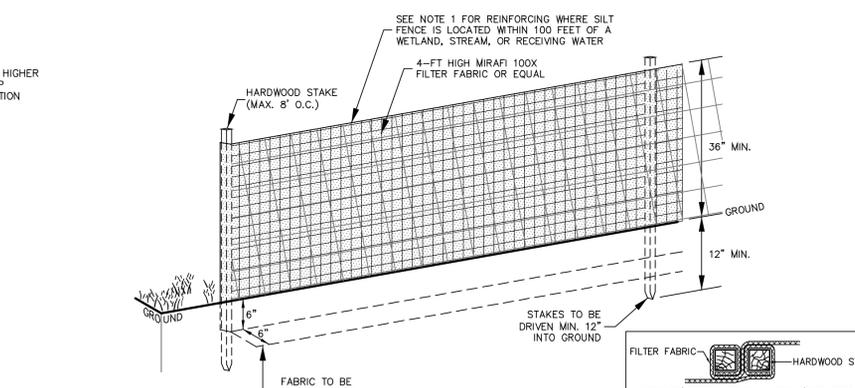


- NOTES:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
 - THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING CLOGGING / SILTATION OF THE STONE CHECK DAM DURING AND IMMEDIATELY AFTER CONSTRUCTION, UNTIL THE PROJECT'S PERMANENT EROSION CONTROLS ARE IN PLACE (VEGETATION ESTABLISHED, STREETS PAVED, ETC.) AND THE PROJECT HAS BEEN ACCEPTED BY THE OWNER. IF NECESSARY, STONE SHALL BE CLEANED OR REPLACED.

STONE CHECK DAM DETAIL

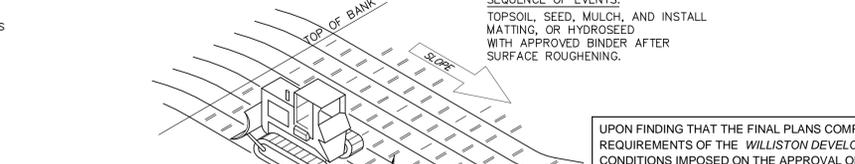


EROSION LOG SECTION

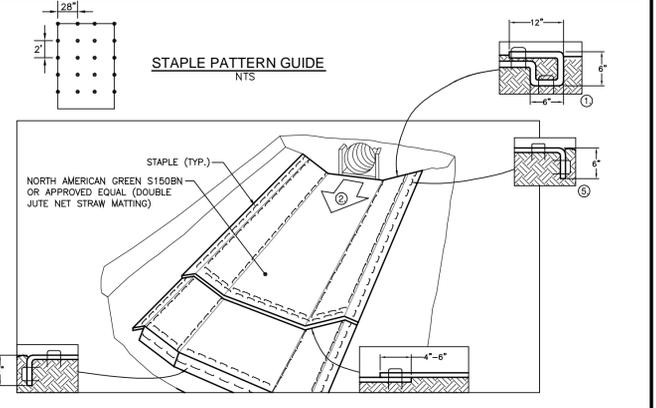


- NOTES:**
- SILT FENCE INSTALLED WITHIN 100 FEET OF A WETLAND, STREAM, OR RECEIVING WATER SHALL BE REINFORCED WITH WOVEN WIRE FENCE (MIN. 14 GAUGE WIRE WITH 6" MAX. MESH SPACINGS)
 - USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
 - PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
 - FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE BOTTOM OF THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
 - THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.

