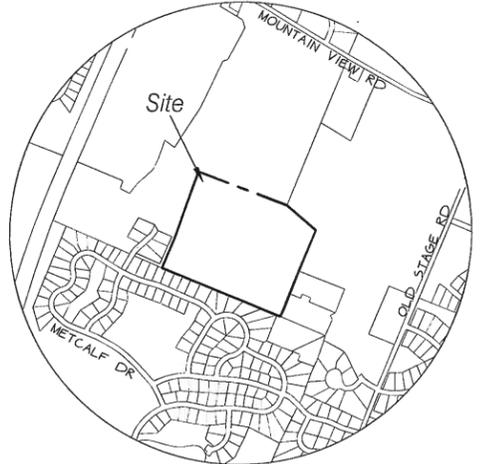


# Zoning Information

PARCEL INFO: NORTHRIDGE DEVELOPMENT (44.62 ACRES)  
 SPAN: 759-241-13036 AND 759-241-14119  
 PARCEL #: 09-02-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (R2D)  
 PROPOSED:  
 8 SINGLE FAMILY HOME LOTS  
 13 MULTI/CONDOMINIUM UNITS



Location Map  
Scale 1" = 1000'

## Legend

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
  - EXISTING WATERLINE
  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
- ( NOTE : PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

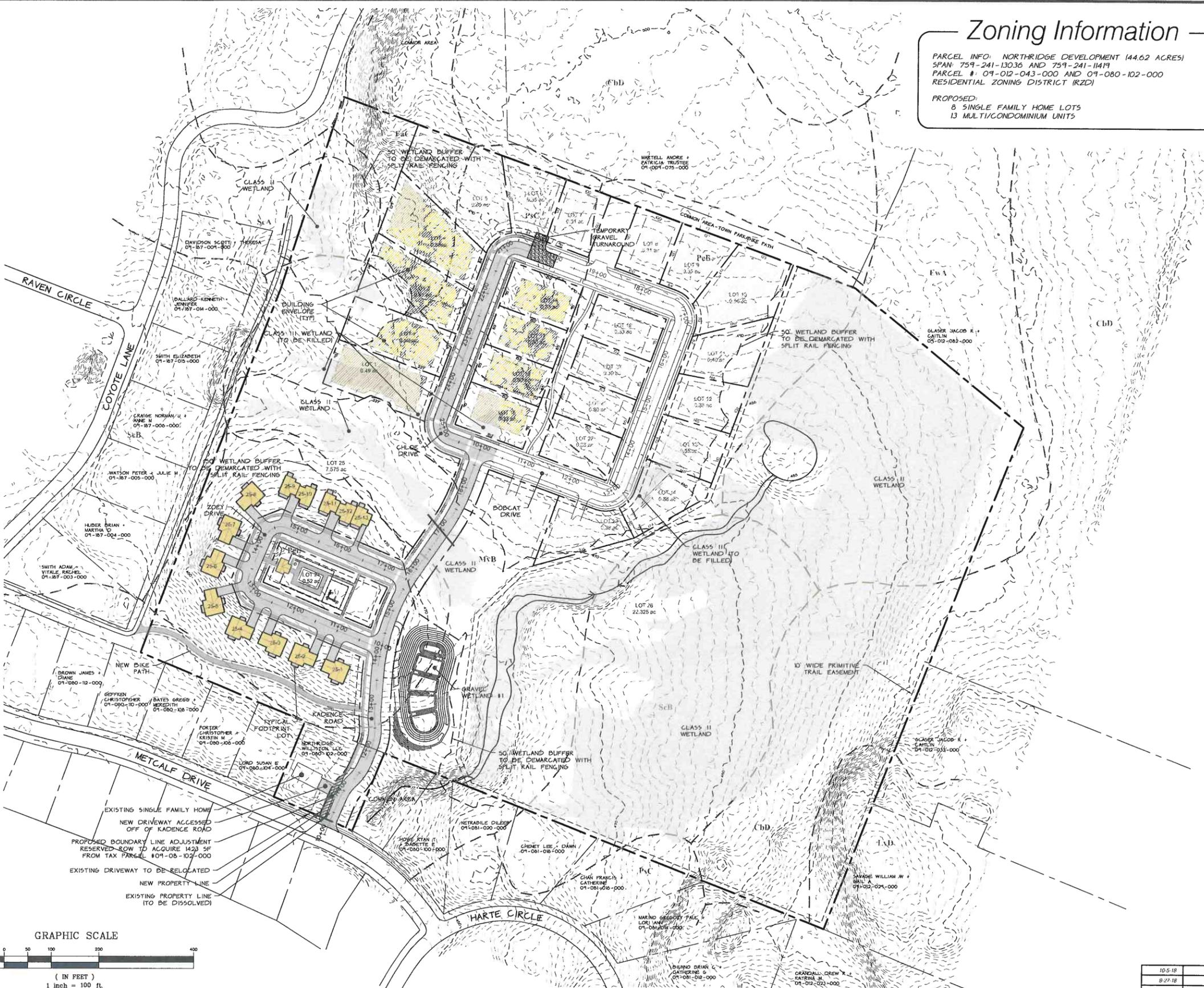
## Index of Sheets

- SHEET 1 OVERALL SITE PLAN
- SHEET 2 ORTHO PLAN
- SHEET 3 INDEX SITE PLAN
- SHEET 4 SITE PLAN A
- SHEET 5 SITE PLAN B
- SHEET 6 KADENCE ROAD PROFILE
- SHEET 7 ZOEVY DRIVE PROFILE
- SHEET 8 BOBCAT DRIVE PROFILE
- SHEET 9 CHLOE DRIVE PROFILE
- SHEET 10 ROADWAY + SIDEWALK DETAILS
- SHEET 11 WATER + SEWER SYSTEM DETAILS
- SHEET 12 STORMWATER MANAGEMENT DETAILS
- SHEET 13 STORMWATER MANAGEMENT DETAILS
- SHEET 14 ROAD SIGN + LIGHTING PLAN
- SHEET 15 SPECIFICATIONS
- SHEET 16 EROSION CONTROL - PRE CONSTRUCTION
- SHEET 17 EROSION CONTROL - DRAINAGE MAP
- SHEET 18 EROSION CONTROL - PHASE 1 CONSTRUCTION
- SHEET 19 EROSION CONTROL - PHASE 2 CONSTRUCTION
- SHEET 19A EROSION CONTROL - STABILIZATION PLAN
- SHEET 19B EROSION CONTROL - DETAILS
- SHEET 19C EROSION CONTROL - DETAILS
- SHEET 20 CONSTRAINTS ANALYSIS
- SHEET 21 ACCESS PLAN
- SHEET 22 PRE-DEVELOPMENT STORMWATER PLAN
- SHEET 23 POST-DEVELOPMENT STORMWATER PLAN
- SHEET 24 POST-CONSTRUCTION SOILS PLAN
- L-100 LANDSCAPE LAYOUT PLAN
- L-101 LANDSCAPE PLAN - SOUTH
- L-102 LANDSCAPE PLAN - NORTH
- L-103 LANDSCAPE DETAILS
- L-104 LANDSCAPE BUFFER LAYOUT PLAN
- L-105 LANDSCAPE BUFFER DETAILS
- L-106 LANDSCAPE BUFFER DETAILS
- L-200 LANDSCAPE DETAILS
- PL1 BOUNDARY LINE ADJUSTMENT
- PL2 SUBDIVISION PLAT (1 OF 2)
- PL3 SUBDIVISION PLAT (2 OF 2)

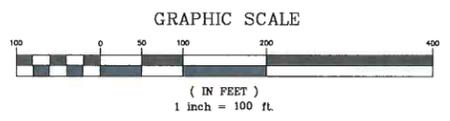
**RECEIVED**  
 NOV 06 2018  
 DP 17-01  
 PLANNING/ZONING

**FINAL PLANS**

DP 17-01



EXISTING SINGLE FAMILY HOME  
 NEW DRIVEWAY ACCESSED OFF OF KADENCE ROAD  
 PROPOSED BOUNDARY LINE ADJUSTMENT RESERVED ROW TO ACQUIRE 1423 SF FROM TAX PARCEL #09-08-102-000  
 EXISTING DRIVEWAY TO BE RELOCATED  
 NEW PROPERTY LINE  
 EXISTING PROPERTY LINE (TO BE DISSOLVED)



**Owner**  
 JOHN EVANS  
 155 SPEAR STREET  
 SOUTH BURLINGTON, VT 05403

**Applicant**  
 BLACKROCK CONSTRUCTION, LLC  
 68 RANDALL STREET  
 SOUTH BURLINGTON, VT 05403

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_ the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

*[Signature]*  
 Presiding member / Administrator

FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.

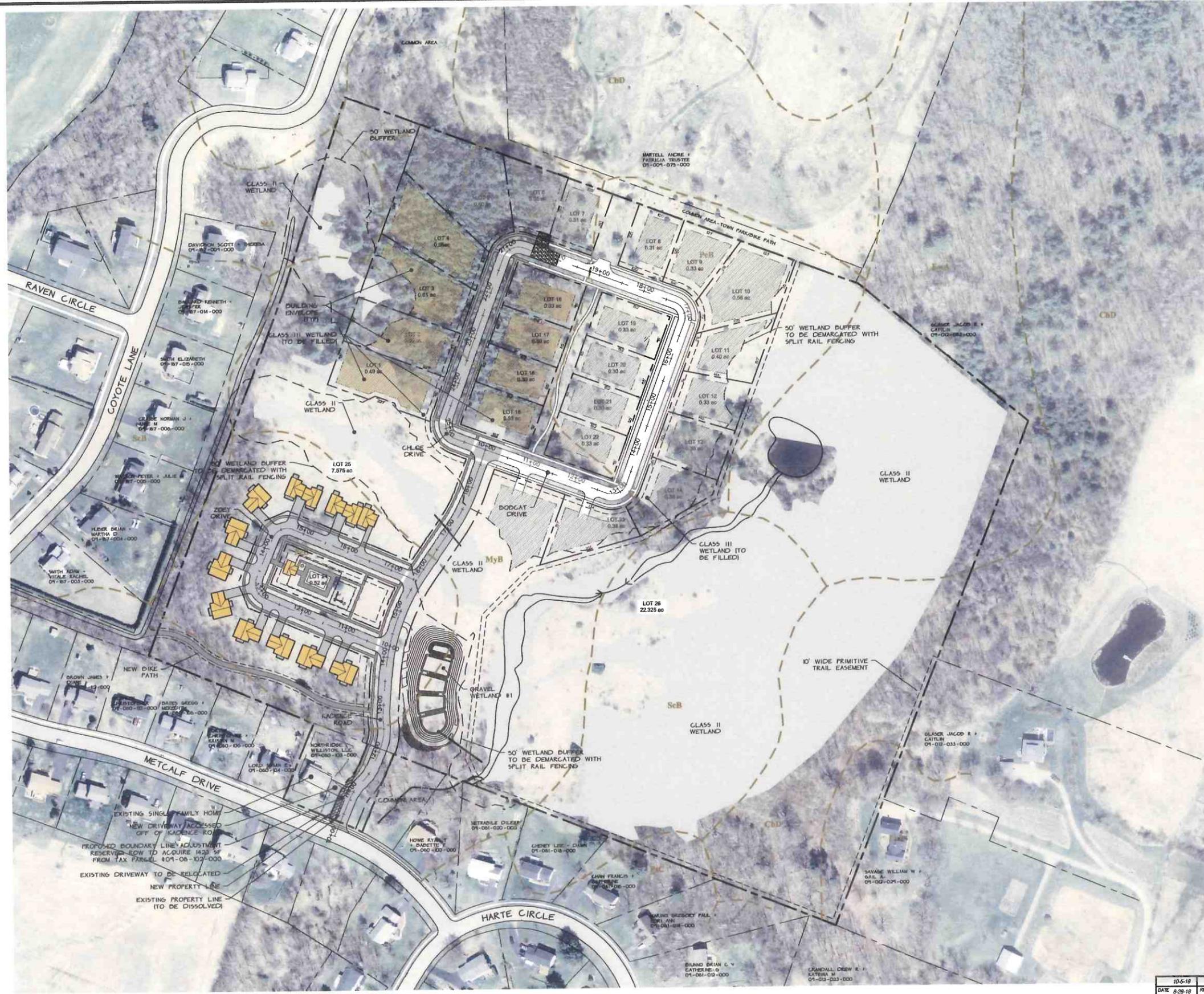


10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE: BLOCK	AJA
8-27-18	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 8-26-18	AJA
9-10-18	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-17-18	AJA
DATE 8-28-18	REVISION REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	BY AJA
SURVEY	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE 8-2-2018
DESIGN	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	DATE 2018-08
DRAWN CRT		DATE 2018-08-01
CHECKED RJD		DATE 2018-08-01
SCALE 1" = 100'		DATE 2018-08-01

**O'LEARY-BURKE CIVIL ASSOCIATES, P.C.**

*Northridge Subdivision*

100-Scale Overall Site Plan



### Legend

	PROJECT BOUNDARY
	PROPOSED PROPERTY LINE
	OTHER PROPERTY LINE
	SETBACK
	SIDELINE OF EASEMENT
	CONTOUR LINE (U.S.G.S. DATUM)
	PROPOSED FINISH GRADE CONTOUR
	EDGE OF WOODED AREA
	EXISTING SEWERLINE
	EXISTING WATERLINE
	EXISTING NATURAL GASLINE
	EXISTING/PROPOSED HYDRANT
	SOIL TYPE + BOUNDARY
	PROPOSED LIGHTS
	RETAINING WALL
	UNDERDRAIN

( NOTE : PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

### Zoning Information

PARCEL INFO: NORTHDRIDGE DEVELOPMENT (44.62 ACRES)  
 SPAN: 759-241-13036 AND 759-241-11419  
 PARCEL #: 09-012-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (RZD)

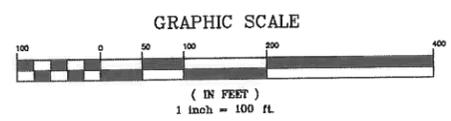
PROPOSED:  
 8 SINGLE FAMILY HOME LOTS  
 13 MULTI/CONDOMINIUM UNITS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the 21 day of NOV, 2018.

*Matt Blang*  
 Presiding member or Administrator's signature

# FINAL PLANS

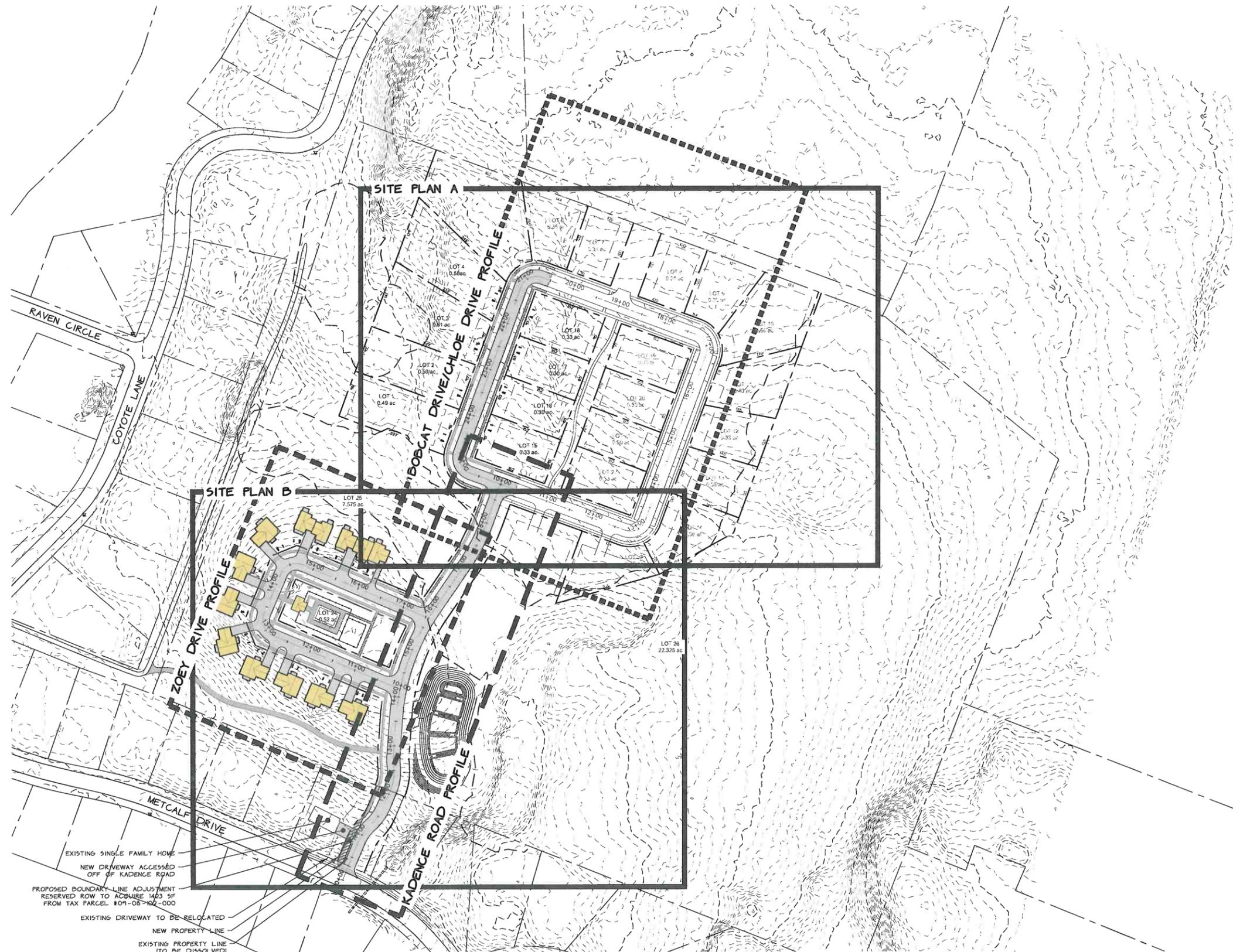
DP 17-01



FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.



10-5-18		FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK		BY	AA
DATE	8-28-18	REVISION	REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	DATE	8-23-2018
SURVEY	ORCA	<input type="checkbox"/> RECORD DRAWING	<input type="checkbox"/> DISCRETIONARY	FILE	2015-88
DESIGN	ORCA	<input checked="" type="checkbox"/> FINAL	<input type="checkbox"/> SKETCH/CONCEPT	PLAN SHEET #	2
DRAWN	GHT	O'LEARY-BURKE CIVIL ASSOCIATES, PLC		Northridge Subdivision	
CHECKED	PLD	13 CORPORATE DRIVE ESSEX, VT 05732 PHONE: 878-8860 FAX: 878-8980 E-MAIL: ocb@olearyburke.com		Williston Vermont	
SCALE	1"=100'	100-Scale Ortho Plan			



### Legend

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
  - EXISTING WATERLINE
  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
- ( NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

### Zoning Information

**PARCEL INFO:** NORTHRIDGE DEVELOPMENT (44.62 ACRES)  
 SPAN: 759-241-13036 AND 759-241-11419  
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 RESIDENTIAL ZONING DISTRICT (R2D)

**PROPOSED:**  
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 13 MULTI/CONDOMINIUM UNITS

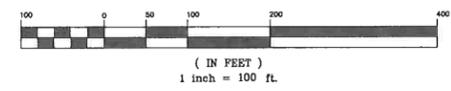
Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the 21 day of **NOV**, 2015.

*[Signature]*  
 Presiding member or Administrator's signature

# FINAL PLANS

EXISTING SINGLE FAMILY HOME  
 NEW DRIVEWAY ACCESSED OFF OF KADENCE ROAD  
 PROPOSED BOUNDARY LINE ADJUSTMENT RESERVED ROW TO ACQUIRE 1423 SF FROM TAX PARCEL #09-087-102-000  
 EXISTING DRIVEWAY TO BE RELOCATED  
 NEW PROPERTY LINE  
 EXISTING PROPERTY LINE (TO BE DISSOLVED)

#### GRAPHIC SCALE



FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.



DATE	8/28/18	REVISION	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	BY	AJA
SURVEY	ORCA	<input type="checkbox"/> RECORD DRAWING	<input type="checkbox"/> DISCRETIONARY	DATE	4-2-2018
DESIGN	ORCA	<input checked="" type="checkbox"/> FINAL	<input type="checkbox"/> SKETCH/CONCEPT	FILE	2015-88-515
DRAWN	GRT	<b>O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.</b> 13 CORPORAL DRIVE FERRIS, VT 05752 PH: 802-888-8830 FAX: 878-3989 E-MAIL: oab@oabysjame.com			PLAN SHEET
CHECKED	PLD				Williston Vermont <i>Northridge Subdivision</i> Index Site Plan
SCALE	1" = 100'				



### Legend

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
  - EXISTING WATERLINE
  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
- ( NOTE - PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

### Zoning Information

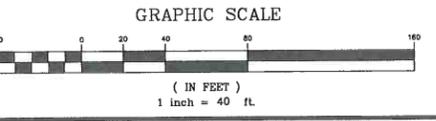
PARCEL INFO: NORTHRIDGE DEVELOPMENT (44.62 ACRES)  
 SPAN: 759-241-13036 AND 759-241-11419  
 PARCEL #: 09-012-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (RZD)

PROPOSED:  
 8 SINGLE FAMILY HOME LOTS  
 13 MULTI/CONDOMINIUM UNITS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the 2nd day of Nov, 2018.

\_\_\_\_\_  
 Presiding member or Administrator's signature

# FINAL PLANS



FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.



10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	AJA
9-27-18	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-26-18	AJA
9-19-18	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-17-18	AJA
8-28-18	REVISION REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	AJA
DATE	REVISION	BY
SURVEY	CBCA	DATE 3-9-2018
DESIGN	CBCA	DATE 10-21-18
DRAWN	CRT	DATE 2018-09-18
CHECKED	PLD	DATE 2018-09-18
SCALE	1" = 40'	DATE 2018-09-18

DP 17-01

Northridge Subdivision

**O'LEARY-BURKE**  
 CIVIL ASSOCIATES, P.L.C.

40-Scale Site Plan A

4



### Legend

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
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  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
- ( NOTE - PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

### Zoning Information

PARCEL INFO: NORTHDRIVE DEVELOPMENT (44.62 ACRES)  
 SPAN: 759-241-13036 AND 759-241-11419  
 PARCEL #: 09-012-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (RZD)

PROPOSED:  
 8 SINGLE FAMILY HOME LOTS  
 13 MULTI/CONDOMINIUM UNITS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on SEP 11 2018.

\_\_\_\_\_  
 Presiding member or Administrator's signature

# FINAL PLANS

DP 17-01

10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	AJA
9-19-18	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-17-18	AJA
DATE	REVISION	BY
8-28-18	REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	AJA
SURVEY	OSCA	DATE
DESIGN	OSCA	4-5-2018
DRAWN	CRT	DATE
CHECKED	PLD	2015-88
SCALE	1" = 40'	FILE
		2015-88 S15
		PLAN SHEET #
		5



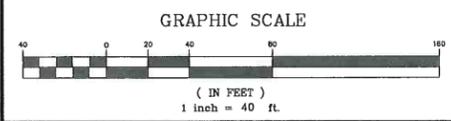
**O'LEARY-BURKE**  
 CIVIL ASSOCIATES, P.L.C.

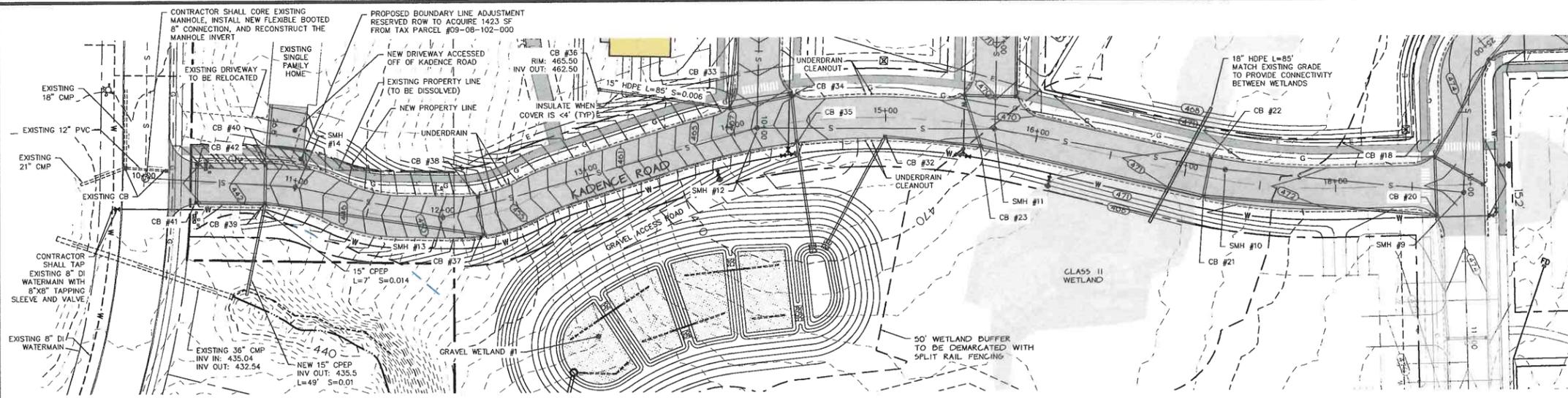
11 CORPORATE DRILL  
 FLOOR, 4TH FL  
 #1206, 8/8 BUREAU  
 FAX 876-9883  
 E-MAIL: oob@oolearyburke.com

Northridge Subdivision

40-Scale Site Plan B

FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.