TEMPORARY SILT FENCE

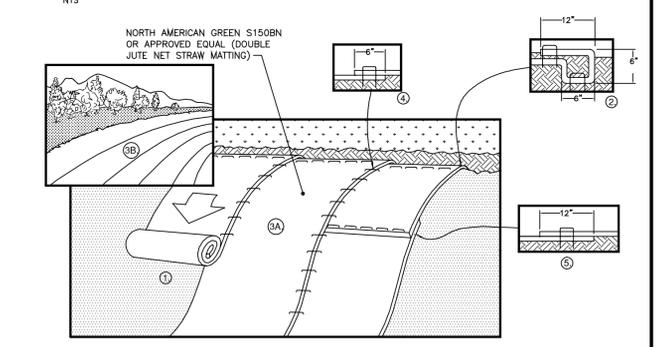


SLOPE GRADING



- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. FOLD REMAINING 12" PORTION OF BLANKET BACK OVER COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN ABOVE IN THE STAPLE PATTERN GUIDE.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS ALONG SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

EROSION MATTING FOR CHANNELS



- EROSION MATTING WILL BE USED ON SLOPES STEEPER THAN 3H:1V OR AS SHOWN ON THE PLANS.
- PREPARE SOIL BEFORE INSTALLING MATTING, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. SOIL SURFACE SHALL BE GRADED SMOOTH WITHOUT ROOTS, STONES OR OTHER PROTRUSIONS THAT WILL PREVENT THE MATTING FROM BEING APPLIED IN FULL CONTACT WITH THE SOIL SURFACE.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MATTING IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF MATTING EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MATTING WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF MATTING BACK OVER SEED AND COMPACTED SOIL. SECURE MATTING OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" PART ACROSS THE WIDTH OF THE MATTING.
- ROLL THE MATTING (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. INSURE THAT THE APPROPRIATE SIDE OF THE MATTING IS AGAINST THE SOIL SURFACE. ALL MATTING MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE MANUFACTURER'S STAPLE PATTERN GUIDE FOR THE PARTICULAR PRODUCT AND APPLICATION. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE MATTING.
- THE EDGES OF PARALLEL MATTING MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP DEPENDING ON MATTING TYPE.
- CONSECUTIVE MATTING SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE - WITH THE UPPER MATTING PLACED OVER THE TOP OF THE LOWER MATTING) WITH AN APPROXIMATE 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE MATTING WIDTH.

EROSION MATTING FOR SLOPES

DATE	DESCRIPTION	BY
10-27-16	DEL. TEMP STONE SPREADER, ADD EROSION LOG DETAIL	ABR
01-06-14	REPLACE FIBER FILTER WITH STONE CB INLET PROTECTION	ABR
10-30-12	ADD FIBER FILTER CB INLET PROTECTION	ABR
02-14-12	ADD REINF. TO SILT FENCE/REV. RECP BIODEGRAD. SPEC.	ABR

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
EROSION PREVENTION & SEDIMENT CONTROL