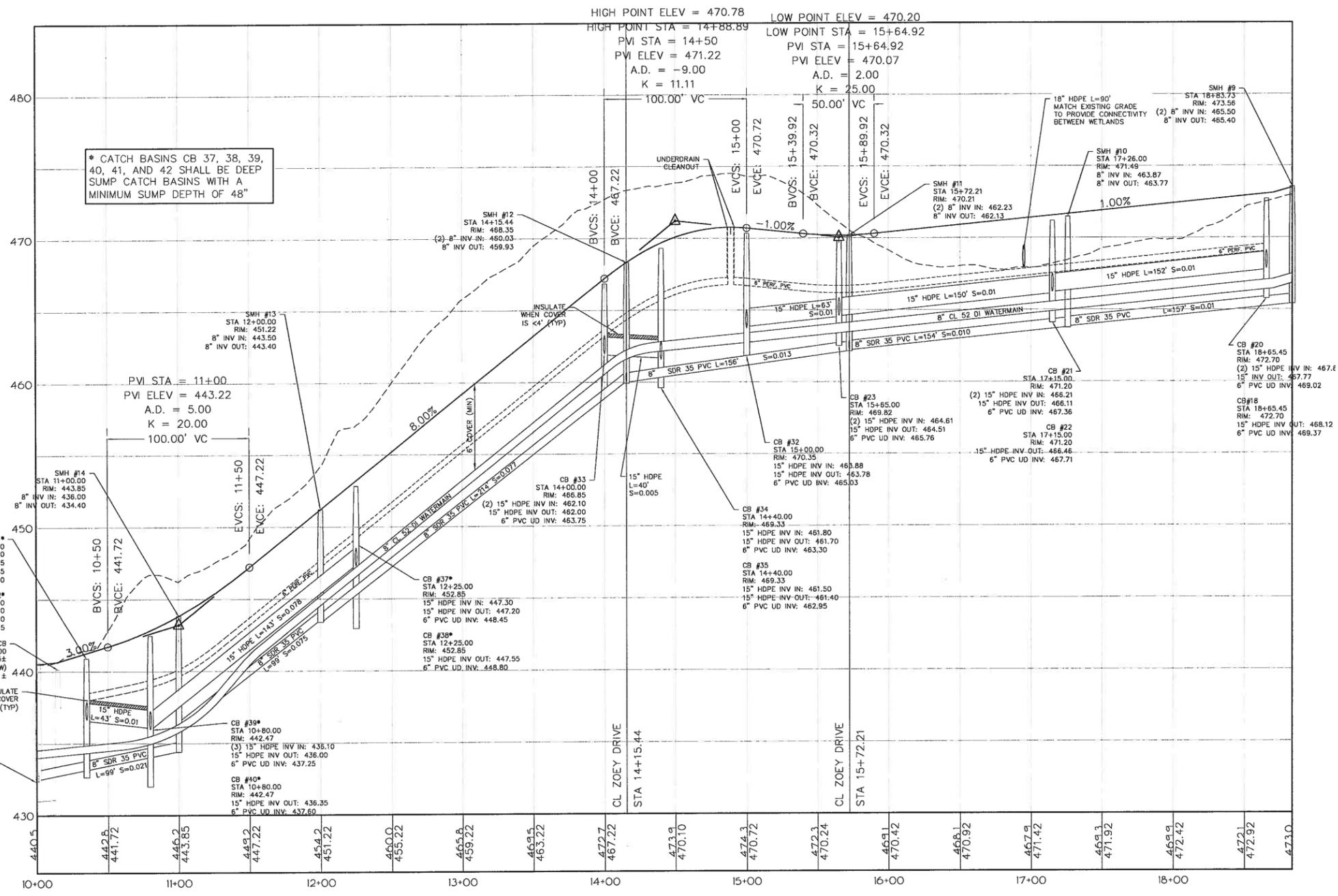
FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.

**KADENCE ROAD**

10+00 TO 18+83.73

1"=40 HORIZONTAL

1"=4 VERTICAL



### Legend

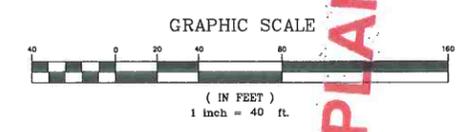
- PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- OTHER PROPERTY LINE
- SETBACK
- SIDELINE OF EASEMENT
- CONTOUR LINE (U.S.G.S DATUM 1)
- PROPOSED FINISH GRADE CONTOUR
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- EXISTING SEWERLINE
- EXISTING WATERLINE
- EXISTING NATURAL GASLINE
- EXISTING/PROPOSED HYDRANT
- SOIL TYPE + BOUNDARY
- PROPOSED LIGHTS
- RETAINING WALL
- UNDERDRAIN

(NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE)

### Zoning Information

PARCEL INFO: NORTHRIDGE DEVELOPMENT (44.02 ACRES)  
 SPAN: 759-241-13035 AND 759-241-14119  
 PARCEL #: 09-012-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (RZD)

PROPOSED:  
 8 SINGLE FAMILY HOME LOTS  
 13 MULTI/CONDOMINIUM UNITS



Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matthew Blaney*  
 Presiding member or Administrator's signature

**FINAL PLANS**

10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON. ADDED APPROVAL SIGNATURE BLOCK	ALA
9-19-18	REVISED PER WY COMMENTS RECEIVED VIA EMAIL DATED 9-17-18	ALA
9-13-18	REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 9-10-18	ALA
DATE: 8-28-18	REVISION: REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	BY: ALA
SURVEY:	CIDCA	DATE: 4-2-2018
DESIGN:	CIDCA	JOB#: 2018-88
DRAWN:	CB	FILE: 2018-88-515
CHECKED:	PLD	PLAN SHEET #
SCALE:	1" = 40'	

**O'LEARY-BURKE**  
 CIVIL ASSOCIATES, P.L.C.

43 CORPORATE DR. UNIT 100  
 WESTPORT, VT 05671  
 PHONE: 818-3930  
 FAX: 818-3935  
 E-MAIL: oeb@olearyburke.com

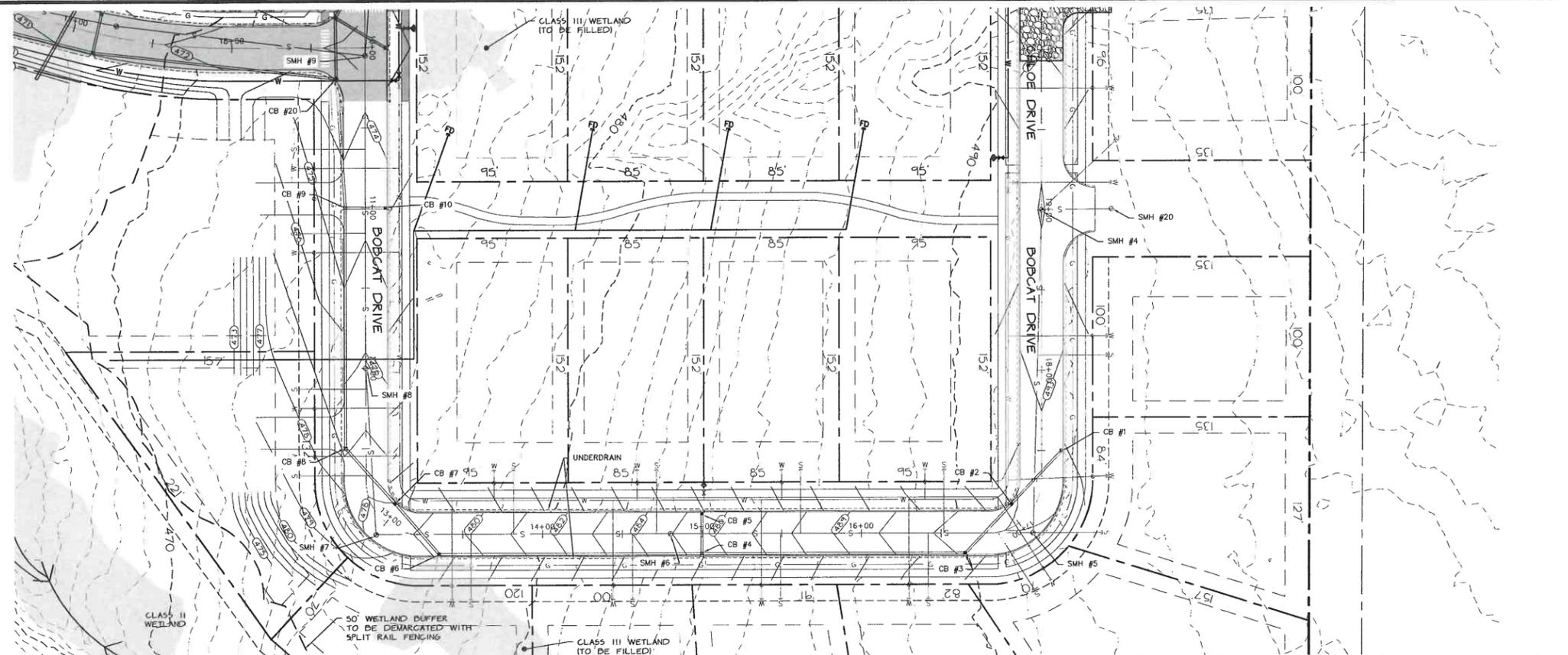
*Northridge Subdivision*

**Kadence Road Profile**

DP 17-01

6

FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.



**BOBCAT DRIVE**  
 10+00 TO 19+00  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

### Legend

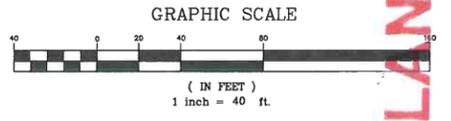
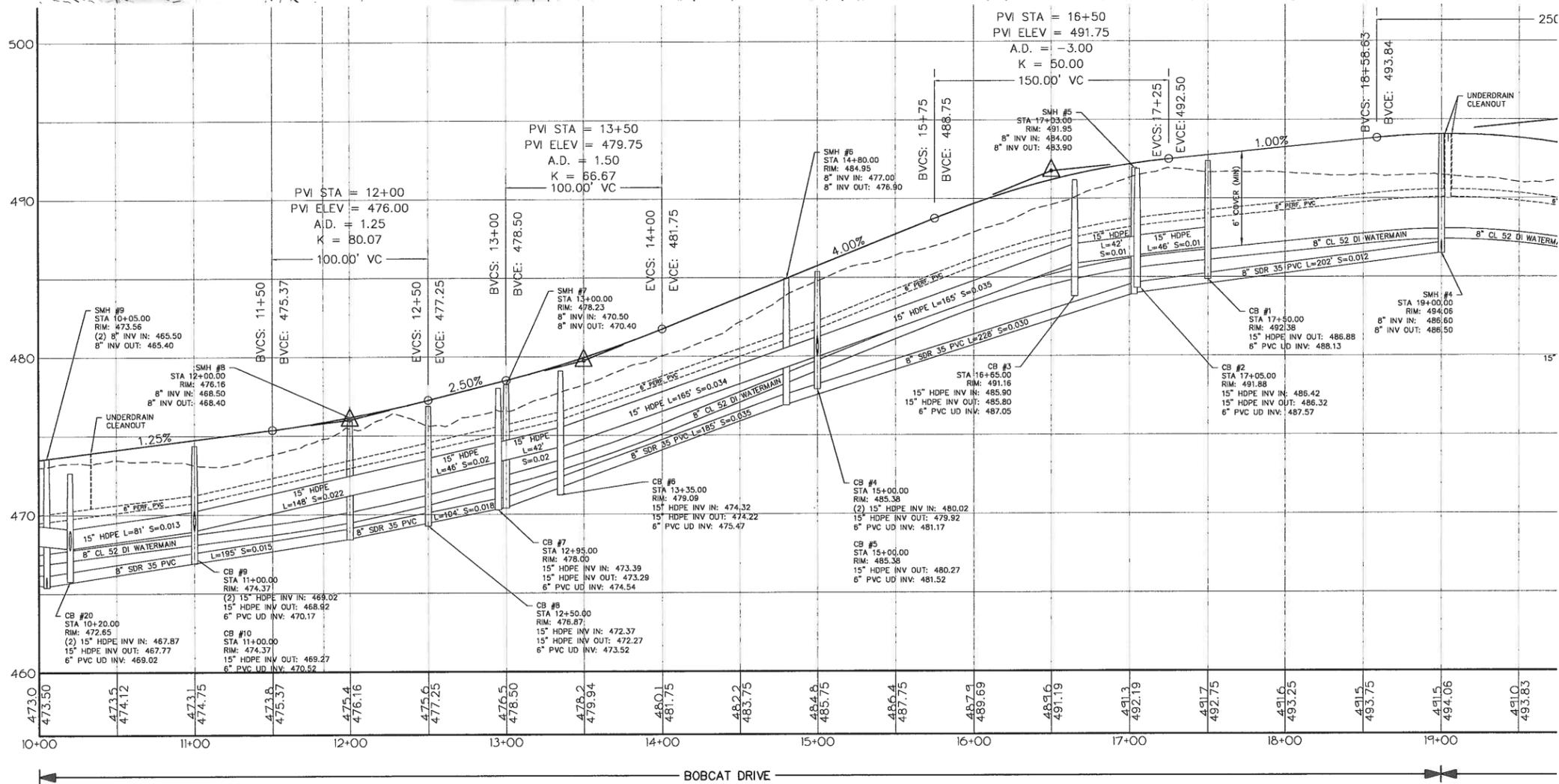
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(NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE)

### Zoning Information

PARCEL INFO: NORTHRIDGE DEVELOPMENT (44.62 ACRES)  
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PROPOSED:  
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 13 MULTI-CONDOMINIUM UNITS



Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matthew Blaney*  
 Presiding member or Administrator's signature

**FINAL PLANS**

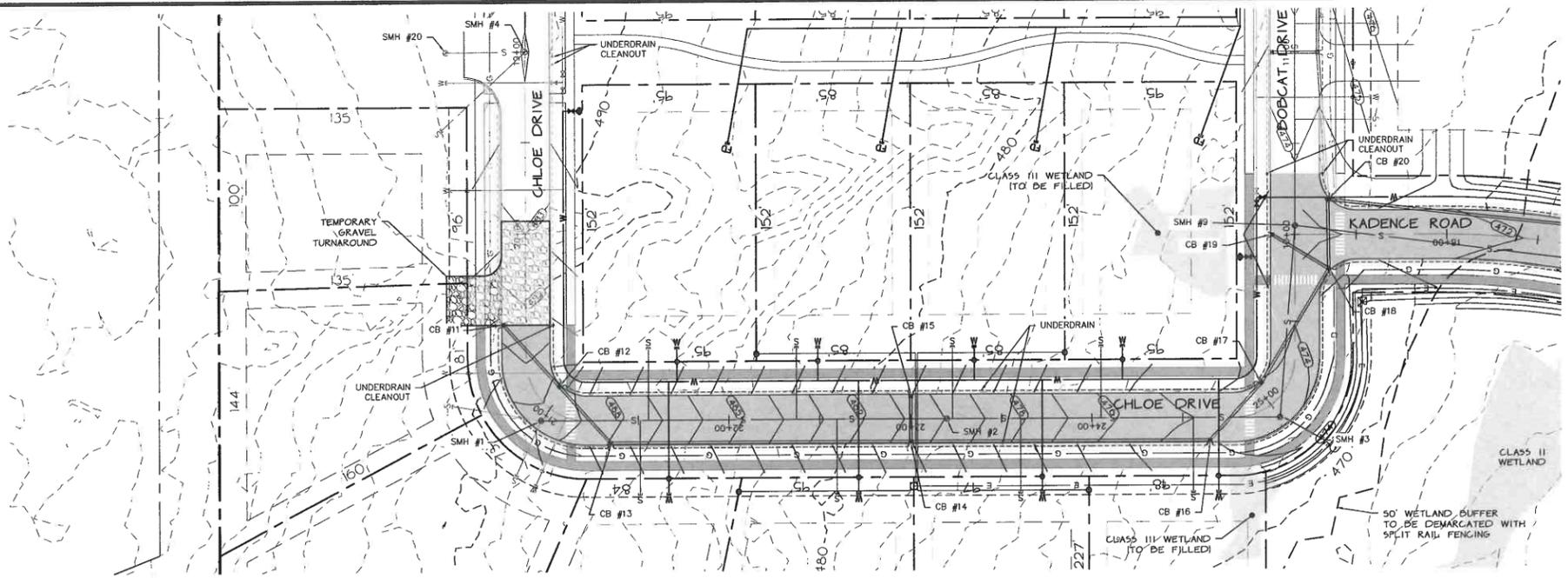
DATE	10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	BY	AJA
DATE	9-19-18	REVISED PER W/C COMMENTS RECEIVED VIA EMAIL DATED 9-17-18	BY	AJA
DATE	8-28-18	REVISION REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	BY	AJA
SURVEY	OBCA	<input checked="" type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE	4-9-2018
DESIGN	OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	BY	JOB
DRAWN	GRJ		FILE	2015-88-515
CHECKED	RJO		PLAN SHEET #	8
SCALE	1" = 40'			

**O'LEARY-BURKE**  
 CIVIL ASSOCIATES, PLC

*Northridge Subdivision*  
**Bobcat Drive Profile**  
 Future Phase - Not for Approval in Phase 1

FUTURE LOTS AND DEVELOPMENT ARE SHOWN IN GRAY AND ARE SUBJECT TO FUTURE DRB REVIEW AND APPROVAL.

**CHLOE DRIVE**  
 19+00 TO 25+97.45  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL



**Legend**

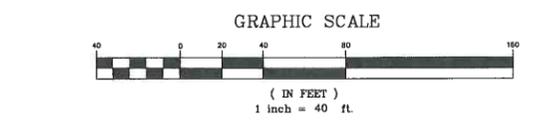
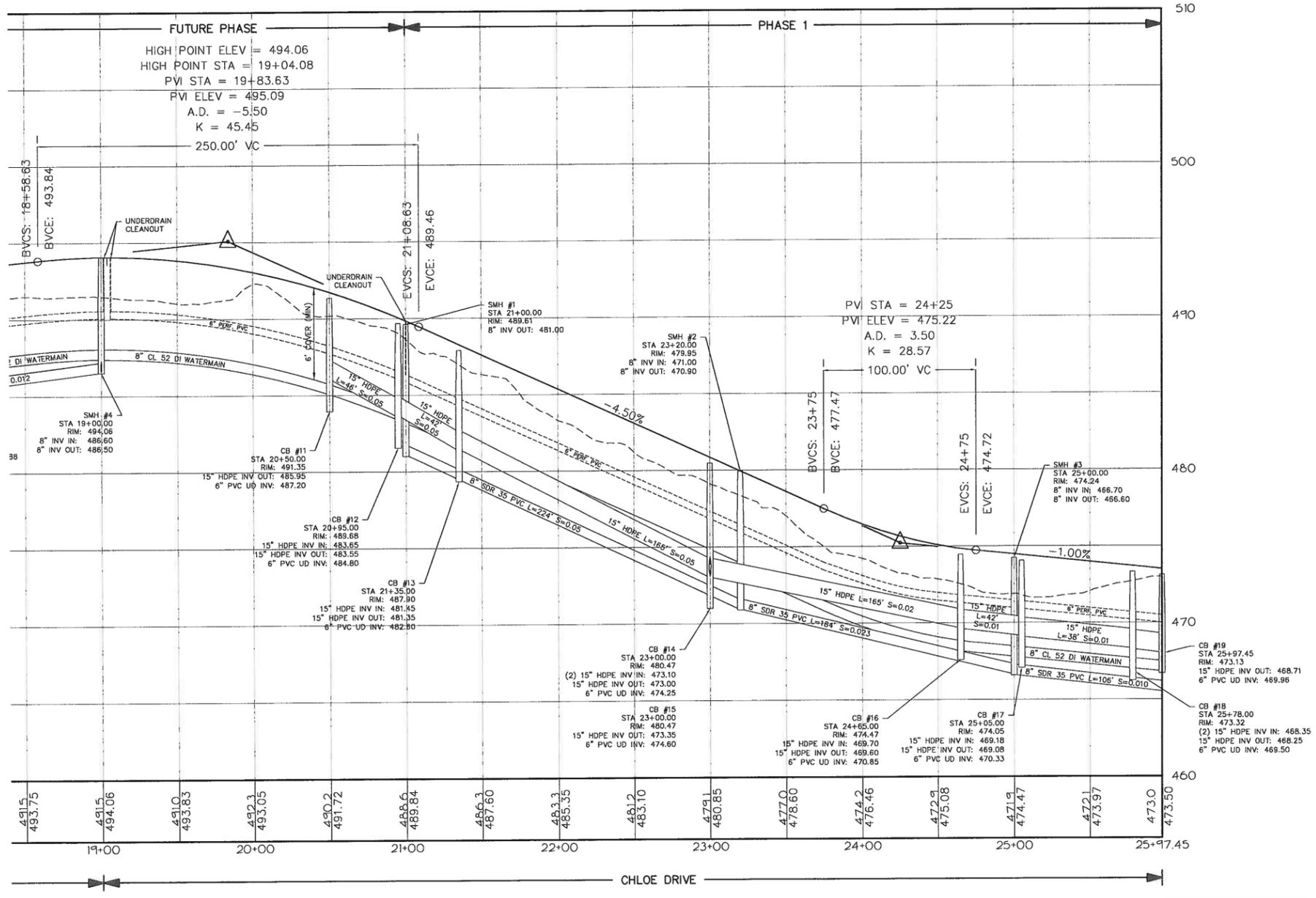
- PROJECT BOUNDARY
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- SETBACK
- SIDELINE OF EASEMENT
- 500' --- CONTOUR LINE ( U.S.G.S. DATUM )
- PROPOSED FINISH GRADE CONTOUR
- EDGE OF WOODED AREA
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- EXISTING WATERLINE
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- EXISTING/PROPOSED HYDRANT
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- RETAINING WALL
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( NOTE : PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

**Zoning Information**

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 PARCEL #: 09-012-043-000 AND 09-080-102-000  
 RESIDENTIAL ZONING DISTRICT (RZD)

PROPOSED:  
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 13 MULTI/CONDOMINIUM UNITS



Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
 Presiding member or Administrator's signature

FINAL PLANS

10-5-15	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	AJA
9-27-15	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-26-15	AJA
9-19-15	REVISED PER WW COMMENTS RECEIVED VIA EMAIL DATED 9-17-15	AJA
DATE 8-28-15	REVISION REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-15	BY AJA
SURVEY	OBCA	DATE 4-2-2018
DESIGN	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB# 2015-88
DRAWN	GRT	DATE 2015-88-S15
CHECKED	PJO	PLAN SHEET #
SCALE	1" = 40'	9