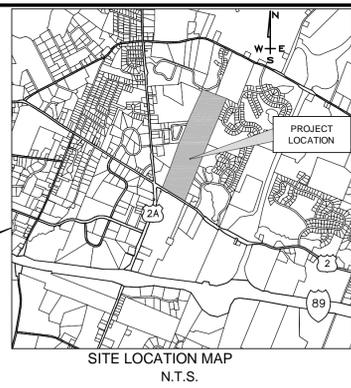
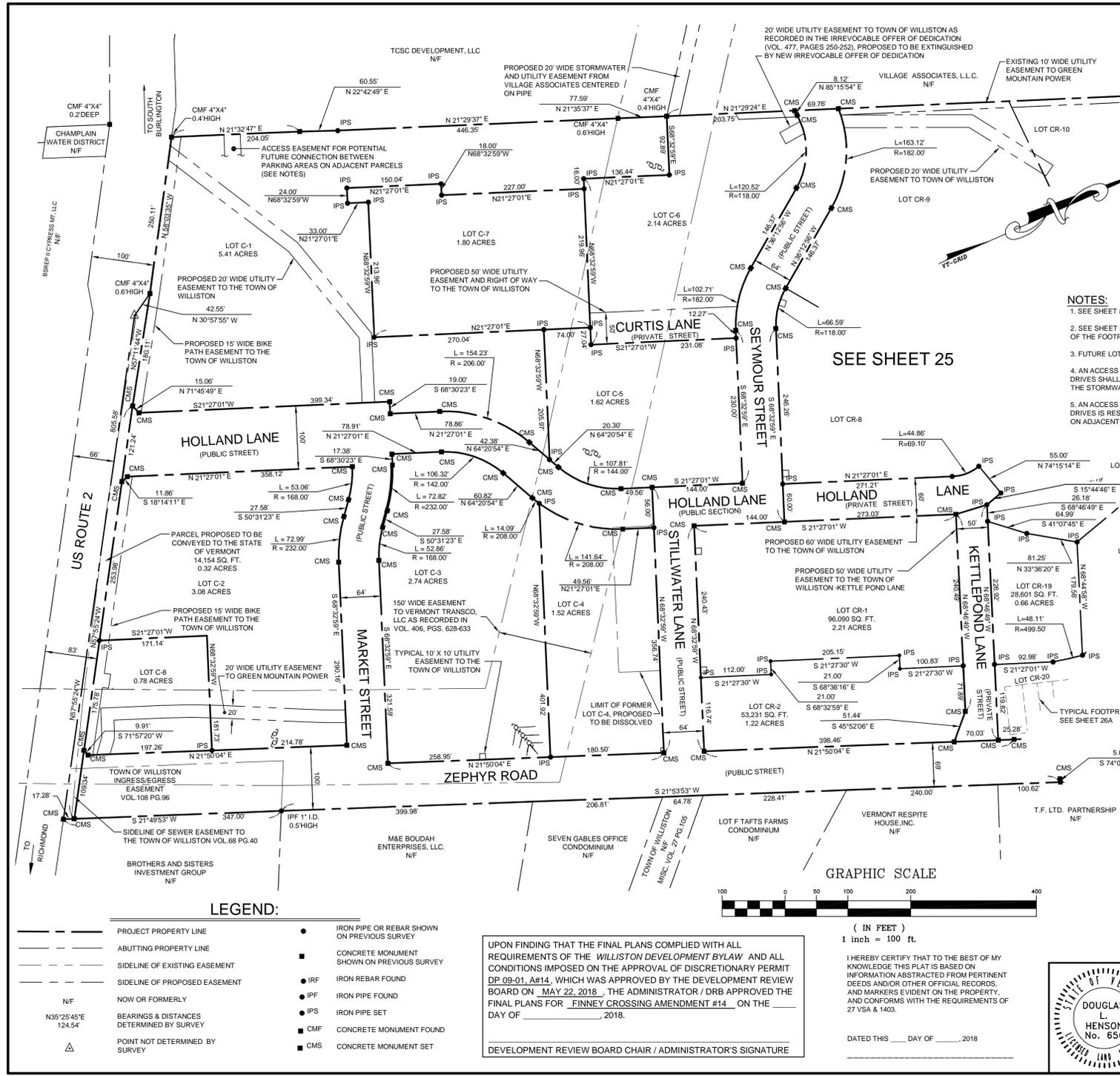
LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale AS SHOWN
sh. no. 18

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08-104-010, 08-143-002,004, & 010

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, #14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



- NOTES:**
- SEE SHEET # 23, "OVERALL PERIMETER PROPERTY PLAT" FOR SURVEY NOTES.
 - SEE SHEET 26A FOR FOOTPRINT LOT DATA. THE AREA OF LOT CR-2 EXCLUDES THE AREA OF THE FOOTPRINT LOTS.
 - FUTURE LOT LINES AND AREAS ARE SUBJECT TO CHANGE.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND/OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREETS TO THE STORMWATER BASINS.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND/OR DRIVES IS RESERVED FOR THE POTENTIAL FUTURE CONNECTION BETWEEN PARKING AREAS ON ADJACENT PARCELS NEAR THE SOUTHWEST CORNER OF THE PROJECT PARCEL.