**O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.**

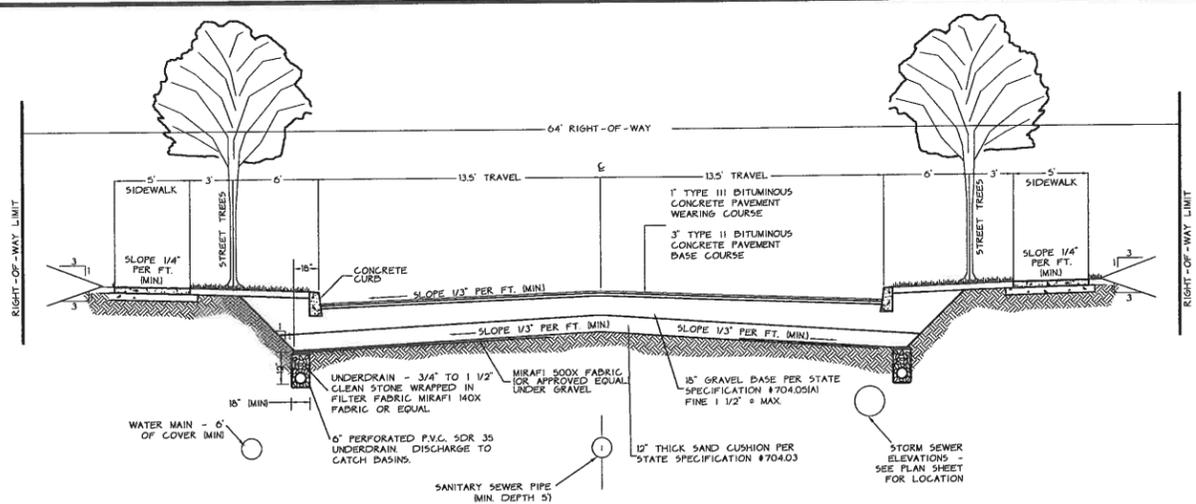
11 CORPORAIL DRIVE  
 FERRISBURGH, VT  
 PHONE: 888-8925  
 FAX: 888-8925  
 E-MAIL: ocb@o'leary-burke.com

**Northridge Subdivision**

Williston, Vermont

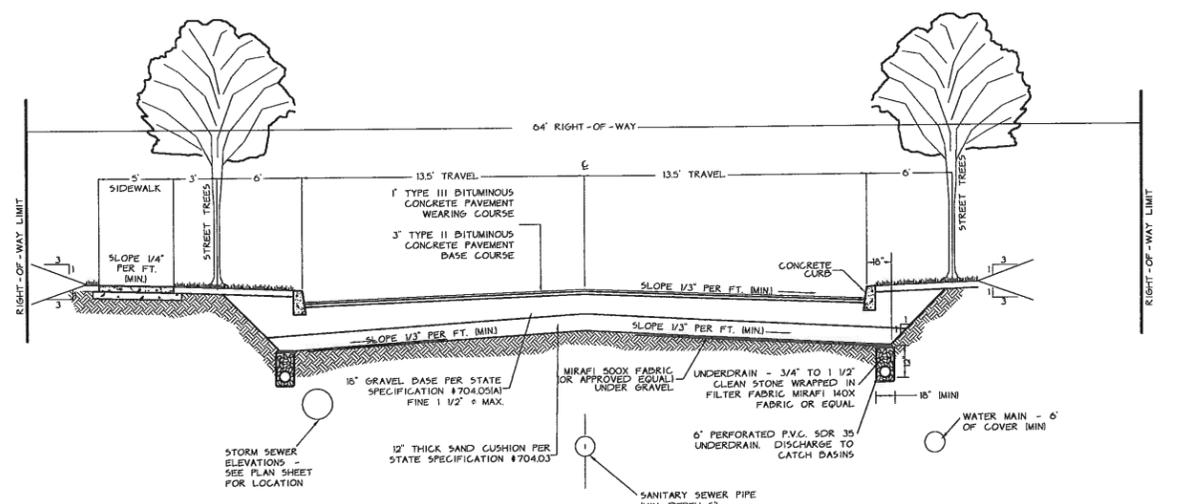
**Chloe Drive Profile**

DP 17-01



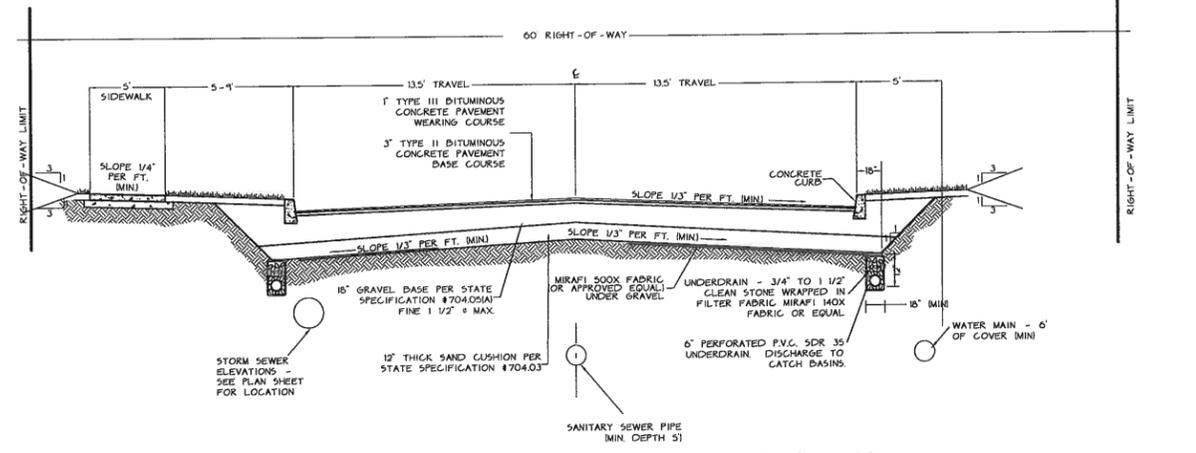
**ROADWAY SECTION A - TYPICAL**

KADENCE ROAD - STA 15+95.13 TO STA 18+83.73  
 ZOBY DRIVE - STA 10+00 TO STA 17+56.47  
 ASHER CIRCLE - STA 10+00 TO STA 25+97.45



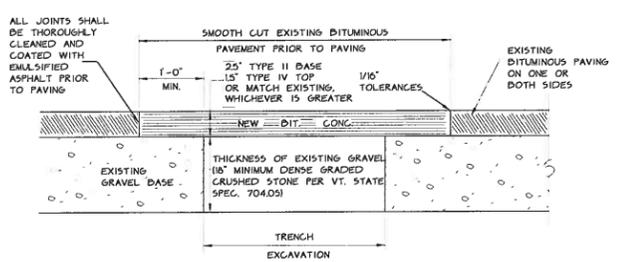
**ROADWAY SECTION B - TYPICAL**

KADENCE ROAD - STA 12+07.52 TO STA 15+95.13



**ROADWAY SECTION C - TYPICAL**

KADENCE ROAD - STA 10+00 TO STA 12+07.52

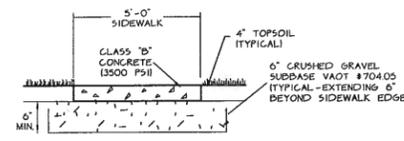


1. SET UP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES.
2. RESHAPE HOLE AND PATCH AREA BY CUTTING WITH A CONCRETE SAW INTO SQUARE OR RECTANGULAR SHAPE AND CUT SIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND ROUND HOLE TO SOUND PAVEMENT.
3. BACKFILL TRENCH IN 4" LIFTS AND COMPACT EACH LIFT TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D695 STANDARD PROCTOR.
4. REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
5. APPLY LIQUID ASPHALT TACK TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE TACK COAT ON BOTTOM OF HOLE.
6. FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS NO MORE THAN 2" THICK. FINAL UNCOMPACTED LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE ORIGINAL PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTED WITH A VIBRATORY PLATE COMPACTOR OR A PORTABLE ROLLER. EXPERIENCE HAS SHOWN THAT IS TO 20 PASSES WITH A VIBRATORY ROLLER AND MIX TEMPERATURE ABOVE 250 F (90 C) ARE NECESSARY TO ENSURE GOOD COMPACTION. HAND TAMP SHOULD ONLY BE USED FOR SMALL AREAS LESS THAN 1 1/2'.
7. CLEAN UP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS.

**REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT**

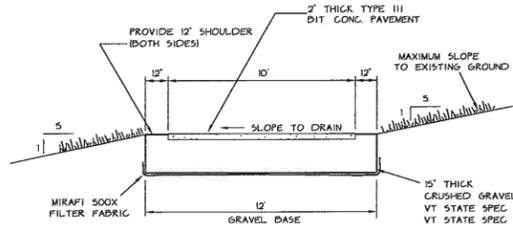
GRADATION REQUIREMENTS		
MATERIAL	SIEVE SIZE	PERCENT (%) PASSING
SAND CUSHION - VT SPEC 703.03	2"	100 ±
	1 1/2"	90-100 ±
	1/2"	70-100 ±
	#4	60-100 ±
	#100	0-20 ±
GRAVEL FOR SUBBASE - VT SPEC 704.04	#4	20-60 ±
	#100	0-12 ±
CRUSHED GRAVEL SURFACE COURSE - TOWN SPEC	1 1/2"	100 ±
	1"	90-100 ±
	#4	45-65 ±
	#200	7-10 ±
DENSE GRADED CRUSHED STONE - VT SPEC 704.06	3 1/2"	100 ±
	3"	90-100 ±
	2"	75-100 ±
	1"	50-80 ±
	1/2"	30-60 ±
	#4	15-40 ±
	#200	0-6 ±

- NOTES:**
1. CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8" JOINT BETWEEN SECTIONS.
  2. CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO ASHTO DESIGNATION M-153 (1 1/2" SPONGE RUBBER OR GORK.)
  3. ALL EXPOSED SURFACES TO RECEIVE 2 COATS OF AN ANTI-SPALLING COMPOUND.

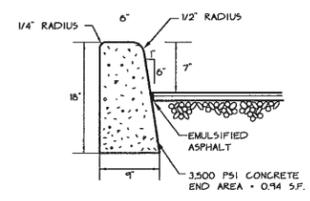


1. CONCRETE SIDEWALK TO BE CONSTRUCTED WITH CLASS 'B' CONCRETE (3500 PSI).
2. ALL EXPOSED SURFACES TO RECEIVE 2 COATS OF AN ANTI-SPALLING COMPOUND AFTER CURING PERIOD.
3. CONCRETE SIDEWALK THICKNESS 5" TYPICAL, AND 6" AT DRIVEWAY CROSSINGS.
4. CONCRETE SIDEWALK SHALL BE SCORED TO A DEPTH OF ONE INCH EVERY FIVE FEET AND SHALL HAVE HALF INCH TRANSVERSE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING TWENTY FEET.

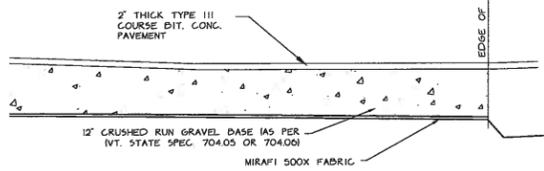
**CONCRETE SIDEWALK DETAIL**



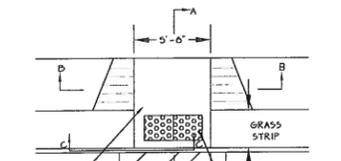
**PEDESTRIAN PATH DETAIL**



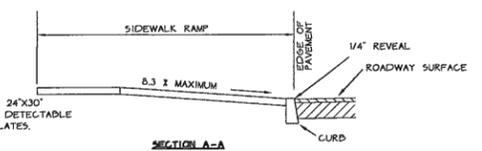
**CONCRETE CURB**



**DRIVEWAY SECTION**



SIDEWALK RAMP WITH TEXTURED SURFACE

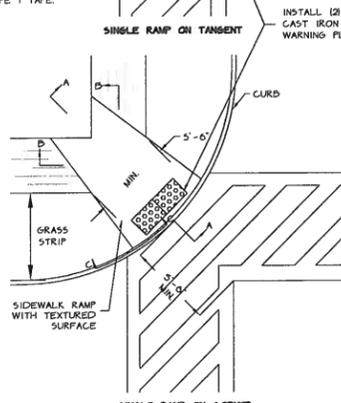


**INTERSECTION DETAIL**

**FINAL PLANS**

Upon finding that the final plans comply with all requirements of the Williston Development Permit and all conditions imposed on the approval of the Williston Development Permit, the Williston Development Permit Administrator approved the final plans for Northridge Subdivision on 10/20/18.

Presiding member or Administrator's signature



**SIDEWALK RAMP DETAIL**

PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

DATE: 10-5-18	REVISION: FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	BY: AJA
SURVEY: OBCA	DESIGN: OBCA	DATE: 4-2-2018
DRAWN: OBCA	CHECKED: PLO	JOB: 2015-88
SCALE: NTS		FILE: 2015-88-S15
		PLAN SHEET #: 10

**O'LEARY-BURKE CIVIL ASSOCIATES, PLC**

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 SUITE 201, W  
 FRENCH FALLS, VT 05450  
 PHONE: 878-6980  
 FAX: 878-6985  
 E-MAIL: ocb@olearyburke.com

**Northridge Subdivision**

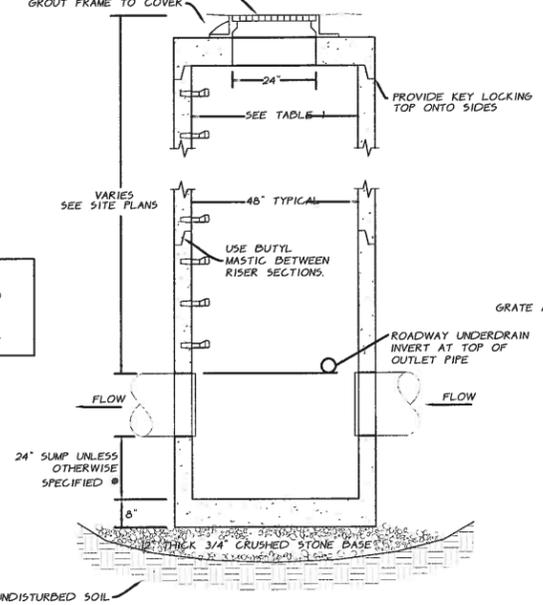
Williston, Vermont

Roadway & Sidewalk Details





LEBARON LF 246-2 FRAME AND GRATE OR AS SHOWN ON PLANS. ADJUST HEIGHT WITH CONCRETE GRADE RINGS OR SEWER BRICK AND MORTAR.  
GROUT FRAME TO COVER



\* CATCH BASINS CB #37 THROUGH #42 SHALL BE DEEP SUMP CATCH BASINS WITH A MINIMUM SUMP DEPTH OF 48".

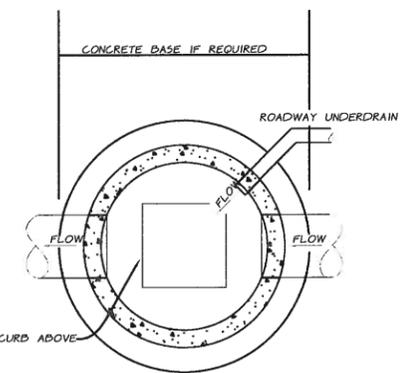


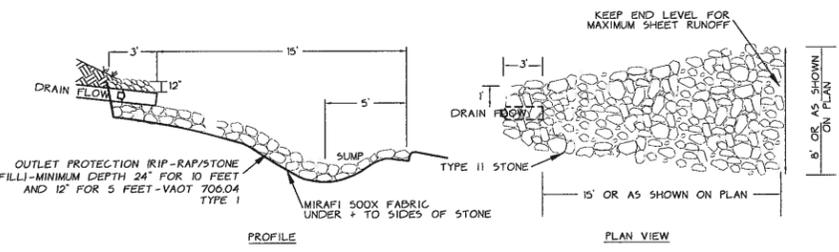
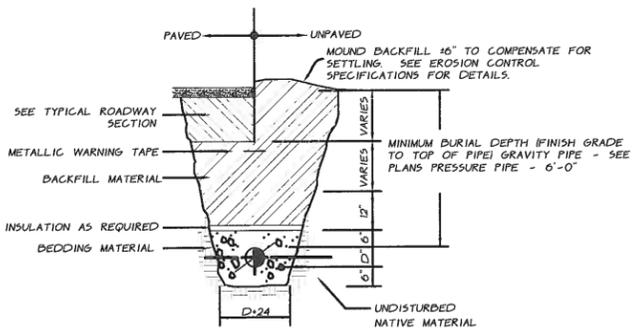
TABLE 1

STORM CATCH BASIN DIAMETER (CB + DI)	MINIMUM WALL THICKNESS (CB + DI)	LARGEST PIPE DIA. ALLOWED (C.G.M.P.)	MINIMUM CONCRETE COVER THICKNESS	CONCRETE BASE DIAMETER
36"	4"	18"	6"	50"
48"	5"	30"	10"	72"
60"	6.75"	36"	12"	84"
72"	7"	48"	18"	96"

CB - CATCH BASIN DI - DROP INLET \*IF REQUIRED

RAISE FRAME TO FINISHED GRADE ONLY AFTER BASE COURSE OF PAVEMENT IS IN PLACE - RAISE FRAME TO BASE COURSE GRADE IF WEAR COURSE IS TO BE PLACED DURING THE FOLLOWING CONSTRUCTION SEASON.  
PROVIDE COPOLYMER POLYPROPYLENE PLASTIC MANHOLE STEPS WITH 1/2" GRADE 60 STEEL REINFORCEMENT AT 12" O.C.  
DI OR CB - TO BE REINFORCED, 4000 PSI CONCRETE BY S.T. GRISWOLD OR APPROVED EQUAL.  
IF DEPTH OF CATCH BASIN IS 7 FEET OR LESS FROM RIM TO CENTERLINE INVERT THEN A FLAT TOP WILL BE INSTALLED. IF DEPTH OF CATCH BASIN IS MORE THAN 7 FEET THEN A CONICAL TOP SHALL BE INSTALLED.  
FLEXIBLE MANHOLE SLEEVES SHALL BE PROVIDED FOR ALL PIPE PENETRATIONS.  
BACKFILL STRUCTURE WITH GRANULAR BACKFILL VAOT 703.04

**CATCH BASIN DETAIL**  
NTS



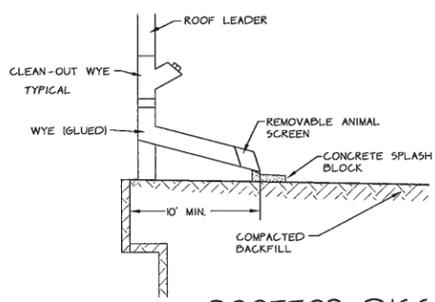
**STORM OUTFALL DETAIL**  
NTS

NOTES (UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS):  
1. BACKFILL MATERIAL - SHALL BE NATIVE MATERIAL CONTAINING NO STONES GREATER THAN 3". ALL MATERIAL TO BE PLACED IN 6"-12" LIFTS, DEPENDING ON SURFACE USE, AND COMPACTED BEFORE PLACING NEXT LIFT. BACKFILL DESIGNATED "COMPACTED" MEANS 90%-95% STANDARD PROCTOR, AASHTO T-99. FILL PLACED BELOW AND AROUND PIPES MUST MEET THIS REQUIREMENT. BACKFILL IN PAVED AREAS MUST MEET 95% COMPACTION STANDARDS.  
2. BEDDING MATERIAL - MAY VARY BY LOCALE, SEE LOCAL SPECIFICATIONS

PIPE USE	PIPE MATERIAL (TYP.)	BEDDING MATERIAL (TYP.)
SANITARY SEWER	PVC - SDR35	3/4" CRUSHED STONE
	DUCTILE IRON	SAND
FORCE MAIN	PVC - SCH 40, 160, 200	3/4" CRUSHED STONE
WATER MAIN	PVC - C-900	3/4" CRUSHED STONE
	DUCTILE IRON	SAND
WATER SERVICE	COPPER	3/4" CRUSHED STONE
STORM SEWER	HDPE	3/4" CRUSHED STONE

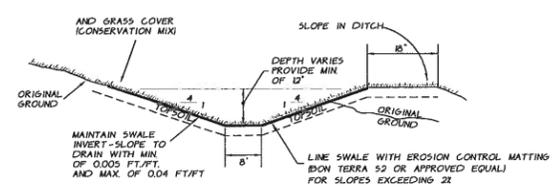
3. FOR TRENCHES WITH A GRADE GREATER THAN 4 AND/OR WHERE GROUNDWATER IS PRESENT, INSTALL PIPE COLLARS AROUND PIPE AT 100' INTERVALS.  
4. PROVIDE EXTRUDED POLYSTYRENE INSULATION, CENTERED OVER PIPE IN ACCORDANCE WITH THE FOLLOWING:  
PAVED - WHEN COVER IS LESS THAN 6", USE 4" INSULATION, 4" WIDE  
WHEN COVER IS GREATER THAN 6", NO INSULATION  
UNPAVED - WHEN COVER IS LESS THAN 56", USE 4" INSULATION, 4" WIDE  
WHEN COVER IS GREATER THAN 56", NO INSULATION

**TRENCH DETAILS**  
NTS



**ROOFTOP DISCONNECT DETAIL**  
NTS

DISCONNECTION NOTES:  
1) ALL FINISH GRADING AROUND HOUSES ARE SHOWN FOR TYPICAL HOUSES SHOWN. ACTUAL GRADING SHALL BE DIRECTED AWAY FROM THE STRUCTURE AT A MAX. 5% GRADE.  
2) THERE SHALL BE A 25' GRASS BUFFER FROM DOWNSPOUTS.  
3) THE MAXIMUM CONTRIBUTING IMPERVIOUS LENGTH SHOULD BE 75' OR LESS.  
4) THE LENGTH OF THE DISCONNECTION SHOULD BE EQUAL TO OR GREATER THAN THE CONTRIBUTING ROOFTOP OR NON-ROOF TOP LENGTH.  
5) ANY DOWNSPOUTS SHOULD BE AT LEAST 10' AWAY FROM ANY IMPERVIOUS SURFACE.



**GRASS DRAINAGE SWALE**  
NTS



**STORM SYSTEM MAINTENANCE**

MAINTENANCE PLAN  
SYSTEM MAINTENANCE IS IMPORTANT FOR TREATMENT AND CONTROL OF STORM RUNOFF FROM THE IMPERVIOUS SURFACES (BUILDINGS, ROAD, DRIVEWAY, AND SIDEWALKS). THE FOLLOWING ELEMENTS FORM THE MINIMUM REQUIREMENTS:  
1. THE OWNER (OR REPRESENTATIVE) SHALL PERFORM INSPECTIONS DI-ANNUALLY AND FOLLOWING SIGNIFICANT (LARGE) STORM EVENTS. THE FOLLOWING ITEMS SHALL BE REVIEWED: CONDITION OF THE VEGETATION, CONDITION OF THE DITCH SURFACES, DEPTH OF ACCUMULATED SEDIMENT (IF ANY), THE PRESENCE OF EROSION (IF ANY), CONDITION OF THE STORM PIPES, AND THE CONDITION OF THE PIPE INLETS AND OUTLETS. ANY OBSERVABLE DEGRADATION OF THE STORM SYSTEM SHALL BE NOTED.  
2. THE OWNER (OR REPRESENTATIVE) SHALL COMPLETE REPAIR OF ANY ITEMS, AS REQUIRED TO MAINTAIN OPTIMAL SYSTEM OPERATION. AT A MINIMUM, THE FOLLOWING ITEMS SHALL BE INCLUDED:  
A. ANY EROSION GULLIES 6 INCHES OR DEEPER SHALL BE FILLED AND VEGETATION ESTABLISHED IN THE DISTURBED AREA.  
B. SEDIMENT ACCUMULATED TO A DEPTH OF MORE THAN 6 INCHES IN THE ROAD DITCHES SHALL BE REMOVED AND DISPOSED OF IN AN UPLAND AREA THAT IS NOT WITHIN 100 FEET OF WATERS OF THE STATE. VEGETATION SHALL BE ESTABLISHED IN ALL DISTURBED AREAS.  
C. VEGETATION SHALL BE ESTABLISHED AS NEEDED, IN AREAS OF BARE SOIL. THIS IS PARTICULARLY IMPORTANT IN FLOW AREAS WHERE VEGETATION PROVIDES SEDIMENT REMOVAL.  
D. THE CATCH BASIN SUMPS SHALL BE CLEANED WHEN THE ACCUMULATED SEDIMENT EXCEEDS 12" IN DEPTH (THE SUMPS ARE 24" IN DEPTH).  
E. SILT FENCES SHALL BE USED IF NEEDED TO PREVENT EROSION AND AID IN THE ESTABLISHMENT OF VEGETATION. THESE TEMPORARY MEASURES SHALL BE REMOVED AFTER THE SITE IS STABILIZED AND THE RISK OF EROSION IS REDUCED.  
F. THE GRASSED AREAS SHALL BE MOWED AS NEEDED TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION.  
3. THE OWNER SHALL MECHANICALLY SWEEP AND REMOVE SEDIMENTS IN THE ROADWAY AREAS AND CATCH BASIN SUMPS A MINIMUM OF ONCE PER YEAR PRIOR TO MAY 15TH.

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
*Matt Kellogg*  
Presiding member or Administrator's signature

**FINAL PLANS**

PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

DATE: 8-28-18	REVISION: REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA EMAIL DATED 8-23-18	BY: AJL
SURVEY: OBCA	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE: 4-2-2018
DESIGN: OBCA	<input type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB#: 12015-02
DRAWN: OBCA		DATE: 2015-08-15
CHECKED: RJO		FILE: 2015-89-515
SCALE: NTS		PLAN SHEET #

**O'LEARY-BURKE CIVIL ASSOCIATES, PLC**  
13 CORPORATE DRIVE, FERRIS, VT 05759  
PHONE: 878-5890 FAX: 878-5889  
www.olearyburke.com

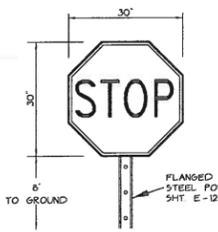
Northridge Subdivision  
Stormwater Management Details

**13**

### Legend

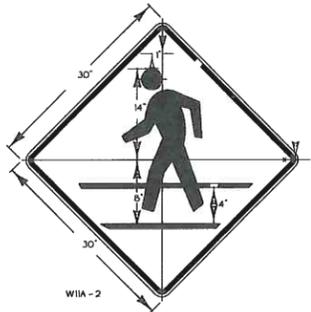
- PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- OTHER PROPERTY LINE
- SETBACK
- SIDELINE OF EASEMENT
- CONTOUR LINE (U.S.G.S. DATUM)
- ⊙ PROPOSED LIGHTS

( NOTE : PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )



\* SIGN SHALL CONFORM TO E-9-1-1 REQUIREMENTS TO BE PROVIDED AT ALL INTERSECTIONS

**STOP SIGN DETAIL**  
N.T.S. V.T. SHT. E-143

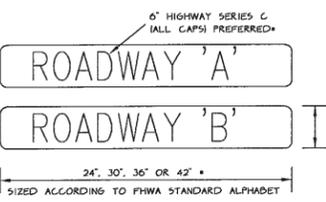


**COLORS**  
ALL THE WARNING SIGNS SHOWN ON THIS SHEET SHALL HAVE BLACK TEXT AND SYMBOLS ON REFLECTORIZED YELLOW BACKGROUND EXCEPT AS OTHERWISE NOTED. THE COLORS SHALL AND TRANSPORTATION OFFICIALS AND APPROVED BY THE DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

**MATERIALS**  
ANY OF THE FOLLOWING, OF THE MINIMUM THICKNESS NOTED:  
FLAT SHEET ALUMINUM 30" X 30" 0.080"  
HIGH DENSITY OVERLAID PLYWOOD 1/2" 1/8" GAGE  
GALVANIZED FLAT SHEET STEEL 1/8" GAGE

**TEXT DESIGN**  
LETTERS, DIGITS, SYMBOLS, SPACINGS, AND TEXT DIMENSIONS SHALL CONFORM WITH THE STANDARD ALPHABETS AND DESIGNS PRESCRIBED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SEE STANDARD SHEET E-50 FOR ARROWHEAD DETAILS.

**SPECIFICATIONS**  
WARNING SIGNS SHALL MEET THE VERMONT STANDARD SPECIFICATIONS FOR TRAFFIC SIGNS.



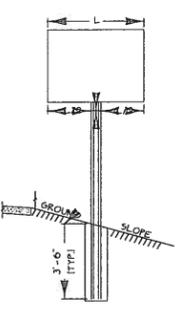
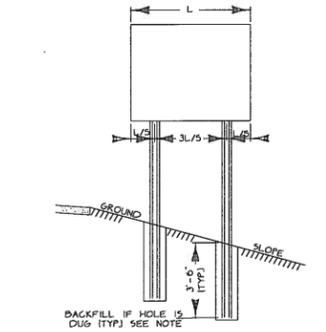
\*NOTE: ALL TEXT SHALL BE WHITE OVER A GREEN RETRO-REFLECTIVE GREEN BACKGROUND.

**STREET SIGN DETAIL**  
N.T.S. V.T. SHT. E-123

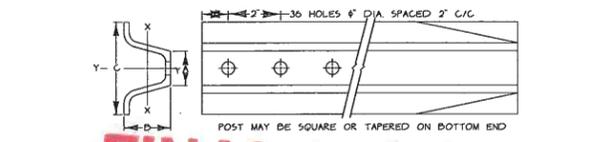
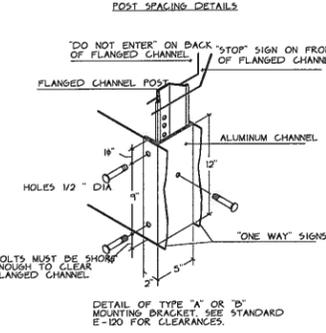
**CROSS WALK SIGN DETAIL**  
N.T.S. V.T. SHT. E-152

**MULTI-POST INSTALLATIONS**  
WHEN SIGN POSTS ARE INSTALLED WITH A POST SPACING OF LESS THAN 8 FEET, POST SIZES MUST BE SELECTED TO INSURE THAT WHEN ACTING TOGETHER THE POSTS DO NOT CREATE A HAZARD. REFER TO V.A.O.T. SIGN POST DESIGN GUIDELINE FOR ADDITIONAL DETAILS.

**GENERAL NOTES**  
CONSTRUCTION METHODS - POSTS MAY BE DRIVEN OR SET IN A DUG HOLE AND BACKFILLED. IF DRIVEN, A DRIVING CAP SHALL BE USED. THE DUG HOLE INSTALLATION SHALL BE USED IN AREAS OF POOR SOIL CONDITIONS OR AS DIRECTED BY THE RESIDENT ENGINEER. BACKFILL SHALL BE COMPACTED AS DIRECTED BY THE RESIDENT ENGINEER.  
IN AREAS WHERE LEDGE ROCK IS ENCOUNTERED, POSTS WILL BE SET IN A HOLE WITH 2" CLEARANCE AND GROUTED WITH TYPE 4 MORTAR 24" BELOW THE SURFACE OF THE SOLID ROCK. UNLESS THE POSTS PENETRATE THE GROUND A MINIMUM OF 3'-0". THE PORTION OF THE POST IN CONTACT WITH THE MORTAR SHALL BE COATED WITH AN APPROVED COATING.



POST SELECTION CHART		
SIGN AREA (FT <sup>2</sup> )	X (FT)	Y (FT)
2	1.5	3.0
3	1.5	4.5



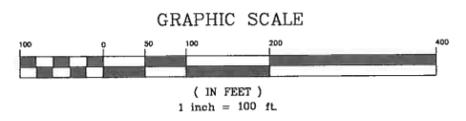
# FINAL PLANS

POST SIZE (LB/FT)	DIMENSIONS			SECTION MODULUS, X-X
	A	B	C	
2	1 1/2"	1 1/2"	3 1/2"	0.225 in <sup>4</sup>
3	1 1/2"	1 1/2"	3 1/2"	0.403 in <sup>4</sup>

**FLANGED STEEL SIGN POST DETAIL**  
N.T.S. V.T. SHT. E-150

PARCEL #: 09-012-043-000 AND 09-080-102-000

DP 17-01



Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

*Matthew Is...*  
Presiding member or Administrator's signature



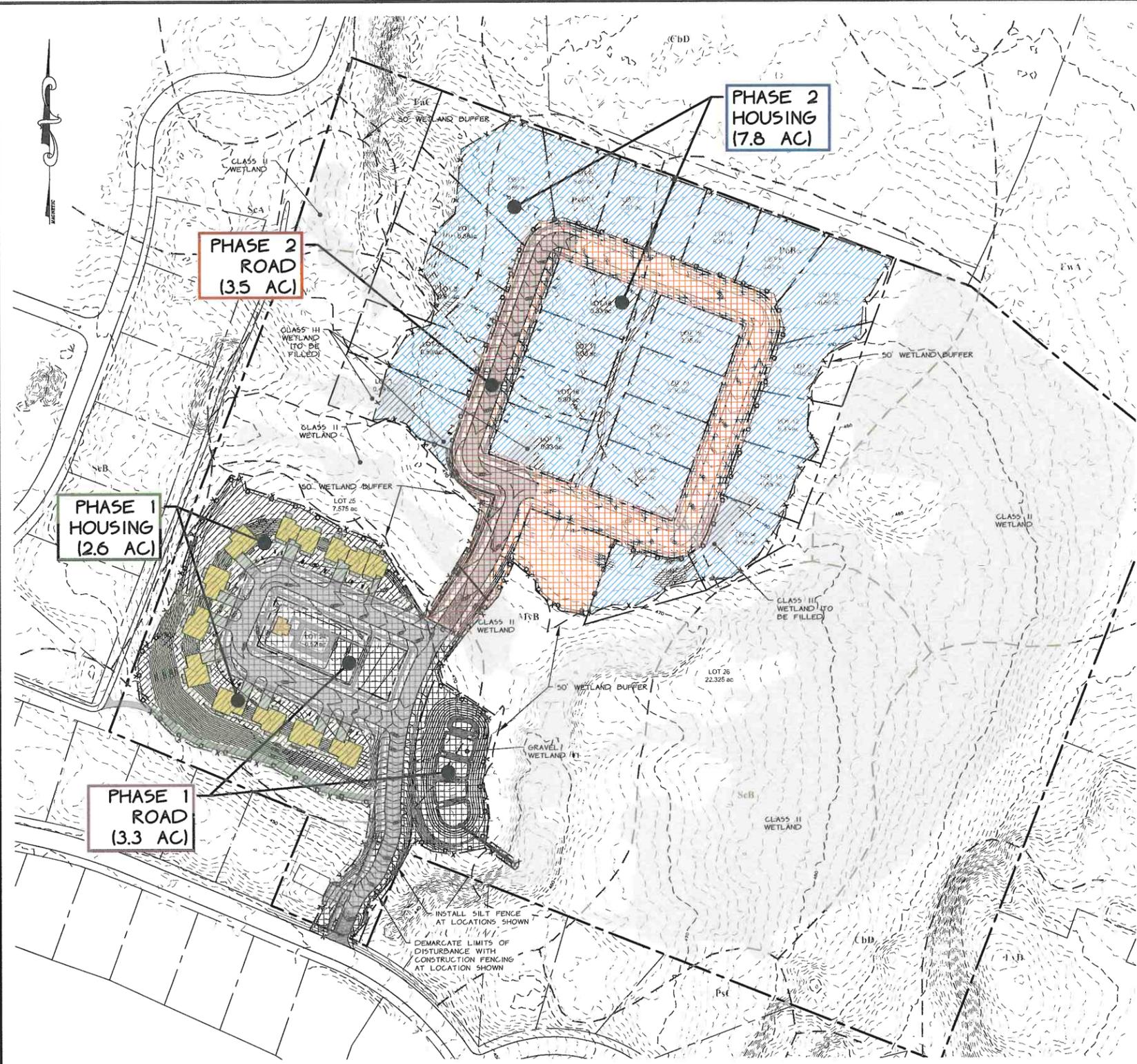
DATE: 10-5-18	REVISION: FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	BY: AJA
SURVEY: OBCA	RECORD DRAWING	DATE: 4-9-2018
DESIGN: OBCA	FINAL	DATE: 2015-88
DRAWN: AJA	DISCRETIONARY	DATE: 2015-88
CHECKED: PJO	SKETCH/CONCEPT	DATE: 2015-88
SCALE: 1" = 100'		DATE: 2015-88

**O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.**  
13 CORNHILL DRIVE, FERRISBURGH, VT 05752  
PHONE: 802-882-0400  
FAX: 802-882-0401  
WWW.OLEARYBURKE.COM

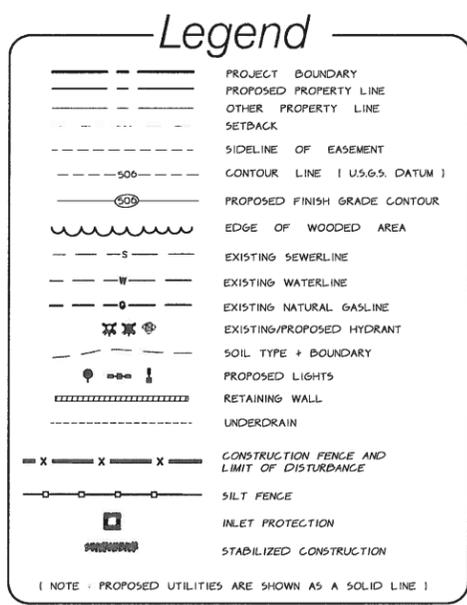
**Northridge Subdivision**  
Road Sign & Lighting Plan

PLAN SHEET # **14**





- GENERAL NOTES :**
- THE PURPOSE OF THESE PLANS IS TO :
    - MINIMIZE THE AREA OF DISTURBED SOILS AND TO MINIMIZE THE DURATION THAT ANY AREAS ARE LEFT OPEN.
    - ISOLATE THE AREAS OF DISTURBANCE TO PREVENT AND CONTROL EROSION CAUSED BY RUN-OFF.
    - CONTROL THE AMOUNTS OF SEDIMENT THAT MAY RESULT FROM ANY SITE EROSION.
  - A COPY OF THE CONSTRUCTION GENERAL PERMIT AND A SET OF THE PLANS WILL BE AVAILABLE ON-SITE.
  - THE ON-SITE COORDINATOR SHALL INSPECT AND KEEP A WRITTEN RECORD OF THE EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES AT A MINIMUM OF ONCE A WEEK AND ALSO WITHIN 24 HOURS OF ANY STORM EVENT THAT DISCHARGES RUN-OFF FROM THE SITE.
  - THE ON-SITE COORDINATOR SHALL KEEP A WRITTEN RECORD OF EROSION CONTROL INSPECTIONS AND ANY MONITORING DATA FOR A MINIMUM OF THREE (3) YEARS FOLLOWING COMPLETION OF CONSTRUCTION.



- WINTER GUIDELINES FOR EROSION PREVENTION + SEDIMENT CONTROL**
- ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
  - ALL SILT FENCE OR OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE IN PLACE PRIOR TO GROUND FREEZING.
  - WHEN MULCH IS REQUIRED FOR STABILIZATION DOUBLE THE STANDARD RATE SHALL BE APPLIED.
  - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
    - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
    - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
  - PRIOR TO STABILIZATION SNOW AND ICE MUST BE REMOVED TO DEPTH OF NO LESS THAN 1 IN.
  - ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF BEING BROUGHT TO FINISH GRADE.

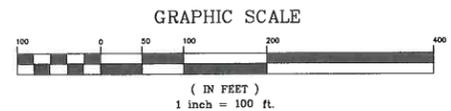
INSPECTION SCHEDULE	WEEKLY	AFTER A THAW OR A RAINFALL GENERATING RUNOFF FROM SITE
INSPECT SILT FENCING	X	X
INSPECT CONSTRUCTION FENCE	X	X
INSPECT SEDIMENT TRAPS AND GRASS SWALES	X	X
INSPECT CATCH BASIN INLET PROTECTION	X	X
INSPECT AREAS TEMPORARILY MULCHED	X	X
INSPECT TEMPORARY STOCKPILES	X	X
INSPECT STABILIZED CONSTRUCTION ENTRANCES	X	X
INSPECT AREAS THAT HAVE BEEN TOPSOILED + MULCHED	X	X
INSPECT STORMWATER PONDS AND GRAVEL WETLANDS	X	X

**PRE-CONSTRUCTION SEQUENCING FOR EROSION PREVENTION + SEDIMENT CONTROL**

**PRE-CONSTRUCTION PHASE** INSTALLATION OF THE EROSION CONTROL DEVICES BEFORE CONSTRUCTION COMMENCES

MAJOR CONSTRUCTION ITEM	EROSION CONTROL	MAINTENANCE
1. MARK LIMITS OF AREA TO BE DISTURBED.	INSTALL CONSTRUCTION FENCING AT LOCATIONS SHOWN ON PLAN.	MAINTAIN UNTIL CONSTRUCTION WITHIN PHASE 1 IS COMPLETED.
2. INSTALL SILT FENCING AND STABILIZED CONSTRUCTION ENTRANCE	INSTALL SILT FENCING AND STABILIZED CONSTRUCTION ENTRANCE AT LOCATIONS SHOWN ON PLAN.	MAINTAIN SILT FENCE AND REMOVE DEPOSITS OF SILT. REMOVE AND REPLACE STONE AT ENTRANCE AS ORDERED BY THE ON-SITE COORDINATOR.

**NOTE**  
 THE HOUSING CONSTRUCTION PHASE AS SHOWN ON THIS PLAN IS SEPARATE FROM THE ROAD CONSTRUCTION PHASE. HOWEVER THE INTENT IS TO ALLOW CONSTRUCTION OF SOME HOUSES SIMULTANEOUSLY AS LONG AS THE STORM SYSTEM FOR THE GIVEN PHASE IS CONSTRUCTED AND THE AMOUNT OF DISTURBANCE FOR THE ENTIRE PROJECT NEVER EXCEEDS 5 ACRES.



**FINAL PLANS**

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_ the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*[Signature]*  
 Presiding member or Administrator's signature



PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	ALA
9-27-18	ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CGP COMMENTS RECEIVED VIA EMAIL DATED 9-24-18	ALA
9-24-18	REVISION ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CGP COMMENTS RECEIVED VIA EMAIL DATED 9-6-18	ALA
SURVEY	OBCA	DATE 4-9-2018
DESIGN	OBCA	DATE 7/15-25
DRAWN	GRT	FILE
CHECKED	RJD	2015-28-515
SCALE	1" = 100'	PLAN SHEET 7

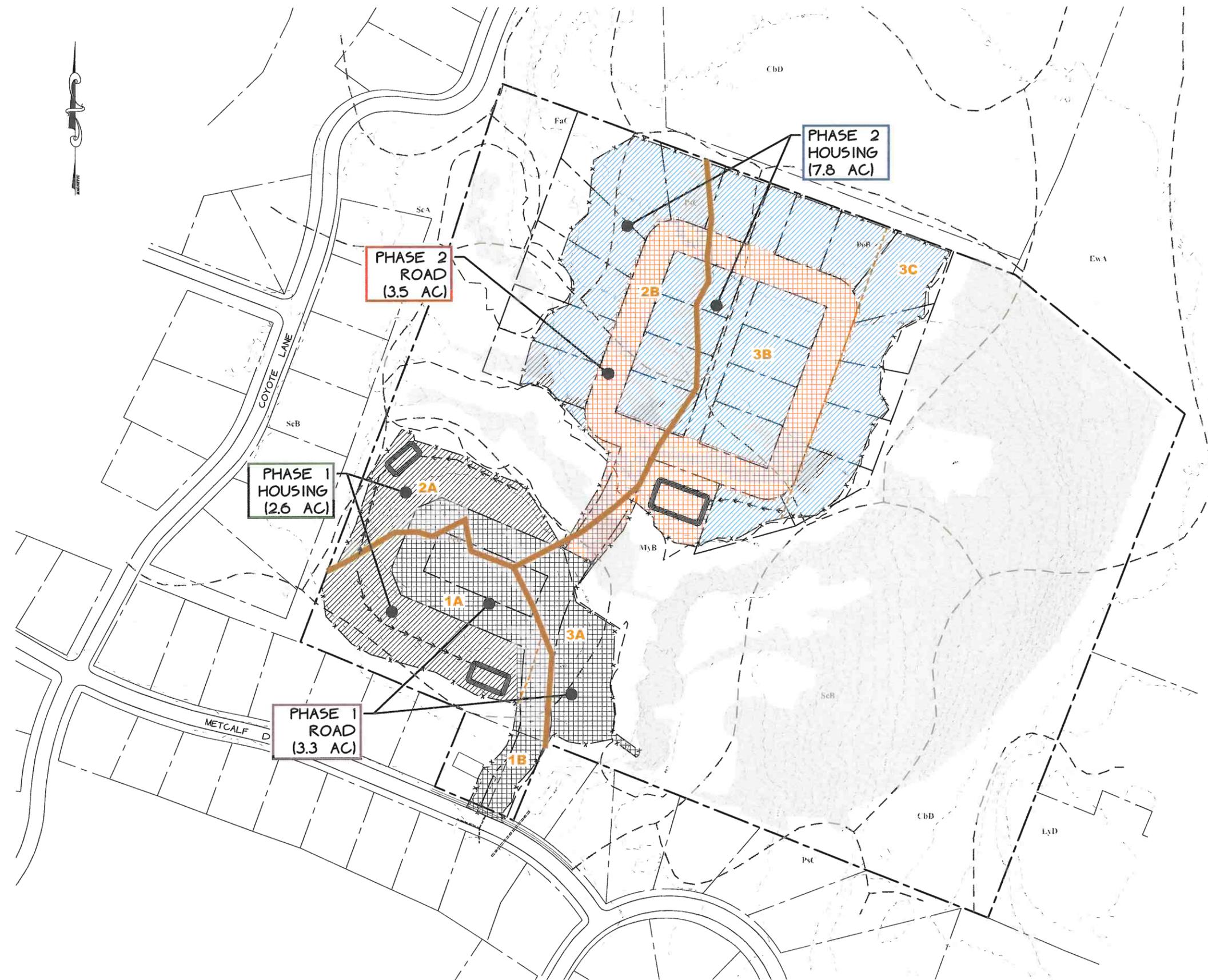
**O'LEARY-BURKE CIVIL ASSOCIATES, P.I.C.**

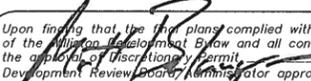
113 CORNHILL DRIVE  
 FOSTER, VT 05632  
 PHONE: 818-8930  
 FAX: 818-8983  
 E-MAIL: oab@olearyburke.com

**Northridge Subdivision**

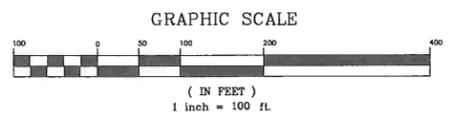
**EROSION CONTROL PRE CONSTRUCTION**

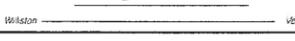
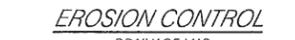
**16**



  
 Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
 Presiding member or Administrator's signature

# FINAL PLANS



PARCEL #: 09-012-043-000 AND 09-080-102-000		DP 17-01
DATE: 10.5.16	REVISION: FINAL APPROVAL BY TOWN OF WILLISTON. ADDED APPROVAL SIGNATURE BLOCK	BY: AJM
SURVEY: OBCA	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE: 8-25-2016
DESIGN: OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	BY: 2015-88
DRAWN: AJM	 Northridge Subdivision	
CHECKED: PJO	 O'LEARY-BURKE CIVIL ASSOCIATES, PLC 13 CORPORATE DRIVE ESSEX VT PHONE 818-8880 FAX 818-8888 E-MAIL: OBCA@OBCA.VT.US	
SCALE: 1" = 100'	 EROSION CONTROL DRAINAGE MAP	
		PLAN SHEET # 16A

# Legend

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
  - EXISTING WATERLINE
  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
  - CONSTRUCTION FENCE AND LIMIT OF DISTURBANCE
  - SILT FENCE
  - INLET PROTECTION
  - STABILIZED CONSTRUCTION
- ( NOTE - PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

## WINTER GUIDELINES FOR EROSION PREVENTION + SEDIMENT CONTROL

1. ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
2. ALL SILT FENCE OR OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE IN PLACE PRIOR TO GROUND FREEZING.
3. WHEN MULCH IS REQUIRED FOR STABILIZATION DOUBLE THE STANDARD RATE SHALL BE APPLIED.
4. TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
  - A. IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
  - B. DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
  5. PRIOR TO STABILIZATION SNOW AND ICE MUST BE REMOVED TO DEPTH OF NO LESS THAN 1 IN.
  6. ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF BEING BROUGHT TO FINISH GRADE.

## CONSTRUCTION SEQUENCING FOR EROSION PREVENTION + SEDIMENT CONTROL

THE ON-SITE COORDINATOR SHALL INSPECT THE SITE AND THE SEDIMENT CONTROL MEASURES A MINIMUM OF ONCE EVERY SEVEN DAYS, PRIOR TO PREDICTED STORM EVENTS AND WITHIN 24 HOURS FOLLOWING ANY PRECIPITATION WITH A VOLUME LARGE ENOUGH TO DISCHARGE RUN-OFF FROM THE SITE. THE WEEKLY REPORT AND EROSION CONTROL PLAN WILL BE KEPT ON-SITE.