TOWN CLERK'S OFFICE
 TOWN OF WILLISTON, VT., _____, 2018
 RECEIVED FOR RECORD AT _____ O'CLOCK _____ M.,
 AND RECORDED IN SLIDE # _____
 ATTEST _____ TOWN CLERK

date	description	by
04-06-18	ADD LOT C-8, REVISE LOT C-2	ABR
09-15-17	REVISE LOTS C-1-8 & CREATED LOT C-7 PER NEW LAYOUT	DLH
12-22-16	REVISE LOT C-6 PER PARKING LOT EDITS PER DRB REVIEW	NDS
10-10-16	RECONFIGURE LOTS C-3 AND C-4, CREATE LOTS C-5 & C-6	DLH
6-25-15	REVISE LOT CR-2 & DEL R1, R2, R3 FOOTPRINT LOTS	ABR
3-28-14	REVISE LOT CR-2 AND FOOTPRINT LOTS	DLH
6-27-07	REVISE LOTS C-1 & C-2	JT
3-16-07	REVISE PER STAFF REVIEW	ABR
1-12-07	GENERAL REVISIONS	DLH

REVISIONS	# OF SHEETS
<input type="checkbox"/> THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW: <input type="checkbox"/> SKETCH/CONCEPT <input type="checkbox"/> PRELIMINARY <input type="checkbox"/> FINAL <input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
 5987 WILLISTON ROAD, VERMONT 05495

SUBDIVISION PLAT (SOUTH)

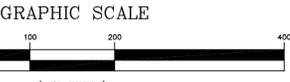
LAMOUREUX & DICKINSON
 Consulting Engineers Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450
Engineers-Planners-Surveyors

DATE: 11-30-05
 SCALE: 1" = 100'
 SHEET NO.: 24
 OF 4

- LEGEND:**
- PROJECT PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - SIDELINE OF EXISTING EASEMENT
 - SIDELINE OF PROPOSED EASEMENT
 - NF NOW OR FORMERLY
 - N35°25'45"E 124.54 BEARINGS & DISTANCES DETERMINED BY SURVEY
 - △ POINT NOT DETERMINED BY SURVEY
 - IRON PIPE OR REBAR SHOWN ON PREVIOUS SURVEY
 - CONCRETE MONUMENT SHOWN ON PREVIOUS SURVEY
 - IRF IRON REBAR FOUND
 - IPF IRON PIPE FOUND
 - IPS IRON PIPE SET
 - CMF CONCRETE MONUMENT FOUND
 - CMS CONCRETE MONUMENT SET

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, #14, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 22, 2018, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #14 ON THE DAY OF _____, 2018.

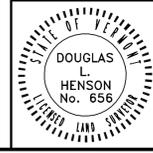
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

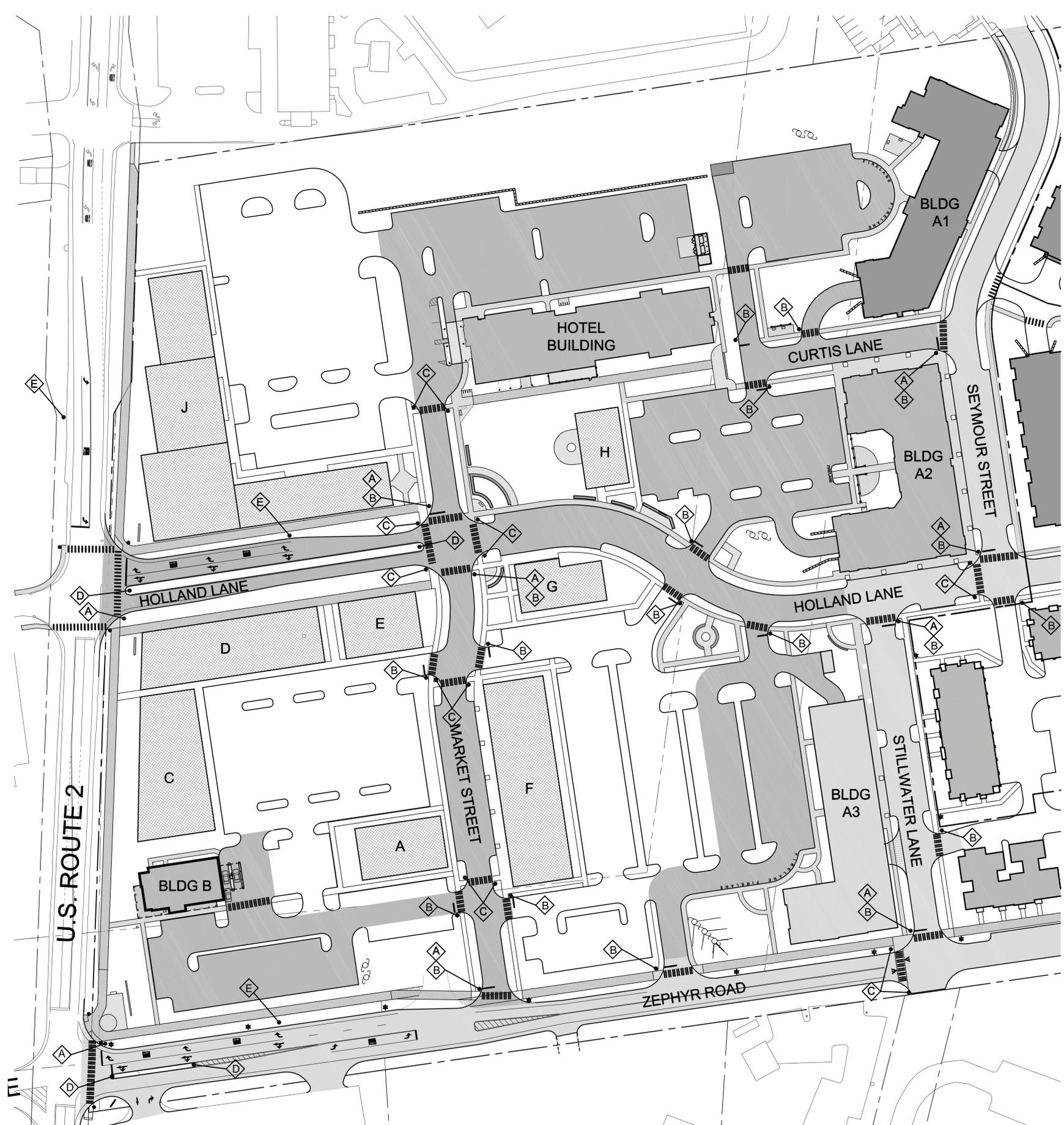


(IN FEET)
 1 inch = 100 ft.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAT IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 V.S.A. & 1403.

DATED THIS _____ DAY OF _____, 2018





- LEGEND**
- STREET SIGN
 - STOP SIGN (R1-1)
 - PEDESTRIAN CROSSING (W11-2 & W16-7P)
 - KEEP RIGHT & OBJECT MARKER SIGNS (R4-7 & OM1-1)
 - LANE ASSIGNMENT SIGN (VR-922)

- R1-1
30" X 30"
- 30" X 30"
W11-2
- 12" X 24"
W16-7P
- R4-7
24" X 30"
- OM1-1
18" X 18"
- VR-922
36" X 30"
HOLLAND LANE & ZEPHYR RD
- VR-922
36" X 30"
WILLISTON ROAD