CONSTRUCTION FOR SUBSEQUENT PHASES SHALL NOT COMMENCE UNTIL SUFFICIENT AREA HAS BEEN STABILIZED IN THE PREVIOUS PHASE TO LIMIT DISTURBANCE TO LESS THAN 5 ACRES AT ANY ONE TIME. NO HOUSE CONSTRUCTION OR FURTHER PHASES MAY COMMENCE UNTIL THE PERMANENT STORM SYSTEM IS INSTALLED AND STABILIZED (RETENTION POND IN PHASE I).

NOTE: FOR CONSTRUCTION OCCURRING BETWEEN OCTOBER 15 AND APRIL 15 REFER TO THE WINTER EROSION CONTROL GUIDELINES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

MAJOR CONSTRUCTION ITEM	EROSION CONTROL	MAINTENANCE
1. MARK LIMITS OF AREA TO BE DISTURBED	INSTALL CONSTRUCTION FENCING AT LOCATIONS SHOWN ON PLAN	MAINTAIN UNTIL CONSTRUCTION WITHIN PHASE 1 IS COMPLETED AND STABILIZED.
2. INSTALL SILT FENCING, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, AND GRASS SWALES	INSTALL SILT FENCING AROUND AREA TO BE DISTURBED FOR ROAD CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, AND GRASS SWALES AT LOCATION SHOWN.	MAINTAIN SILT FENCE AND REMOVE DEPOSITS OF SILT. REMOVE AND REPLACE STONE AT ENTRANCE AS ORDERED BY THE ON-SITE COORDINATOR.
3. GRUBBING AND TOPSOIL STOCKPILING	ANY STUMPS ARE DISPOSED OF AT AN APPROVED DISPOSAL SITE. A SILT FENCE IS TO BE INSTALLED AROUND THE BASE OF THE STOCKPILE. THE STOCKPILE IS TO BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACEMENT.	THE SILT FENCE IS TO BE MAINTAINED UNTIL THE STOCKPILE HAS BEEN REMOVED. IN-USE AREAS OF THE STOCKPILE AREA TO BE RESEEDED AND REMULCHED IF OPEN AND UNUSED FOR MORE THAN A WEEK.
4. CONSTRUCT WET POND #1, GRAVEL WETLAND #1, AND THE STORMWATER COLLECTION SYSTEM	BACKFILL IMMEDIATELY FOLLOWING INSTALLATION. MULCH DISTURBED AREAS AT THE END OF THAT WORK WEEK.	MAINTAIN MULCH AS NECESSARY.
5. INSTALL ALL UTILITIES AND INSTALL ROADWAY GRAVEL	DISTURBED AREAS OUTSIDE OF THE ROADWAY AREA TO BE SEEDED AND MULCHED WITHIN 14 DAYS OF DISTURBANCE. INSTALL STONE CHECK DAMS AS SHOWN AND AS DIRECTED BY ON-SITE COORDINATOR.	MULCHED AREAS ARE TO BE INSPECTED AND MAINTAINED WEEKLY OR IMMEDIATELY FOLLOWING A RAIN OR THAW EVENT THAT GENERATES RUNOFF FROM THE SITE.
<b>PHASE 1 - HOUSING</b> CONSTRUCTION OF HOUSE FOUNDATIONS. FOUNDATION CONSTRUCTION CANNOT COMMENCE UNTIL STORMWATER SYSTEM IS INSTALLED AND STABILIZED.		
1. MARK LIMITS OF AREA TO BE DISTURBED	INSTALL CONSTRUCTION FENCING / SILT FENCE AROUND AREA TO BE DISTURBED	MAINTAIN UNTIL FOUNDATION / DRIVEWAY AREA IS TOPSOILED, SEEDED AND MULCHED AND GRASS IS ESTABLISHED.

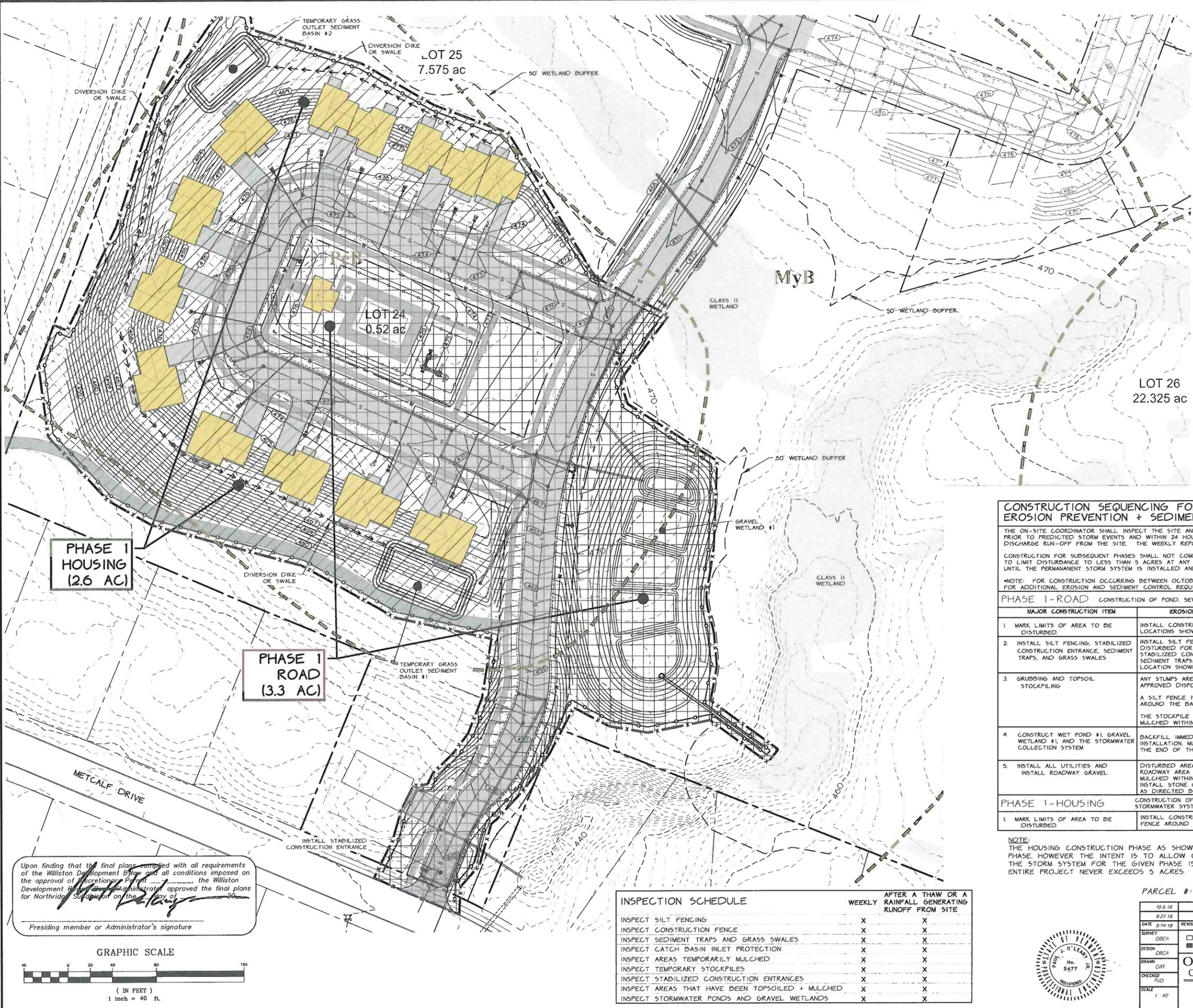
NOTE: THE HOUSING CONSTRUCTION PHASE AS SHOWN ON THIS PLAN IS SEPARATE FROM THE ROAD CONSTRUCTION PHASE. HOWEVER THE INTENT IS TO ALLOW CONSTRUCTION OF SOME HOUSES SIMULTANEOUSLY AS LONG AS THE STORM SYSTEM FOR THE GIVEN PHASE IS CONSTRUCTED AND THE AMOUNT OF DISTURBANCE FOR THE ENTIRE PROJECT NEVER EXCEEDS 5 ACRES.

PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	ALA
9-27-18	ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CDP COMMENTS RECEIVED VIA EMAIL DATED 9-24-18	ALA
DATE 9-24-18	REVISION ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CDP COMMENTS RECEIVED VIA EMAIL DATED 9-6-18	BY ALA
SURVEY	OBCA	DATE 4-9-2018
DESIGN	OBCA	DATE 2/15/2018
DRAWN	GRT	FILE 2015-89-515
CHECKED	PJO	PLAN SHEET # 17
SCALE	1" = 40'	

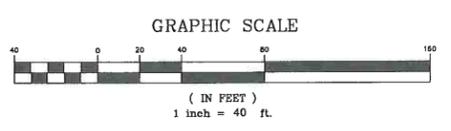


INSPECTION SCHEDULE	WEEKLY	AFTER A THAW OR A RAINFALL GENERATING RUNOFF FROM SITE
INSPECT SILT FENCING	X	X
INSPECT CONSTRUCTION FENCE	X	X
INSPECT SEDIMENT TRAPS AND GRASS SWALES	X	X
INSPECT CATCH BASIN INLET PROTECTION	X	X
INSPECT AREAS TEMPORARILY MULCHED	X	X
INSPECT TEMPORARY STOCKPILES	X	X
INSPECT STABILIZED CONSTRUCTION ENTRANCES	X	X
INSPECT AREAS THAT HAVE BEEN TOPSOILED + MULCHED	X	X
INSPECT STORMWATER PONDS AND GRAVEL WETLANDS	X	X

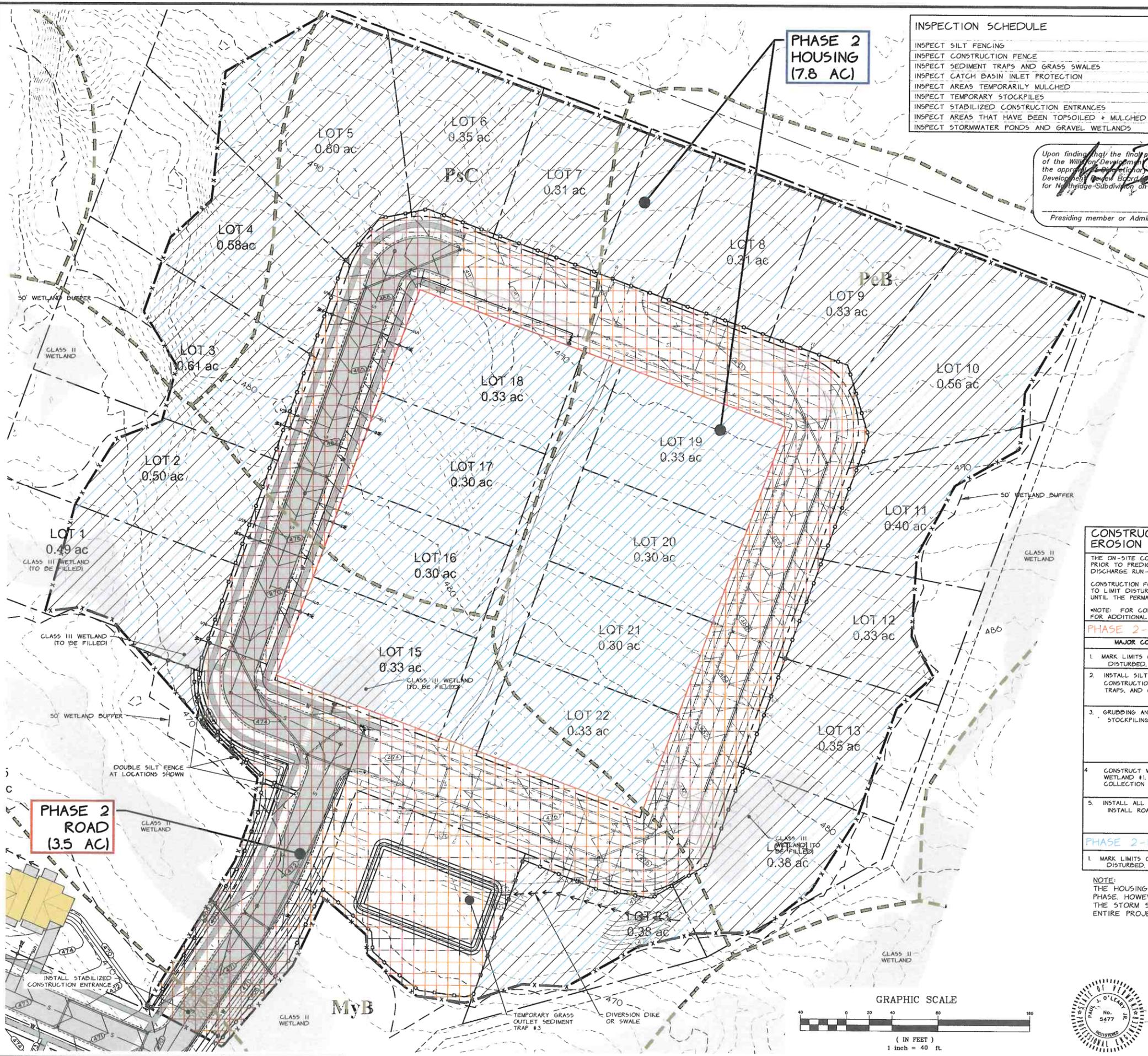


Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of the Secretary of Planning, the Williston Development Board Administrator approved the final plans for Northridge Subdivision on the 15th day of August, 2018.

*[Signature]*  
Presiding member or Administrator's signature



FINAL PLANS



**PHASE 2 HOUSING (7.8 AC)**

**PHASE 2 ROAD (3.5 AC)**

INSPECTION SCHEDULE	WEEKLY	AFTER A THAW OR A RAINFALL GENERATING RUNOFF FROM SITE
INSPECT SILT FENCING	X	X
INSPECT CONSTRUCTION FENCE	X	X
INSPECT SEDIMENT TRAPS AND GRASS SWALES	X	X
INSPECT CATCH BASIN INLET PROTECTION	X	X
INSPECT AREAS TEMPORARILY MULCHED	X	X
INSPECT TEMPORARY STOCKPILES	X	X
INSPECT STABILIZED CONSTRUCTION ENTRANCES	X	X
INSPECT AREAS THAT HAVE BEEN TOPSOILED + MULCHED	X	X
INSPECT STORMWATER PONDS AND GRAVEL WETLANDS	X	X

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of the Conditional Permit No. 2015-08-001, the Williston Development Review Board on this day approved the final plans for Northridge Subdivision on the day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Presiding member or Administrator's signature

### Legend

- PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- OTHER PROPERTY LINE
- SETBACK
- SIDELINE OF EASEMENT
- CONTOUR LINE ( U.S.G.S. DATUM )
- PROPOSED FINISH GRADE CONTOUR
- EDGE OF WOODED AREA
- EXISTING SEWERLINE
- EXISTING WATERLINE
- EXISTING NATURAL GASLINE
- EXISTING/PROPOSED HYDRANT
- SOIL TYPE + BOUNDARY
- PROPOSED LIGHTS
- RETAINING WALL
- UNDERDRAIN
- CONSTRUCTION FENCE AND LIMIT OF DISTURBANCE
- SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION

NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE

**FINAL PLANS**

**WINTER GUIDELINES FOR EROSION PREVENTION + SEDIMENT CONTROL**

- ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
- ALL SILT FENCE OR OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE IN PLACE PRIOR TO GROUND FREEZING.
- WHEN MULCH IS REQUIRED FOR STABILIZATION DOUBLE THE STANDARD RATE SHALL BE APPLIED.
- TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
  - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
  - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
- PRIOR TO STABILIZATION SNOW AND ICE MUST BE REMOVED TO DEPTH OF NO LESS THAN 1 IN.
- ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF BEING BROUGHT TO FINISH GRADE.

**CONSTRUCTION SEQUENCING FOR EROSION PREVENTION + SEDIMENT CONTROL**

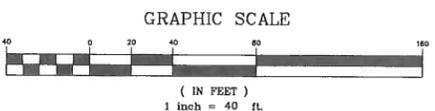
THE ON-SITE COORDINATOR SHALL INSPECT THE SITE AND THE SEDIMENT CONTROL MEASURES A MINIMUM OF ONCE EVERY SEVEN DAYS, PRIOR TO PREDICTED STORM EVENTS AND WITHIN 24 HOURS FOLLOWING ANY PRECIPITATION WITH A VOLUME LARGE ENOUGH TO DISCHARGE RUN-OFF FROM THE SITE. THE WEEKLY REPORT AND EROSION CONTROL PLAN WILL BE KEPT ON-SITE.

CONSTRUCTION FOR SUBSEQUENT PHASES SHALL NOT COMMENCE UNTIL SUFFICIENT AREA HAS BEEN STABILIZED IN THE PREVIOUS PHASE TO LIMIT DISTURBANCE TO LESS THAN 5 ACRES AT ANY ONE TIME. NO HOUSE CONSTRUCTION OR FURTHER PHASES MAY COMMENCE UNTIL THE PERMANENT STORM SYSTEM IS INSTALLED AND STABILIZED (DETENTION POND IN PHASE II).

NOTE: FOR CONSTRUCTION OCCURRING BETWEEN OCTOBER 15 AND APRIL 15 REFER TO THE WINTER EROSION CONTROL GUIDELINES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

MAJOR CONSTRUCTION ITEM	EROSION CONTROL	MAINTENANCE
1. MARK LIMITS OF AREA TO BE DISTURBED.	INSTALL CONSTRUCTION FENCING AT LOCATIONS SHOWN ON PLAN.	MAINTAIN UNTIL CONSTRUCTION WITHIN PHASE 1 IS COMPLETED AND STABILIZED.
2. INSTALL SILT FENCING, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, AND GRASS SWALES	INSTALL SILT FENCING AROUND AREA TO BE DISTURBED FOR ROAD CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, AND GRASS SWALES AT LOCATION SHOWN.	MAINTAIN SILT FENCE AND REMOVE DEPOSITS OF SILT. REMOVE AND REPLACE STONE AT ENTRANCE AS ORDERED BY THE ON-SITE COORDINATOR.
3. GRUBBING AND TOPSOIL STOCKPILING	ANY STUMPS ARE DISPOSED OF AT AN APPROVED DISPOSAL SITE. A SILT FENCE IS TO BE INSTALLED AROUND THE BASE OF THE STOCKPILE. THE STOCKPILE IS TO BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACEMENT.	THE SILT FENCE IS TO BE MAINTAINED UNTIL THE STOCKPILE HAS BEEN REMOVED. IN-USE AREAS OF THE STOCKPILE AREA TO BE RESEEDED AND REMULCHED IF OPEN AND UNUSED FOR MORE THAN A WEEK.
4. CONSTRUCT WET POND #1, GRAVEL WETLAND #1, AND THE STORMWATER COLLECTION SYSTEM	BACKFILL IMMEDIATELY FOLLOWING INSTALLATION. MULCH DISTURBED AREAS AT THE END OF THAT WORK WEEK.	MAINTAIN MULCH AS NECESSARY.
5. INSTALL ALL UTILITIES AND INSTALL ROADWAY GRAVEL	DISTURBED AREAS OUTSIDE OF THE ROADWAY AREA TO BE SEEDED AND MULCHED WITHIN 14 DAYS OF DISTURBANCE. INSTALL STONE CHECK DAMS AS SHOWN AND AS DIRECTED BY ON-SITE COORDINATOR.	MULCHED AREAS ARE TO BE INSPECTED AND MAINTAINED WEEKLY OR IMMEDIATELY FOLLOWING A RAIN OR THAW EVENT THAT GENERATES RUNOFF FROM THE SITE.
<b>PHASE 2 - HOUSING</b>		
1. MARK LIMITS OF AREA TO BE DISTURBED.	INSTALL CONSTRUCTION FENCING / SILT FENCE AROUND AREA TO BE DISTURBED	MAINTAIN UNTIL FOUNDATION / DRIVEWAY AREA IS TOPSOILED, SEEDED AND MULCHED AND GRASS IS ESTABLISHED.

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PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON: ADDED APPROVAL SIGNATURE BLOCK	AJA
9-27-18	ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER COP COMMENTS RECEIVED VIA EMAIL DATED 9-24-18	AJA
9-24-18	REVISION ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER COP COMMENTS RECEIVED VIA EMAIL DATED 9-6-18	BY: AJA

DESIGN: OBCA  
DRAWN: GRT  
CHECKED: PJC  
SCALE: 1" = 40'

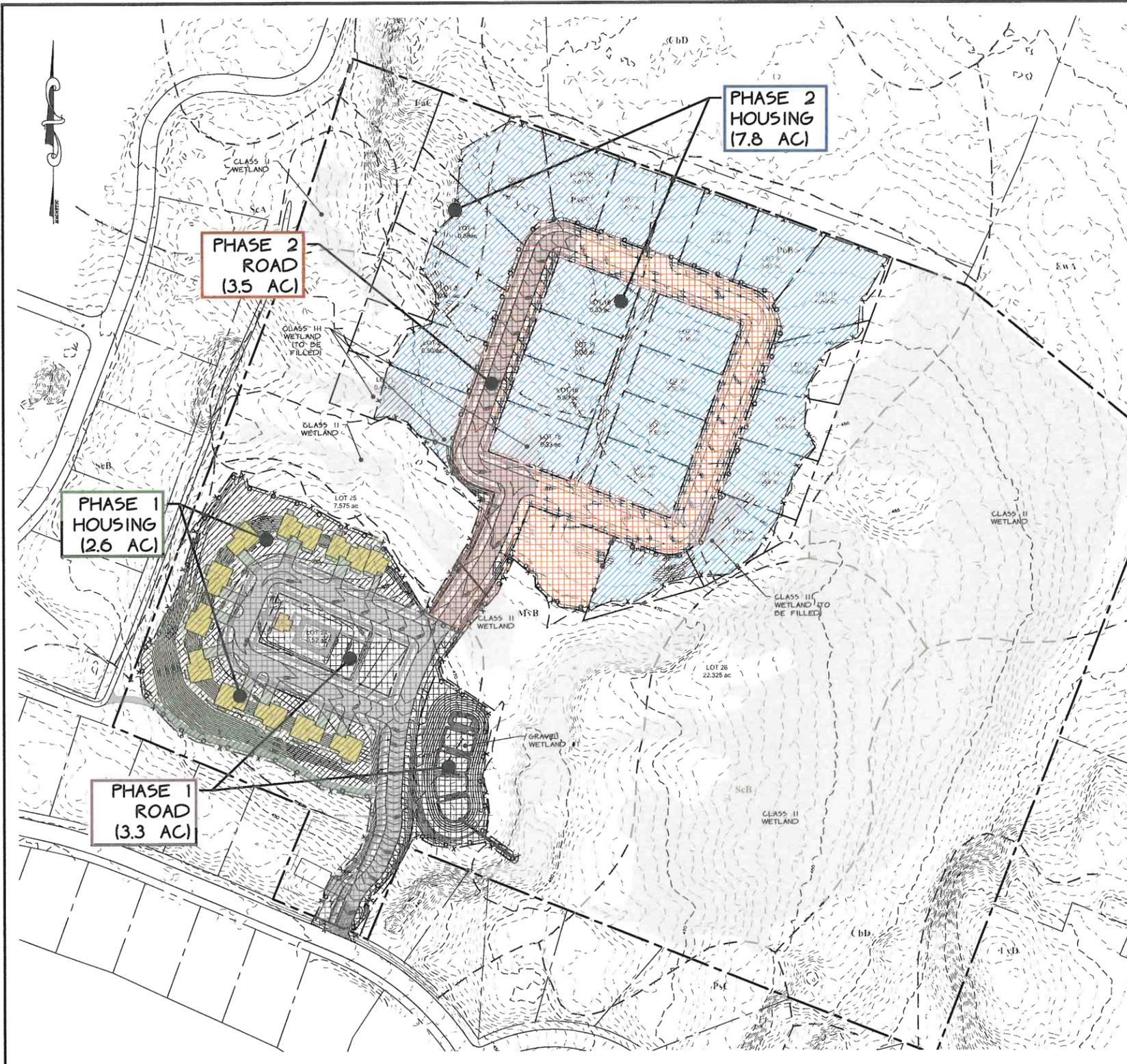
**O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.**  
113 COMMERCIAL DRIVE, SUITE 107, WILLISTON, VT 05477  
PHONE: 802-892-3800 FAX: 802-892-3800 EMAIL: ocb@olearyburke.com

**Northridge Subdivision**

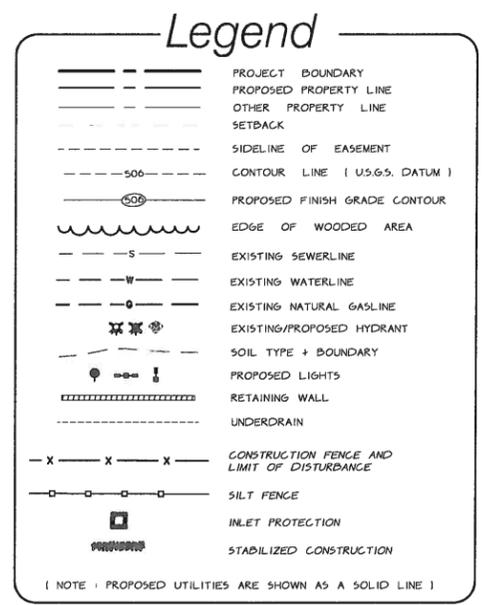
**EROSION CONTROL PHASE 2 CONSTRUCTION**

DATE: 4-25-2018  
JOB#: 2015-88  
FILE: 2015-88-S15  
PLAN SHEET 1

**18**



- GENERAL NOTES :**
- THE PURPOSE OF THESE PLANS IS TO :
    - MINIMIZE THE AREA OF DISTURBED SOILS AND TO MINIMIZE THE DURATION THAT ANY AREAS ARE LEFT OPEN
    - ISOLATE THE AREAS OF DISTURBANCE TO PREVENT AND CONTROL EROSION CAUSED BY RUN-OFF.
    - CONTROL THE AMOUNTS OF SEDIMENT THAT MAY RESULT FROM ANY SITE EROSION.
  - A COPY OF THE CONSTRUCTION GENERAL PERMIT AND A SET OF THE PLANS WILL BE AVAILABLE ON-SITE.
  - THE ON-SITE COORDINATOR SHALL INSPECT AND KEEP A WRITTEN RECORD OF THE EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES AT A MINIMUM OF ONCE A WEEK AND ALSO WITHIN 24 HOURS OF ANY STORM EVENT THAT DISCHARGES RUN-OFF FROM THE SITE.
  - THE ON-SITE COORDINATOR SHALL KEEP A WRITTEN RECORD OF EROSION CONTROL INSPECTIONS AND ANY MONITORING DATA FOR A MINIMUM OF THREE (3) YEARS FOLLOWING COMPLETION OF CONSTRUCTION.