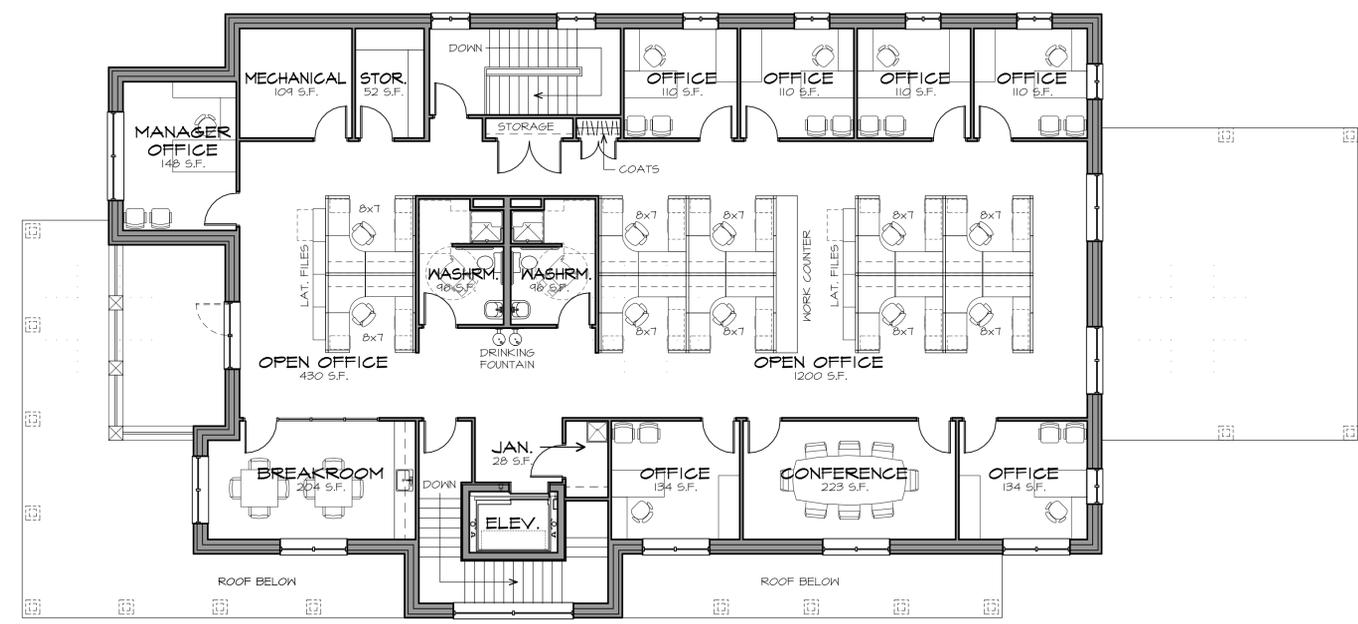
- GENERAL NOTES:**
- ALL SIGNS SHALL BE INSTALLED ON 2" SQUARE STEEL POSTS WITH ANCHORS.
 - ALL SIGNS SHALL BE INSTALLED WITH MINIMUM 7 FEET CLEARANCE BETWEEN THE BOTTOM OF THE SIGN AND FINISH GRADE.
 - STREET SIGNS SHALL BE OBTAINED FROM THE TOWN OF WILLISTON PUBLIC WORKS DEPARTMENT (AT THE CONTRACTOR'S COST). STREET SIGN DIMENSIONS MAY WARRANT MORE THAN ONE POST FOR ADEQUATE SUPPORT.
 - SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH VTRANS STANDARD DETAIL DRAWING T-45.

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
<p>FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT</p>		proj. no. 01-087 survey L&D design DJG/ABR drawn L&D checked DJG/ABR date 04-06-18 scale
<p>COMMERCIAL AREA TRAFFIC SIGN PLAN</p>		AS SHOWN sh. no. S1