- WINTER GUIDELINES FOR EROSION PREVENTION + SEDIMENT CONTROL**
- ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
  - ALL SILT FENCE OR OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE IN PLACE PRIOR TO GROUND FREEZING.
  - WHEN MULCH IS REQUIRED FOR STABILIZATION DOUBLE THE STANDARD RATE SHALL BE APPLIED.
  - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
    - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
    - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
  - BEFORE STABILIZATION SNOW AND ICE MUST BE REMOVED TO A DEPTH OF NO LESS THAN 1 IN.
  - ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF BEING BROUGHT TO FINISH GRADE.

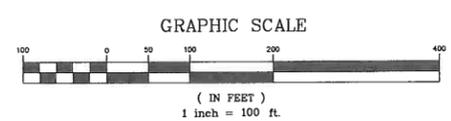
INSPECTION SCHEDULE	WEEKLY	AFTER A THAW OR A RAINFALL GENERATING RUNOFF FROM SITE
INSPECT SILT FENCING	X	X
INSPECT CONSTRUCTION FENCE	X	X
INSPECT SEDIMENT TRAPS AND GRASS SWALES	X	X
INSPECT CATCH BASIN INLET PROTECTION	X	X
INSPECT AREAS TEMPORARILY MULCHED	X	X
INSPECT TEMPORARY STOCKPILES	X	X
INSPECT STABILIZED CONSTRUCTION ENTRANCES	X	X
INSPECT AREAS THAT HAVE BEEN TOPSOILED + MULCHED	X	X
INSPECT STORMWATER PONDS AND GRAVEL WETLANDS	X	X

**POST-CONSTRUCTION SEQUENCING FOR EROSION PREVENTION + SEDIMENT CONTROL**

**POST-CONSTRUCTION PHASE** FINAL INSPECTION OF THE EROSION CONTROL DEVICES TO BE REMOVED AFTER AREAS ARE STABILIZED

MAJOR CONSTRUCTION ITEM	EROSION CONTROL	MAINTENANCE
1. CHECK PERIMETER WHERE DELINEATED CONSTRUCTION LIMITS WERE PLACED.	IF PERIMETER IS STABILIZED AND GRASS IS ESTABLISHED, REMOVE FENCES	
2. DURING CONSTRUCTION POND STORM SYSTEMS WERE STABILIZED WITH MATTING.	CHECK STORM POND AND OUTFALLS TO MAKE SURE EVERYTHING IS STABILIZED. CHECK OVERALL SITE FOR ANY PROBLEM AREAS.	SEED AND MULCH ANY DISTURBED AREAS.
3. THE HOUSE CONSTRUCTION PHASES WILL CONTINUE TO OCCUR AFTER THE ROAD CONSTRUCTION IS COMPLETE. SITE CONTRACTOR SHALL CHECK ENTIRE SITE WORKED FOR STABILITY BEFORE DE-MOBILIZING FROM THE SITE. HOUSE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS AND NOTES SHOWN ON THE EROSION CONTROL PLANS.	INSTALL LIMITS OF CONSTRUCTION AROUND HOUSE SITE AND SILT FENCE ON THE DOWNHILL SIDE. ANY EXCAVATION STOCKPILES OR AGGREGATE TO BE USED FOR THE FOUNDATION MUST HAVE A SILT FENCE AROUND IT AND SOIL PILES ARE TO BE SEEDED AND MULCHED IF THEY ARE TO REMAIN FOR MORE THAN 14 DAYS.	THE SILT FENCE IS TO BE MAINTAINED UNTIL THE STOCKPILE HAS BEEN REMOVED. IN-USE AREAS OF THE STOCKPILE AREA TO BE RESEEDED AND REMULCHED IF OPEN AND UNUSED FOR MORE THAN 14 DAYS. IF CONSTRUCTION IS WITHIN THE WINTER TIMEFRAME, SEE ADDITIONAL WINTER GUIDELINES ON THIS SHEET.

**NOTE:**  
THE HOUSING CONSTRUCTION PHASE AS SHOWN ON THIS PLAN IS SEPARATE FROM THE ROAD CONSTRUCTION PHASE. HOWEVER THE INTENT IS TO ALLOW CONSTRUCTION OF SOME HOUSES SIMULTANEOUSLY AS LONG AS THE STORM SYSTEM FOR THE GIVEN PHASE IS CONSTRUCTED AND THE AMOUNT OF DISTURBANCE FOR THE ENTIRE PROJECT NEVER EXCEEDS 5 ACRES.



**FINAL PLANS**

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_ the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matthew Blom*  
Presiding member or Administrator's signature



PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

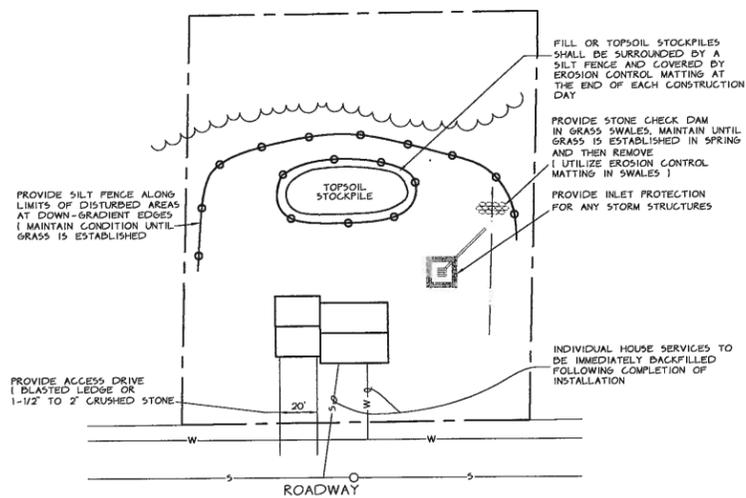
10-5-18	FINAL APPROVAL BY TOWN OF WILLISTON. ADDED APPROVAL SIGNATURE BLOCK.	ALA
9-27-18	ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CGP COMMENTS RECEIVED VIA EMAIL DATED 9-24-18	ALA
DATE 9-24-18	REVISION ADDED TEMPORARY SEDIMENT BASIN AND GRASS SWALES PER CGP COMMENTS RECEIVED VIA EMAIL DATED 9-6-18	BY: ALA
SURVEY	OBCA	DATE 4-9-2018
DESIGN	OBCA	FILE 2015-89-515
DRAWN	GRT	PLAN SHEET #
CHECKED	PJD	18A
SCALE	1" = 100'	

**O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.**

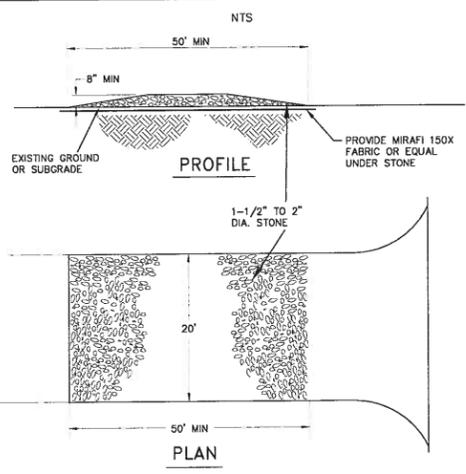
11 CORNHILL DRIVE, FERRISBURGH, VT 05747  
PHONE: 878-8933 FAX: 878-5883  
E-MAIL: OLEARY@OBSYSTEMS.COM

**Northridge Subdivision**

**EROSION CONTROL STABILIZATION PLAN**

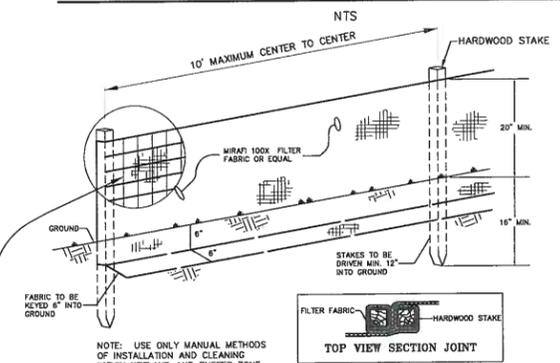


INDIVIDUAL LOT  
EROSION AND SEDIMENT CONTROL  
( FOR SUMMER CONSTRUCTION )



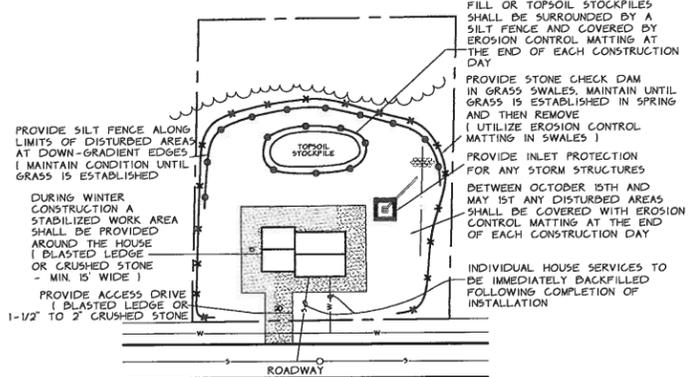
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
  2. THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING DRY PERIODS.
  3. PROVIDE APPROPRIATE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND EDGE OF RIGHT-OF-WAY.

STABILIZED CONSTRUCTION ENTRANCE

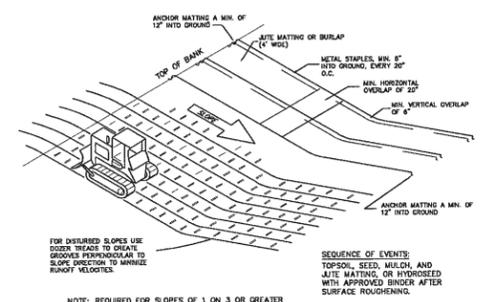


- NOTES:
1. WHERE SILT FENCE IS WITHIN 100' UPSLOPE OF RECEIVING WATERS, ADDITIONAL WOVEN WIRE FENCE SHALL BE SECURELY FASTENED TO FENCE POSTS WITH WIRE TIES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140X OR APPROVED EQUAL.
  4. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE OR APPROVED EQUIVALENT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT REACHES HALF OF FABRIC HEIGHT.

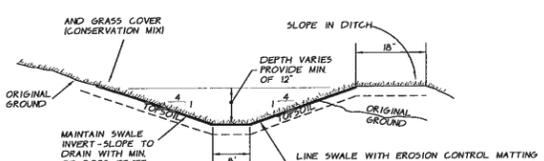
TEMPORARY SILT FENCE



INDIVIDUAL LOT  
EROSION AND SEDIMENT CONTROL  
( FOR WINTER CONSTRUCTION )



SLOPE RESTORATION

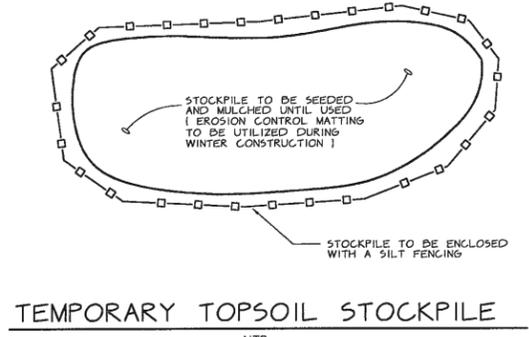


GRASS DRAINAGE SWALE

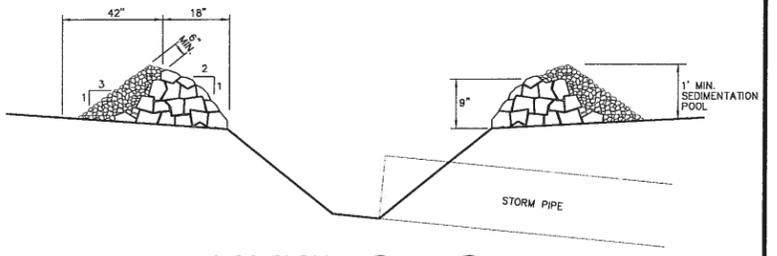
URBAN MIX GRASS SEED			
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED	
37.5	45	CREEPING RED FESCUE	
31.25	37.5	KENTUCKY BLUEGRASS	
31.25	37.5	WINTER HARDY, PERENNIAL RYE	
100	120	LIVE SEED PER ACRE	

LANDSCAPING SPECIFICATIONS

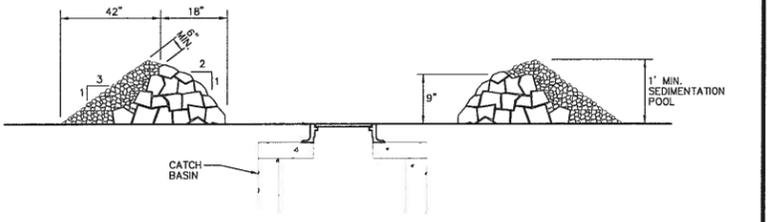
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO NOVEMBER 1 OF EACH YEAR. ANY DISTURBED AREAS SHALL BE IMMEDIATELY SEEDDED AND MULCHED WITHIN 14 DAYS. ANY WORK PERFORMED AFTER OCTOBER 1 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND BE SEEDDED, FERTILIZED, LIMED, AND MULCHED IN ACCORDANCE WITH THE FOLLOWING:
1. SEED MIXTURE IN ALL AREAS SHALL BE URBAN MIX CONFORMING TO THE TABLE SHOWN ON THE PLANS. FOR SEEDING BETWEEN SEPTEMBER 1 AND NOVEMBER 1, WINTER RYE SHALL BE USED AT AN APPLICATION RATE OF 100 POUNDS PER ACRE.
  2. FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE CONFORMING TO THE STATE FERTILIZER LAW AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. DRY FERTILIZER, IF USED, SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE IN A 10-10-10 RATIO. LIQUID FERTILIZER, IF USED, SHALL BE APPLIED IN A 1-2-1 RATIO WITH THE MINIMUM RATE TO INCLUDE 100 POUNDS OF NITROGEN, 200 POUNDS OF PHOSPHATE, AND 100 POUNDS OF POTASH PER ACRE.
  3. LIMESTONE SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. THE LIMESTONE SHALL BE APPLIED AT A RATE OF TWO TONS PER ACRE OR AS DIRECTED.
  4. WITHIN 24 HOURS OF APPLICATION OF FERTILIZER, LIME, AND SEED, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A RATE OF TWO TONS PER ACRE OR AS ORDERED BY THE ENGINEER.



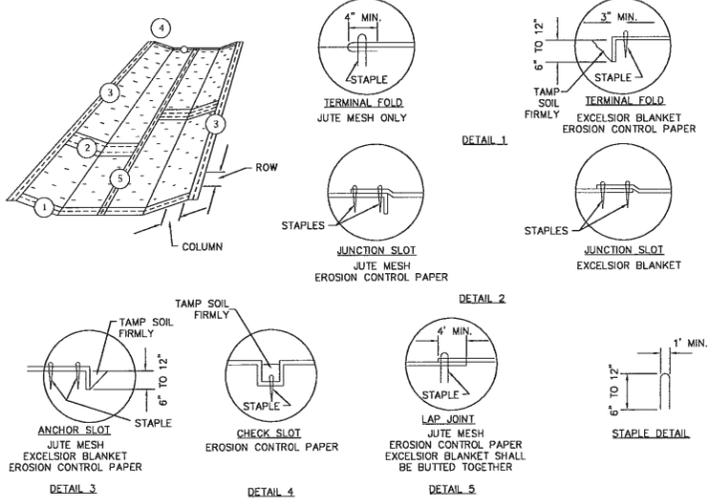
TEMPORARY TOPSOIL STOCKPILE



SECTION B - B



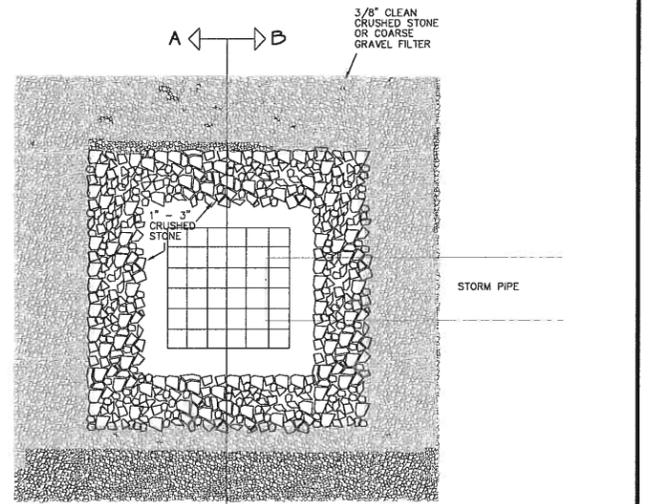
SECTION A - A



CONSTRUCTION SPECIFICATIONS

1. SPACING: INSTALL RECP EVERY 50' ON SLOPES MORE THAN 4% AND LESS THAN 6% ON SLOPES OF 6% OR MORE. THEY SHALL BE SPACED SO THAT ONE OCCURS WITHIN EACH 25'.
2. STAPLES ARE TO BE PLACED ALTERNATELY IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 225' ROLL OF MATERIAL AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
3. DISTURBED AREA SHALL BE SMOOTHLY GRADED TO ENSURE CLOSE CONTACT BETWEEN RECP AND GROUND.
4. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GROUND SURFACE. DO NOT STRETCH.
5. ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

ROLLED EROSION CONTROL PRODUCT



INLET PROTECTION DETAIL

**FINAL PLANS**

Upon finding that the final plans comply with all requirements of the Williston Development Plan and all conditions imposed on the approval of the Williston Development Plan, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on 11/14/2018.

Presiding member or Administrator's signature



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

MULCH MATERIAL	QUALITY STANDARDS	PER 1000 SQ.FT.	PER ACRE	DEPTH OF APPLICATION	REMARKS
WOOD CHIPS OR SHAVINGS	AIR DRIED; FREE OF OBJECTIONABLE COARSE MATERIAL	500-900 LBS.	10-20 TONS	2-7"	USED PRIMARILY AROUND SHRUB AND TREE PLANTINGS AND RECREATION TRAILS TO INHIBIT WEED COMPETITION. RESISTANT TO WIND BLOWING. DECOMPOSES SLOWLY.
WOOD FIBER CELLULOSE (PARTLY DIGESTED WOOD FIBERS)	MADE FROM NATURAL WOOD USUALLY WITH GREEN DYE AND DISPERSING AGENT	50 LBS.	2,000 LBS.		APPLY WITH HYDROMULCHER. NO TIE DOWN REQUIRED. LESS EROSION CONTROL PROVIDED THAN 2 TONS OF HAY OR STRAW.
GRAVEL, CRUSHED STONE OF SLAG	WASHED; SIZE 2B OR 3A 1-1/2"	9 CY.	405 CY.	3"	EXCELLENT MULCH FOR SHORT SLOPES AND AROUND PLANTS AND ORNAMENTALS. USE 2B WHERE SUBJECT TO TRAFFIC. FREQUENTLY USED OVER FILTER FABRIC FOR BETTER WEED CONTROL.
HAY OR STRAW	AIR-DRIED; FREE OF UNDESIRABLE SEEDS & COARSE MATERIALS	90-100 LBS. 2-3 BALES	2 TONS (100-120 BALES)	COVER ABOUT 90% SURFACE	USE SMALL GRAIN STRAW WHERE MULCH IS MAINTAINED FOR MORE THAN THREE MONTHS. SUBJECT TO WIND BLOWING UNLESS ANCHORED. MOST COMMONLY USED MULCHING MATERIAL. PROVIDES THE BEST MICRO-ENVIRONMENTS FOR GERMINATING SEEDS.
COMPOSE	UP TO 3" PIECES MODERATELY TO HIGHLY STABLE	3-9 CY.	134 - 402 CY.	1 - 3"	COARSER TEXTURED MULCHES MAY BE MORE EFFECTIVE IN REDUCING WEED GROWTH AND WIND EROSION.

PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

10.5.18 FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK  
 DATE: 9-24-18 REVISION: ADDED GRASS SWALE DETAIL PER CGP COMMENTS RECEIVED VIA EMAIL DATED 9-6-18 BY: AJA

DESIGN: OBCA  
 DRAWN: GRI  
 CHECKED: PJO  
 SCALE: AS SHOWN

13 CORPORAL DRIVE  
 ESSEX, VT 05732  
 PHONE: 802-890-1444 FAX: 802-890-1444

Northridge Subdivision  
 EROSION CONTROL DETAILS

DATE: 4-2-2018  
 FILE: 2015-88-S15  
 PLAN SHEET # 19

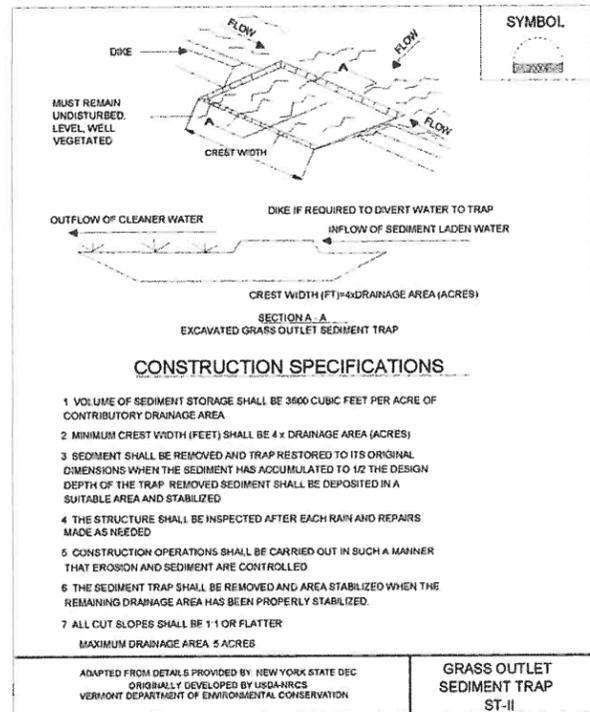


Figure 5.5 Grass Outlet Sediment Trap ST-II

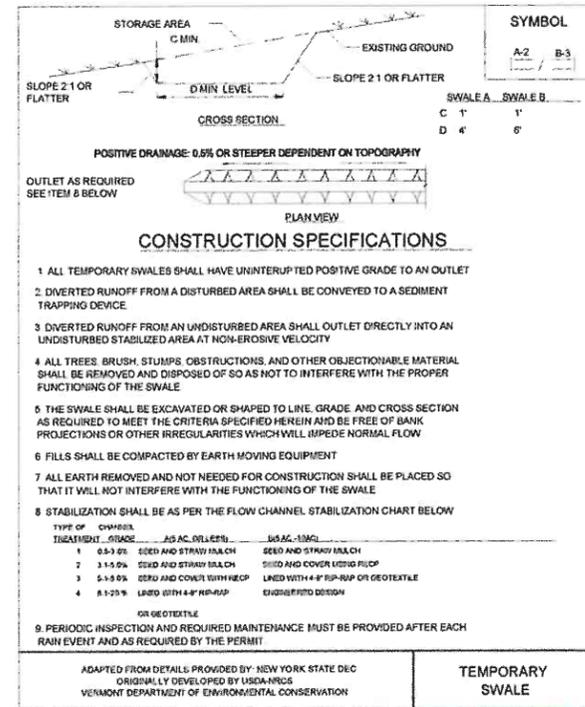


Figure 4.17 Temporary Swale

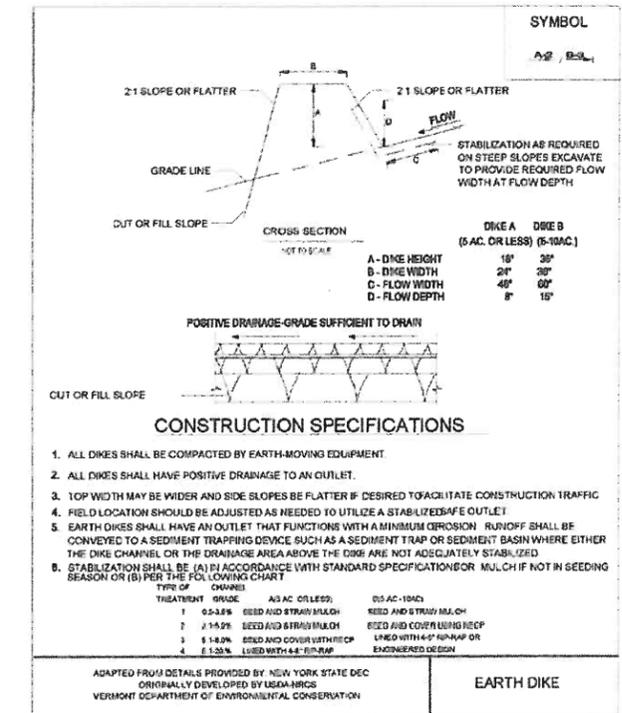


Figure 4.16 Earth Dike

SEDIMENT TRAP NUMBER	SEDIMENT TRAP TYPE	DRAINAGE AREA	STORAGE REQUIRED	STORAGE PROVIDED	MINIMUM CREST WIDTH	STORAGE DEPTH BELOW CLEANOUT	TOTAL DEPTH	BOTTOM DIMENSIONS	SIDE SLOPES
1	GRASS OUTLET	25 ACRES (1A)	9,000 CF	9,360 CF	10 FT	1.7 FT	3 FT	30' X 70'	3H:1V
2	GRASS OUTLET	15 ACRES (2A)	5,400 CF	6,140 CF	6 FT	1.7 FT	3 FT	20' X 60'	3H:1V
3	GRASS OUTLET	4.9 ACRES (3B)	17,640 CF	19,430 CF	20 FT	1.6 FT	3 FT	50' X 100'	3H:1V

**FINAL PLANS**



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

Upon finding that the final plans comply with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on 09/16/18.

Presiding member or Administrator's signature

PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

DATE: 10-5-18 REVISION: FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK

BY: AJA DATE: 9-27-2018

DESIGN: OBCA  RECORD DRAWING  DISCRETIONARY  FINAL  SKETCH/CONCEPT

DRAWN: GRI

CHECKED: PJO

SCALE: AS SHOWN

O'LEARY-BURKE CIVIL ASSOCIATES, PLC  
13 CORPORATE DRIVE, ESSEX JCT VT, PHONE: 802-889-0100 FAX: 802-889-0100

Northridge Subdivision

EROSION CONTROL DETAILS

PLAN SHEET # 19A



### Legend

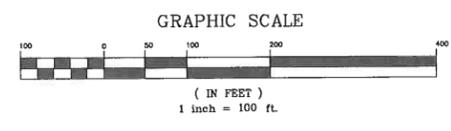
- PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- OTHER PROPERTY LINE
- SETBACK
- SIDELINE OF EASEMENT
- CONTOUR LINE ( U.S.G.S. DATUM )
- PROPOSED FINISH GRADE CONTOUR
- EDGE OF WOODED AREA
- EXISTING SEWERLINE
- EXISTING WATERLINE
- EXISTING NATURAL GASLINE
- EXISTING/PROPOSED HYDRANT
- SOIL TYPE + BOUNDARY
- PROPOSED LIGHTS
- RETAINING WALL
- UNDERDRAIN

( NOTE - PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE )

CONSTRAINT	HATCH	ACRES	ALLOWABLE DWELLING UNITS PER ACRE	ALLOWABLE DWELLING UNITS
WETLANDS AND WETLAND BUFFERS		24.97	0	0
SLOPES >30%		0.20	0	0
SLOPES 15% - 29.9%		1.09	1	1
UNCONSTRAINED		18.36	3	55
TOTAL		44.62	N/A	56

\* AREA NOT ALREADY INCLUDED WITHIN WETLANDS AND WETLAND BUFFERS

# FINAL PLANS



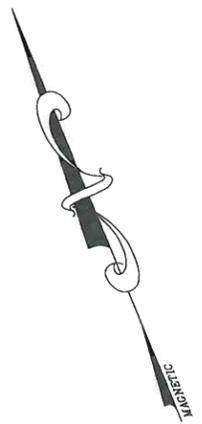
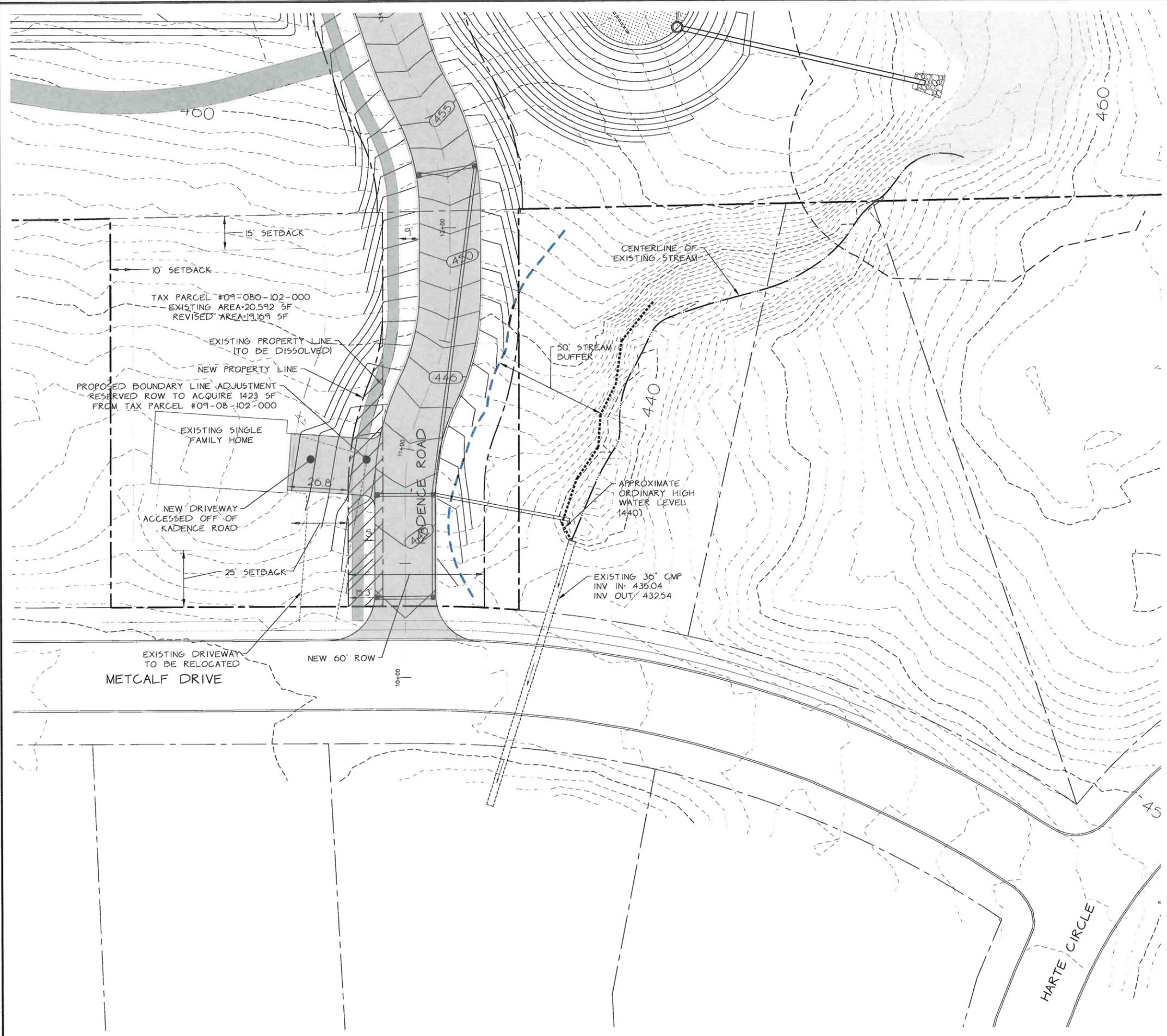
Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*North Island*  
Presiding member or Administrator's signature



PARCEL #: 09-012-043-000 AND 09-080-102-000 DP 17-01

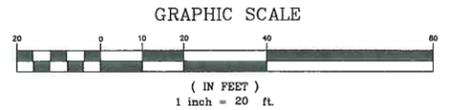
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SCALE: 1" = 100'	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> FINAL <input type="checkbox"/> DISCRETIONARY <input type="checkbox"/> SKETCH/CONCEPT	FILE: 2015-88-515
O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C. 11 COMMERCIAL DRIVE, FERRIS, VT 05752 PH: 802.878.8930 FAX: 802.878.8930 WWW.OLEARYBURKE.COM		PLAN SHEET #
Northridge Subdivision Constraints Analysis		20



**Legend**

- PROJECT BOUNDARY
  - PROPOSED PROPERTY LINE
  - OTHER PROPERTY LINE
  - SETBACK
  - SIDELINE OF EASEMENT
  - CONTOUR LINE ( U.S.G.S. DATUM )
  - PROPOSED FINISH GRADE CONTOUR
  - EDGE OF WOODED AREA
  - EXISTING SEWERLINE
  - EXISTING WATERLINE
  - EXISTING NATURAL GASLINE
  - EXISTING/PROPOSED HYDRANT
  - SOIL TYPE + BOUNDARY
  - PROPOSED LIGHTS
  - RETAINING WALL
  - UNDERDRAIN
- [ NOTE : PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE ]

**FINAL PLANS**



Upon finding that the final plans complied with all requirements of the Williston Development Review Board and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*[Signature]*  
 Presiding member or Administrator's signature

PARCEL #: 09-012-043-000 AND 09-080-102-000		DP 17-01
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DRAWN: AJA	O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.	
CHECKED: PJO	11 CORNHILL DRIVE, FERRY'S CTR. VT. PHONE: 878-8830 FAX: 878-3883 E-MAIL: oob@olearyburke.com	
SCALE: 1" = 20'	Northridge Subdivision	
	20-Scale Access Plan	
		21



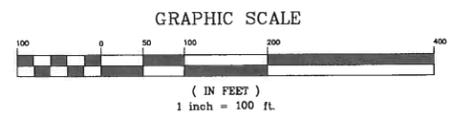
### Legend

METCALF DRIVE			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
COYOTE LANE			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
36" CMP			
	GRASS		MEADOW
	WOODS		IMPERVIOUS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matthew Blaney*  
 Presiding member or Administrator's signature

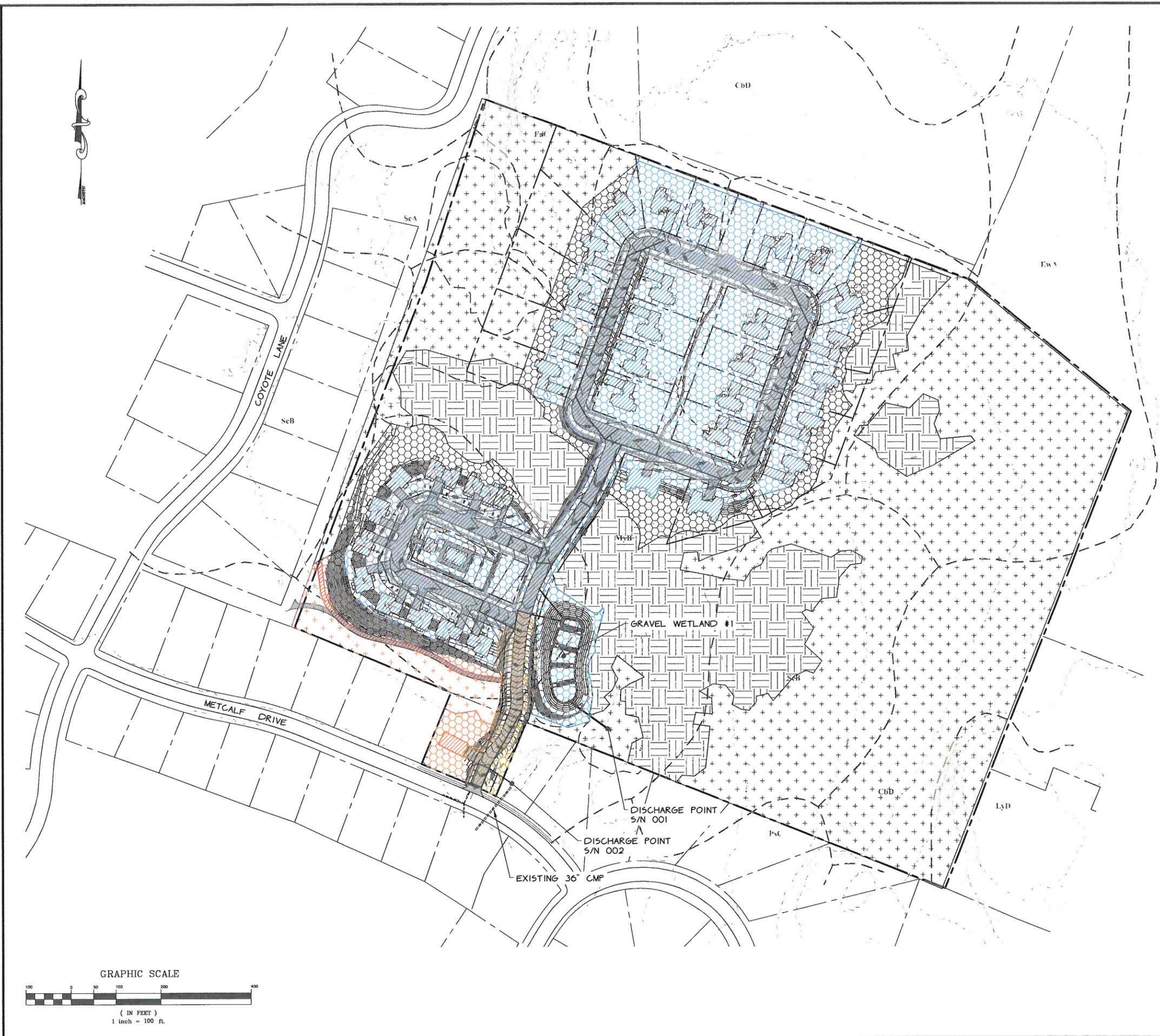
## FINAL PLANS



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DRAWN: AJA	<b>O'LEARY-BURKE CIVIL ASSOCIATES, PLC</b>	DATE: 2015-28-S15
CHECKED: PLJO	10 CORPORATE DRIVE ESSEX, VT PHONE: 802-890- FAX: 802-890- WWW: o'learyburke.com	PLAN SHEET #
SCALE: 1"=100'		<b>22</b>

*Northridge Subdivision*

*Pre-Development Stormwater Plan*



Legend

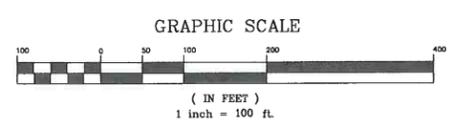
METCALF DRIVE			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
COYOTE LANE			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
36" CMP - UNDISTURBED			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
36" CMP - UNTREATED (S/N 002)			
	GRASS		MEADOW
	WOODS		IMPERVIOUS
36" CMP - STP (S/N 001)			
	GRASS		MEADOW
	WOODS		IMPERVIOUS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matt Blaney*  
 Presiding member or Administrator's signature

**FINAL PLANS**

DATE: 10-2-18	REVISION: FINAL APPROVAL BY TOWN OF WILLISTON - ADDED APPROVAL SIGNATURE BLOCK	BY: AJA
DATE: 8-28-18	REVISION: HL/SLD STORMWATER SYSTEM PER STATE COMMENTS (RECEIVED VIA e-MAIL DATE 8-23-18)	DATE: 4-2-2015
SURVEY: ORCA	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE: 2015-88
DESIGN: ORCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	FILE: 2015-88 S15
DRAWN: AJA	<b>O'LEARY-BURKE CIVIL ASSOCIATES, PLC</b>	PLAN SHEET #
CHECKED: PJO	10 CORPORATE DR #1 ESSEX, VT PHONE: 878-9890 FAX: 878-9892 E-MAIL: cco@olearyburke.com	23
SCALE: 1" = 100'	Williston Vermont	





### Legend

POST-CONSTRUCTION SOIL DEPTH VERIFICATION AREA

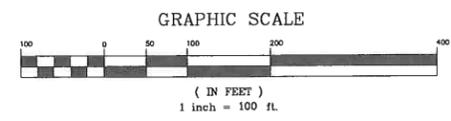
- NOTES:**
1. POST-CONSTRUCTION SOIL DEPTH VERIFICATION AREAS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY VARY BASED ON ACTUAL BUILDING FOOTPRINTS AND LOCATIONS.
  2. ALL DISTURBED AREAS ON SLOPES LESS THAN OR EQUAL TO 33% (3H:1V) WHICH ARE NOT COVERED BY AN IMPERVIOUS SURFACE, PART OF A STRUCTURAL STORMWATER PRACTICE, OR ENGINEERED AS STRUCTURAL FILL ARE SUBJECT TO THE POST-CONSTRUCTION SOIL DEPTH REQUIREMENTS BELOW.
  3. IF ADDITIONAL AREAS NOT SHOWN ON THIS PLAN ARE DISTURBED DURING CONSTRUCTION, THESE AREAS ARE SUBJECT TO THE POST-CONSTRUCTION SOIL DEPTH REQUIREMENTS ON THIS SHEET.
  4. ALL OTHER AREAS SHALL REMAIN UNDISTURBED WITH NATIVE VEGETATION AND PROTECTED AGAINST COMPACTION OR EQUIPMENT TRAFFIC DURING CONSTRUCTION.

**POST-CONSTRUCTION SOIL DEPTH REQUIREMENTS**

**SOIL REQUIREMENTS:**  
 TOPSOIL SHALL BE REMOVED AND STOCKPILED DURING THE GRADING PHASE OF THE PROJECT.  
 TOPSOIL STOCKPILES WILL BE PLACED IN A DESIGNATED CONTROLLED AREA, AT LEAST 50 FEET FROM SURFACE WATERS, WETLANDS, FLOODPLAINS, OR OTHER CRITICAL RESOURCE AREAS.  
 SUBGRADE SOILS SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 4 INCHES. EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES, THE ENTIRE SURFACE SHALL BE DISTURBED BY SCARIFICATION.  
 STOCKPILED TOPSOIL SHALL BE TESTED FOR ORGANIC CONTENT. IF THE ORGANIC CONTENT OF THE STOCKPILED SOIL IS BELOW 4% THEN COMPOST SHALL BE INCORPORATED INTO THE TOPSOIL. COMPOST MAY BE ADDED AT 1" OF COMPOSTED MATERIAL WITH AN ORGANIC MATTER CONTENT BETWEEN 40-65% ROTOTILLED INTO 3" OF SOIL, OR A CALCULATED AMOUNT OF COMPOSTED MATERIAL OR APPROVED ORGANIC MATERIAL ROTOTILLED INTO A DEPTH OF SOIL NEEDED TO ACHIEVE 4% ORGANIC CONTENT.  
 APPROVED TOPSOIL SHALL BE SPREAD EVENLY AT A MINIMUM DEPTH OF 4 INCHES.  
 BEFORE THE SPREADING OF TOPSOIL CAN OCCUR THE ENGINEER SHALL BE PROVIDED THE SOILS TESTING RESULTS.  
**SOIL DEPTH VERIFICATION:**  
 THE ENGINEER WILL PERFORM 9 (NINE) 8 INCH DEEP TEST HOLES PER ACRE OF AREA SUBJECT TO THIS STANDARD.  
 EACH TEST HOLE SHALL BE AT LEAST 50 FEET APART FROM EACH OTHER.  
 A PHOTO AT EACH LOCATION SHALL BE TAKEN WITH A RULER CONFIRMING 4 INCHES OF TOPSOIL HAS BEEN PLACED.  
 TEST HOLES SHALL BE EXCAVATED USING ONLY A SHOVEL DRIVEN SOLELY BY A PERSON'S WEIGHT.  
**QUALITY VEGETATION:**  
 A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER TURF AREAS.