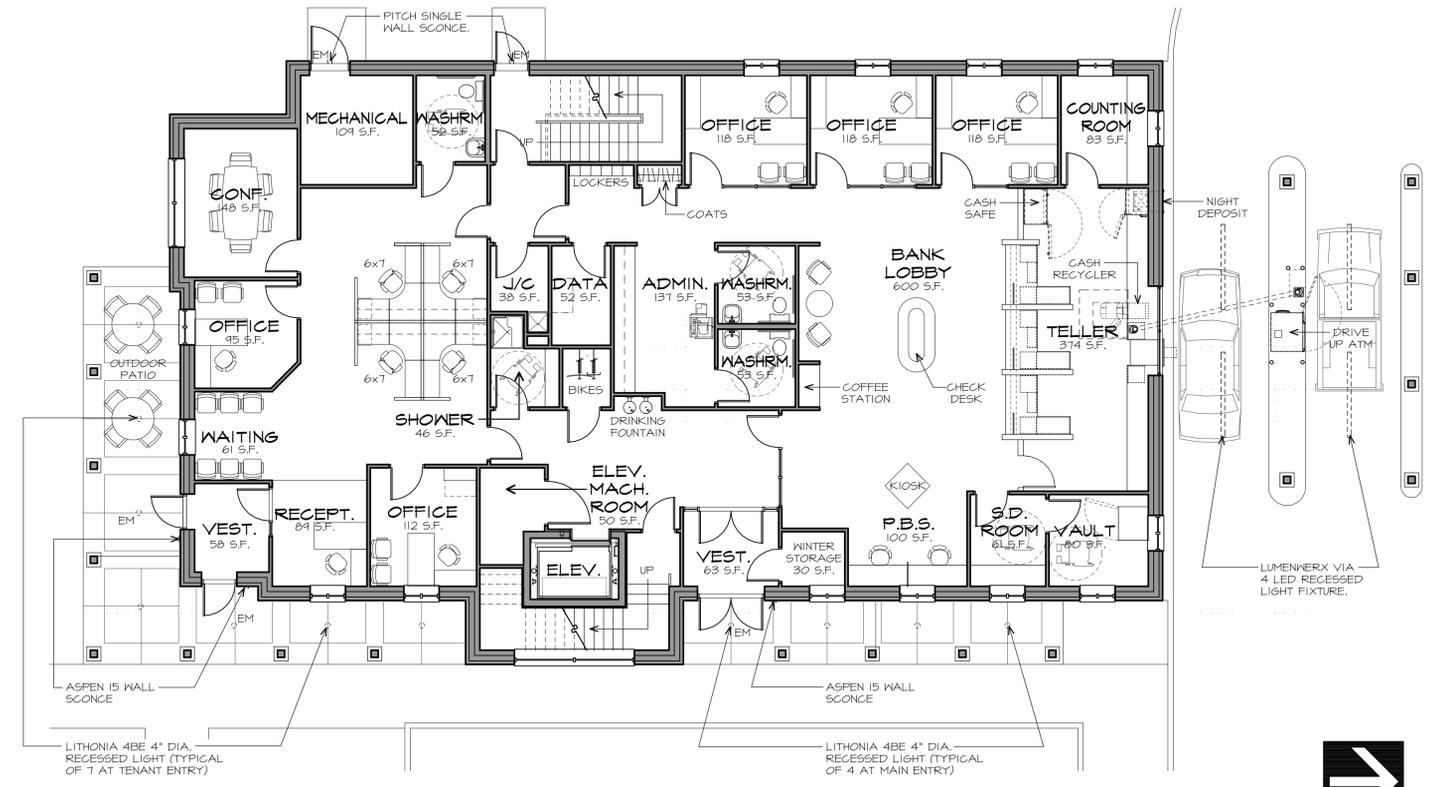
WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08-143-010

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

UNION BANK - PROPOSED BRANCH
at FINNEY CROSSING
WILLISTON ROAD - WILLISTON, VERMONT



2 SECOND FLOOR PLAN
1/8" = 1'-0"



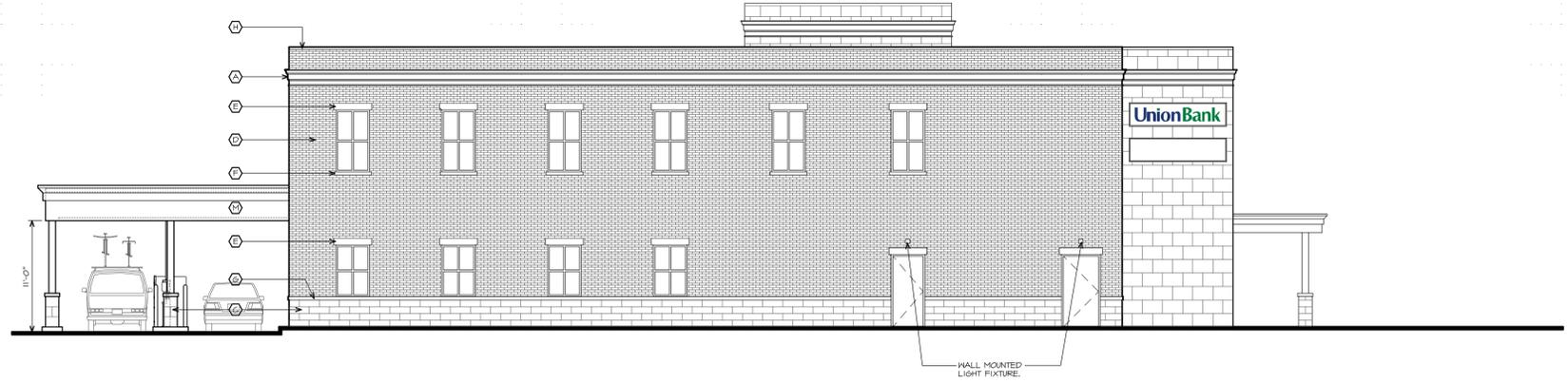
1 FIRST FLOOR PLAN
1/8" = 1'-0"



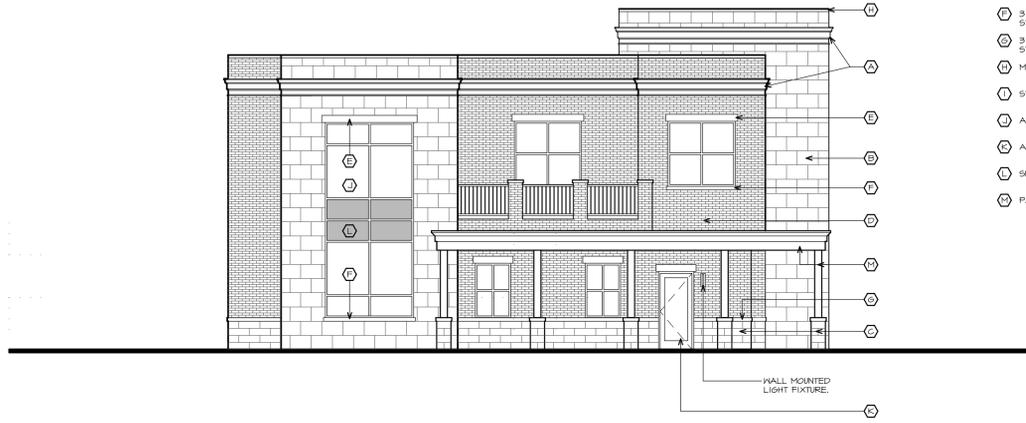
UNION BANK - PROPOSED BRANCH
at FINNEY CROSSING
WILLISTON ROAD - WILLISTON, VERMONT



1 NORTH ELEVATION
SKI 1/8" = 1'-0"



2 WEST ELEVATION
SKI 1/8" = 1'-0"



3 SOUTH ELEVATION
SKI 1/8" = 1'-0"

- MATERIAL LEGEND:**
- ⊕ 20" HIGH SHOULDICE ARCHITECTURAL STONE CORNICE WITH TAPESTRY FINISH.
 - ⊕ 16x24 SHOULDICE ARCHITECTURAL STONE VENEER WITH TAPESTRY FINISH.
 - ⊕ 8x24 SHOULDICE ARCHITECTURAL STONE VENEER WITH TAPESTRY FINISH.
 - ⊕ BRICK VENEER
 - ⊕ 8" HIGH SHOULDICE ARCHITECTURAL STONE HEADER WITH TAPESTRY FINISH.
 - ⊕ 3 1/2" HIGH SHOULDICE ARCHITECTURAL STONE SILL WITH TAPESTRY FINISH.
 - ⊕ 3 1/2" HIGH SHOULDICE ARCHITECTURAL STONE WATERTABLE WITH TAPESTRY FINISH.
 - ⊕ METAL COPING
 - ⊕ STEEL RAIL
 - ⊕ ALUMINUM FRAMED GLASS
 - ⊕ ALUMINUM 4 GLASS DOORS.
 - ⊕ SPANDREL GLASS
 - ⊕ PAINTED WOOD OR PVC TRIMS.



4 EAST ELEVATION
SKI 1/8" = 1'-0"



Union Bank



Union Bank



Union Bank



Union Bank