PERFORM NINE 8-INCH DEEP TEST HOLES PER ACRE SPACED A MINIMUM OF 50 FEET APART (SEE POST-CONSTRUCTION SOIL DEPTH REQUIREMENTS ON THIS SHEET)

**FINAL PLANS**



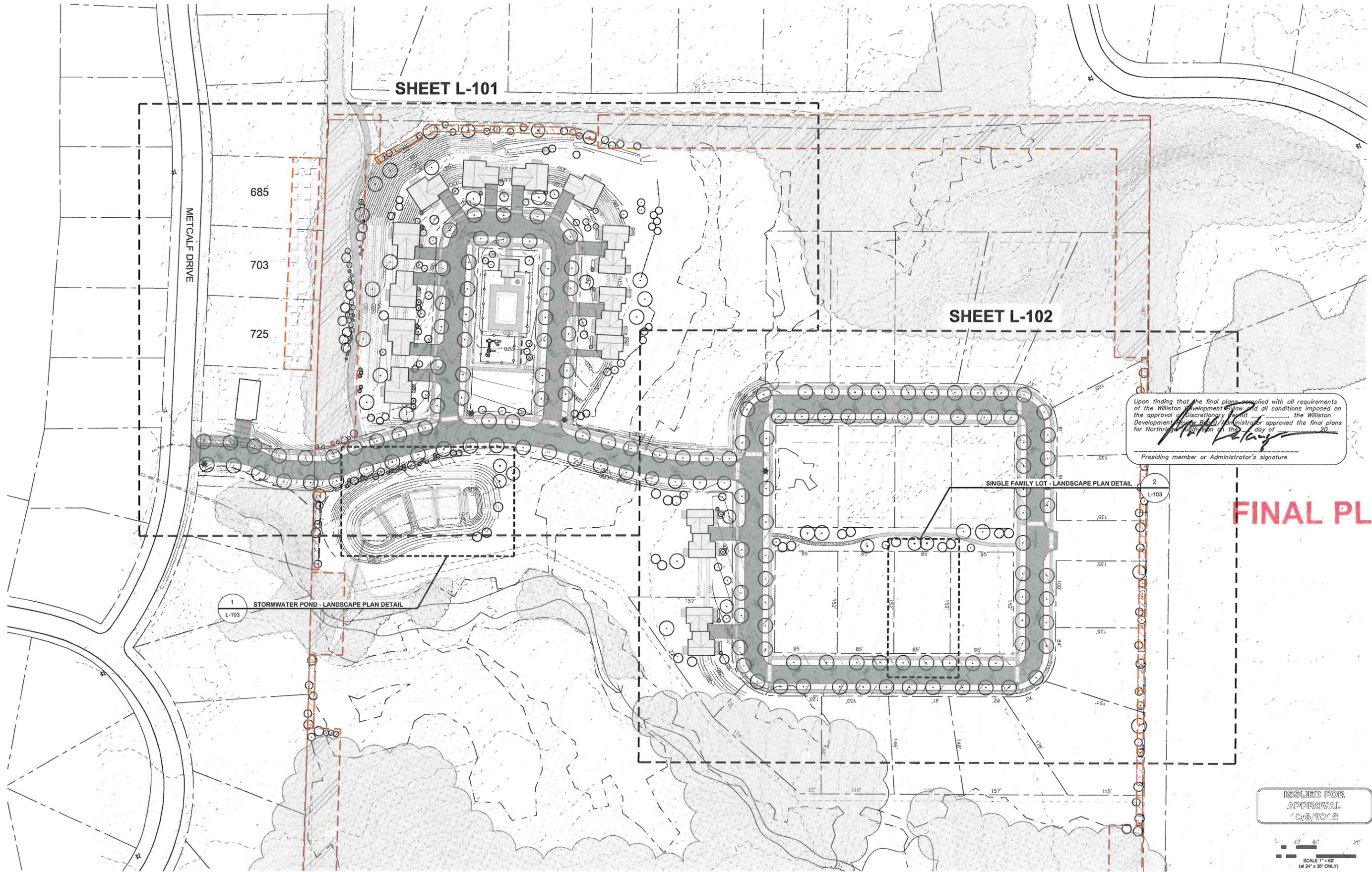
Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_ the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matt Pelan*  
 Presiding member or Administrator's signature

PARCEL #: 09-012-043-000 AND 09-080-102-000		DP 17-01
DATE: 8-28-18	REVISION: REVISED STORMWATER SYSTEM PER STATE COMMENTS RECEIVED VIA E-MAIL DATE 8-23-18	BY: AJA
SURVEY: OBCA	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> DISCRETIONARY	DATE: 4-2-2018
DESIGN: OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB#: 2015-88
DRAWN: AJA	<b>O'LEARY-BURKE CIVIL ASSOCIATES, PLC</b>	FILE: 2015-88-S15
CHECKED: PJO	18 COPPINHART DRIVE ESSEX, VT PHONE: 802-889-0000 112 816 8000 E-MAIL: ocburke@olearyburke.com	PLAN SHEET #
SCALE: 1" = 100'	Williston Vermont	<b>24</b>

*Northridge Subdivision*

*Post-Construction Soils Plan*



Upon finding that the final plans comply with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board/Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*[Signature]*

Presiding member or Administrator's signature

**FINAL PLANS**

ISSUED FOR APPROVAL  
05/2018

SCALE 1" = 60'  
(at 24" x 36" ONLY)

revisions	date
Planting Plan Revision	02/01/2018
Buffer and Sheet Layout Revisions	09/11/2018
Williston Approval Block	10/5/2018

T. J. Boyle Associates, LLC

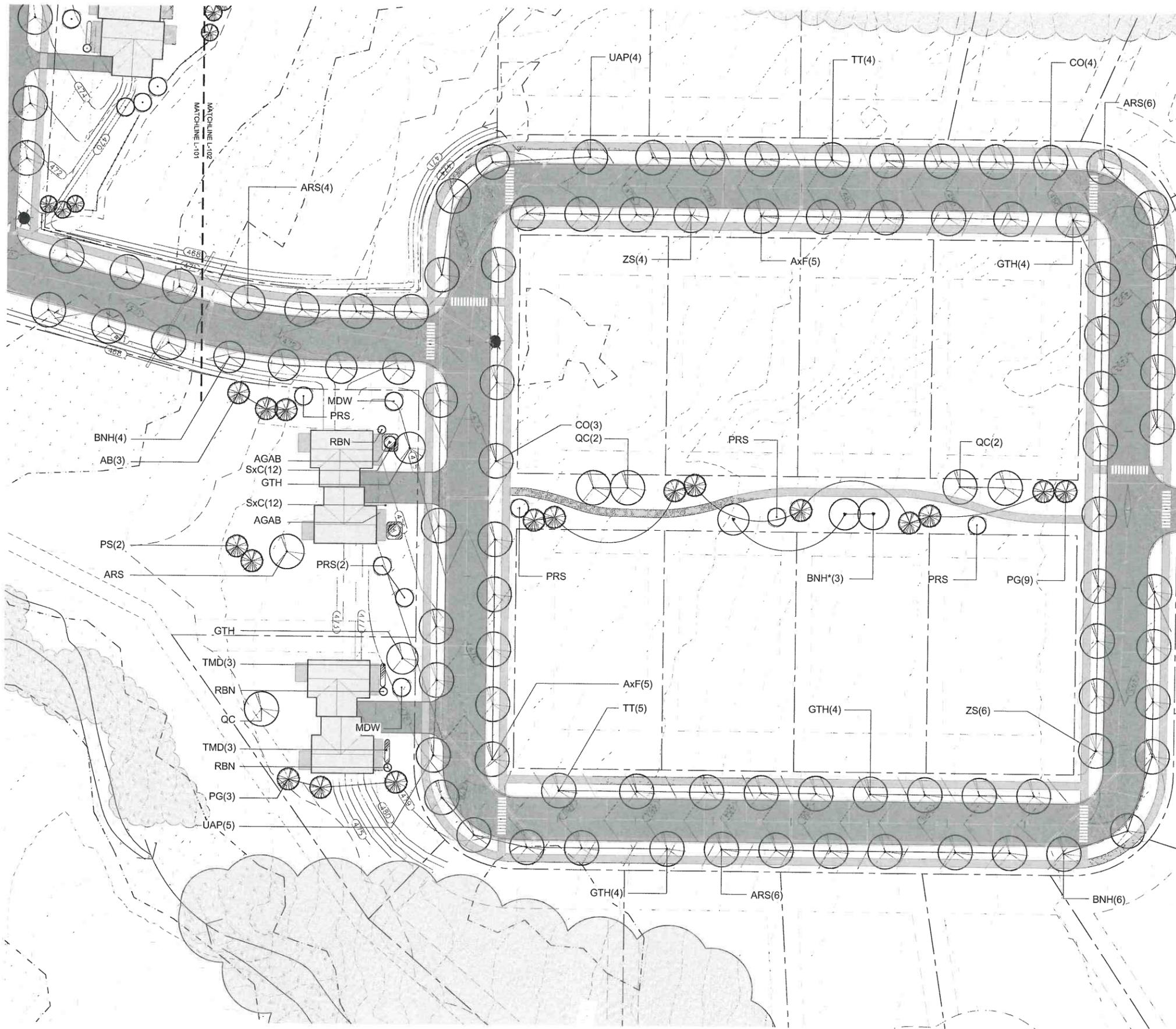
landscape architects • planning consultants  
301 college street • burlington • vermont • 05401 802 • 658 • 3555 <http://www.tjboyle.com>

MJB design by JKH 11/21/2017  
MJB drawn by JKH  
MJB checked by JKH 1" = 60'

Northridge  
Layout Plan

sheet no  
**L-100**





**Planting Schedule - North**

Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
10	ARS	ACER rubrum 'Red Sunset'	Red Sunset Red Maple	2 1/2" cal	B&B	
10	AxF	ACER x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" cal	B&B	
10	BNH	BETULA nigra 'Heritage'	Heritage River Birch	2 1/2" cal	B&B	
7	CO	CELTIS occidentalis	Common Hackberry	2 1/2" cal	B&B	
13	GTH	GLEDITSIA l. 'Halka'	Halka Honeylocust	2 1/2" cal	B&B	
9	TT	TILIA tomentosa 'Sterling'	Sterling Silver Linden	2 1/2" cal	B&B	
9	UAP	ULMUS americana 'Princeton'	Princeton Elm	2 1/2" cal	B&B	
10	ZS	ZELKOVA serata 'Greenase'	Greenase Zelkova	2 1/2" cal	B&B	

Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
3	AB	ABIES balsamea	Balsam Fir	7' HL	B&B	
2	AGAB	AMALANCHIER sp. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' HL	B&B	multi-stem, 3-4 stems
1	ARS	ACER rubrum 'Red Sunset'	Red Sunset Red Maple	2 1/2" cal	B&B	
3	BNH*	BETULA nigra 'Heritage'	Heritage River Birch	8' HL	B&B	multi-stem, 3-4 stems
2	GTH	GLEDITSIA l. 'Halka'	Halka Honeylocust	2 1/2" cal	B&B	
2	MDW	IMMUS 'Donald Wyman'	Donald Wyman Crabapple	2" cal.	B&B	
12	PG	PICEA glauca	White Spruce	8' HL	B&B	
2	PS	PINUS strobus	White Pine	6' HL	B&B	
6	PRS	PRUNUS sargentii	Sargent Cherry	2" cal.	B&B	
5	QC	QUERCUS coccinea	Scarlet Oak	2 1/2" cal	B&B	

Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
3	RBN	RHODODENDRON 'Boule de Neige'	Catawbiense Abum Rhododendron	24" HL	B&B	
24	SxC	SYMPHORICA FRPOS 'chenaultii 'Harcock'	Prostrate Chokeberry	18" HL	#3 Cont	
6	TMD	TAXUS x media 'Densiformis'	Dense Yew	24" HL	B&B	

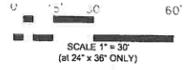
SEE SHEET L-104, L-105,  
AND L-105 FOR  
LANDSCAPE BUFFER  
AREAS

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit \_\_\_\_\_, the Williston Development Review Board Administrator approved the final plans for Northridge Subdivision on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*Matthew S. [Signature]*  
Residing Member of the Board

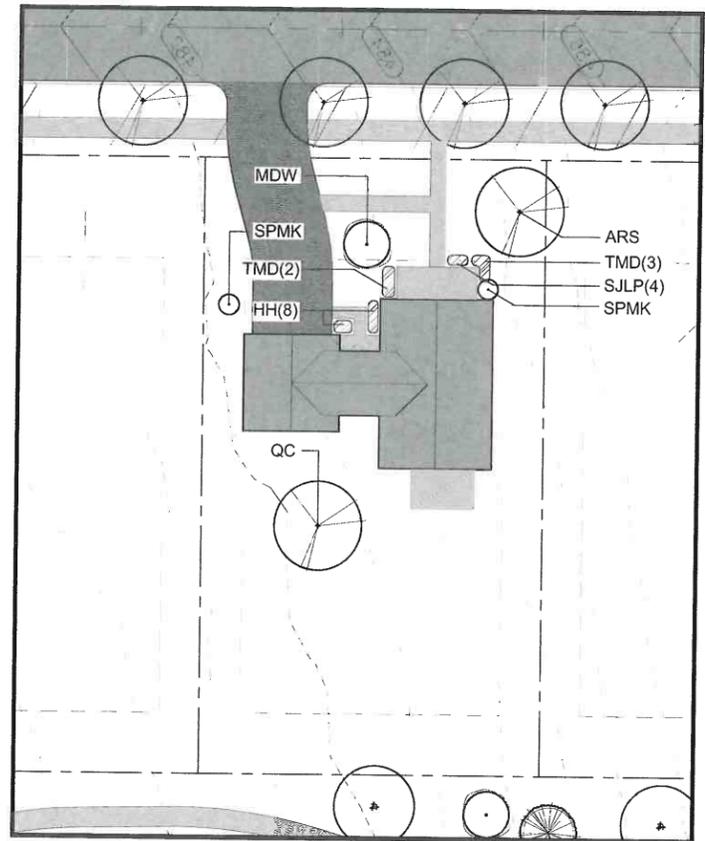
**FINAL PLANS**

ISSUED FOR  
APPROVAL  
10.5.2018



Upon finding that the final plans comply with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Discretionary Permit, the Williston Development Review Board Administrator approved the final plans for Northridge subdivision on the 20th day of May, 2017.

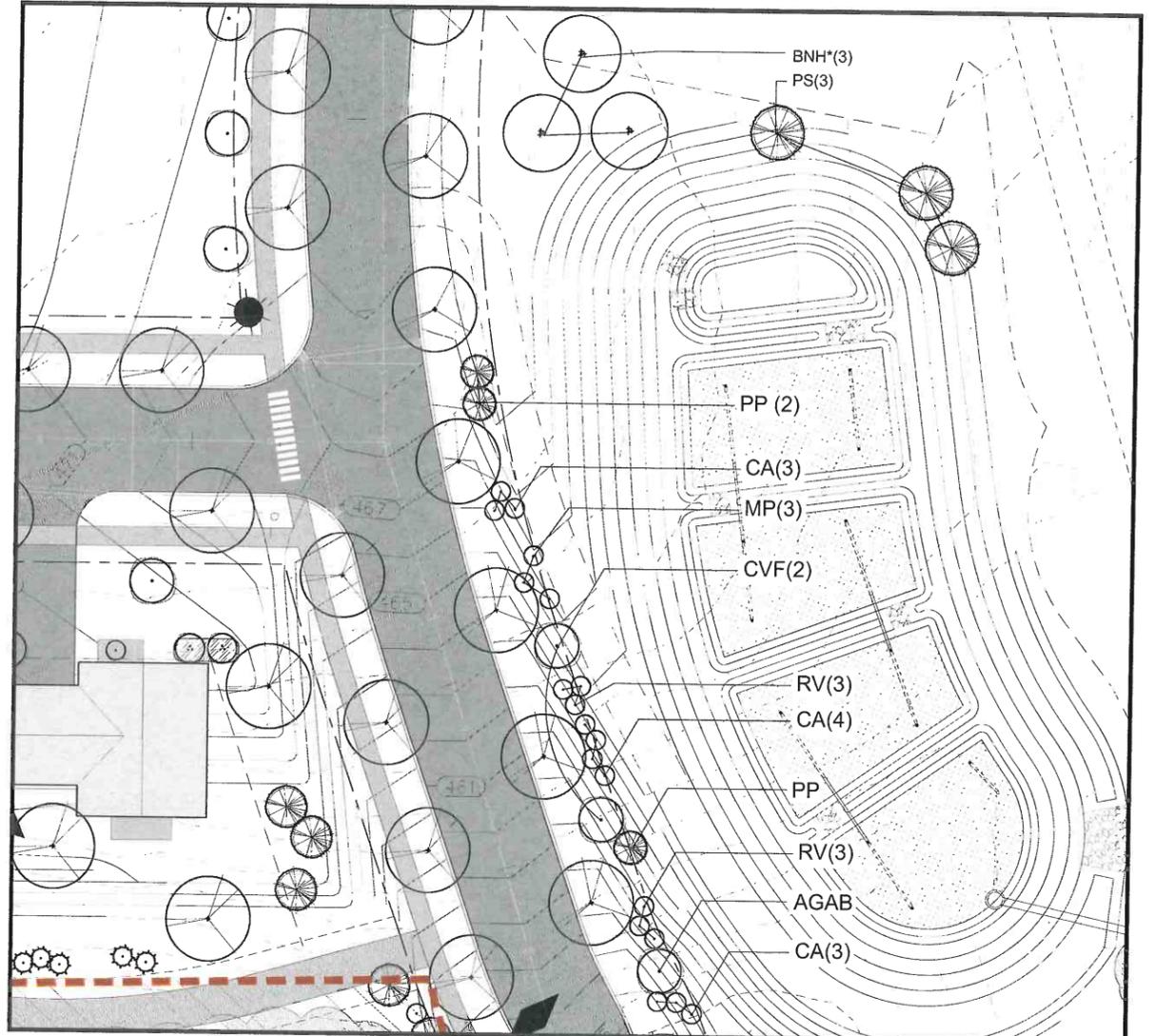
\_\_\_\_\_  
 Presiding member or Administrator's signature



Planting Schedule - Single Family Lot (Typical)

Trees						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
1	ARS	ACER rubrum 'Red Sunset'	Red Sunset Red Maple	2 1/2" cal.	B&B	
1	MDW	MALLUS 'Donald Wyman'	Donald Wyman Crabapple	2" cal.	B&B	
1	QC	QUERCUS coccinea	Scarlet Oak	2 1/2" cal.	B&B	
3						
Shrubs						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
4	SJLP	SPIRAEA japonica 'Little Princess'	Little Princess Spirea	18" HL	#3 Cont.	
2	SPMK	SYRINGA palata 'Miss Kim'	Miss Kim Lilac	24" HL	B&B	
2	TMD	TAXUS media 'Densiformis'	Dense Yew	24" HL	B&B	
8						
Perennials & Ferns Mixes						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
3	HH	DAYLILY MIX				18" O.C.
3		HEMEROCALLIS 'Happy Returns'		Clump	#2 Cont.	
3		HEMEROCALLIS 'Rosy Returns'		Clump	#2 Cont.	
2		HEMEROCALLIS 'Ruby Stela's'		Clump	#2 Cont.	

2 SINGLE FAMILY LOT (TYPICAL) - LANDSCAPE PLAN DETAIL  
 L-103 SCALE: 1" = 20'



Planting Schedule - Pond Area

Trees						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
1	AGAB	AMALANCHIER xg 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' HL	B&B	multi-stem, 3-4 stems
3	BNH*	BETULA nigra 'Heritage'	Heritage River Birch	6' HL	B&B	multi-stem, 3-4 stems
2	CVF	CHIONANTHUS virginicus	White Fringetree	4' HL	B&B	
3	PP	PICEA pungens 'Baby Blue Eyes'	White Spruce	4' HL	B&B	
3	PS	PINUS strobus	White Pine	6' HL	B&B	
11						
Shrub & Perennials						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
10	CA	CLETHRA alnifolia	Summersweet	24" HL	#5 Cont.	
4	MP	MYRICA pennsylvanica	Northern Bayberry	18" HL	#3 Cont.	
9	RV	ROSA virginiana	Virginia Rose	15" HL	#3 Cont.	
23						

1 STORMWATER POND - LANDSCAPE PLAN DETAIL  
 L-103 SCALE: 1" = 20'

# FINAL PLANS

ISSUED FOR APPROVAL  
 05/20/17

revisions	date
Planting Plan Revision	02/01/2018
Buffer and Sheet Layout Revisions	09/11/2016
Williston Approval Block	10/5/2016

T. J. Boyle Associates, LLC  
 landscape architects • planning consultants  
 301 college street • burlington • vermont • 05401 802 • 658 • 3555 http://www.tjboyle.com

MJB design by  
 JKH drawn by  
 11/21/2017 date  
 MJB checked by  
 scale 1" = 20'

Northridge  
 Landscape Details

sheet no.  
**L-103**

Table 23.A - Landscaped Buffer Matrix

use providing buffer	adjoining use	Minimum Buffer Width			
		Type II(1)	Type II(2)	Type III(3)	Type IV(3)
open space residential, ARZD	Any other use	<i>Open space developments must provide multiple buffers. See Chapter 26 - Street Trees</i>			
other residential subdivisions, one and two family dwellings	agriculture-conserved lands	50 feet	not permitted	36 feet	not permitted
	open space residential	50 feet	not permitted	9 feet	not permitted
	other residential subdivisions	50 feet	not permitted	9 feet	9 feet
	higher density residential	50 feet	13 feet	23 feet	23 feet
	mixed use, including residential	50 feet	13 feet	23 feet	27 feet
	retail/service commercial	50 feet	13 feet	27 feet	36 feet
higher density residential in the MDRZD or VZD	heavy commercial/industrial (4) public way	50 feet	13 feet	36 feet	not permitted
	agriculture-conserved lands	50 feet	not permitted	36 feet	not permitted
	open space residential	50 feet	not permitted	9 feet	not permitted
	other residential subdivisions	50 feet	13 feet	23 feet	23 feet
	higher density residential	50 feet	13 feet	9 feet	23 feet
	mixed use, including residential	50 feet	13 feet	23 feet	27 feet
mixed use including residential	retail/service commercial	50 feet	13 feet	23 feet	27 feet
	heavy commercial/industrial (4) public way	50 feet	13 feet	36 feet	36 feet
	agriculture-conserved lands	50 feet	not permitted	36 feet	not permitted
	open space residential	50 feet	not permitted	23 feet	not permitted
	other residential subdivisions	50 feet	13 feet	23 feet	27 feet
	higher density residential	50 feet	13 feet	9 feet	23 feet
mixed use, including residential	50 feet	13 feet	9 feet	23 feet	

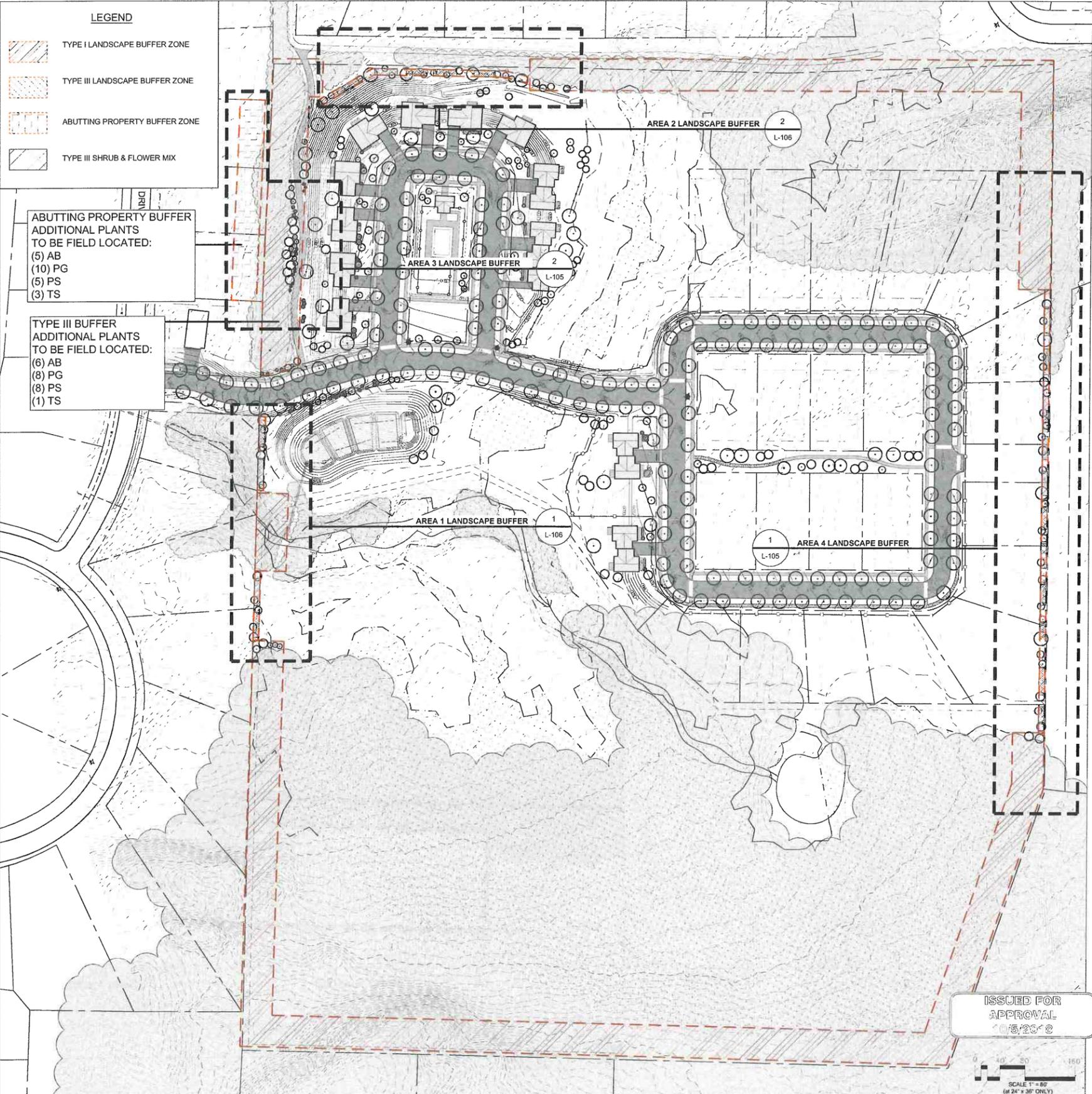
Adopted by the Selectboard 6/1/2009 Amended 8/18/2015

Williston Unified Development Bylaw

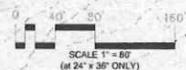
Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of the discretionary permit, the Williston Development Review Board/Administrator approved the final plans for Northridge subdivision on the \_\_\_ day of \_\_\_, 20\_\_.

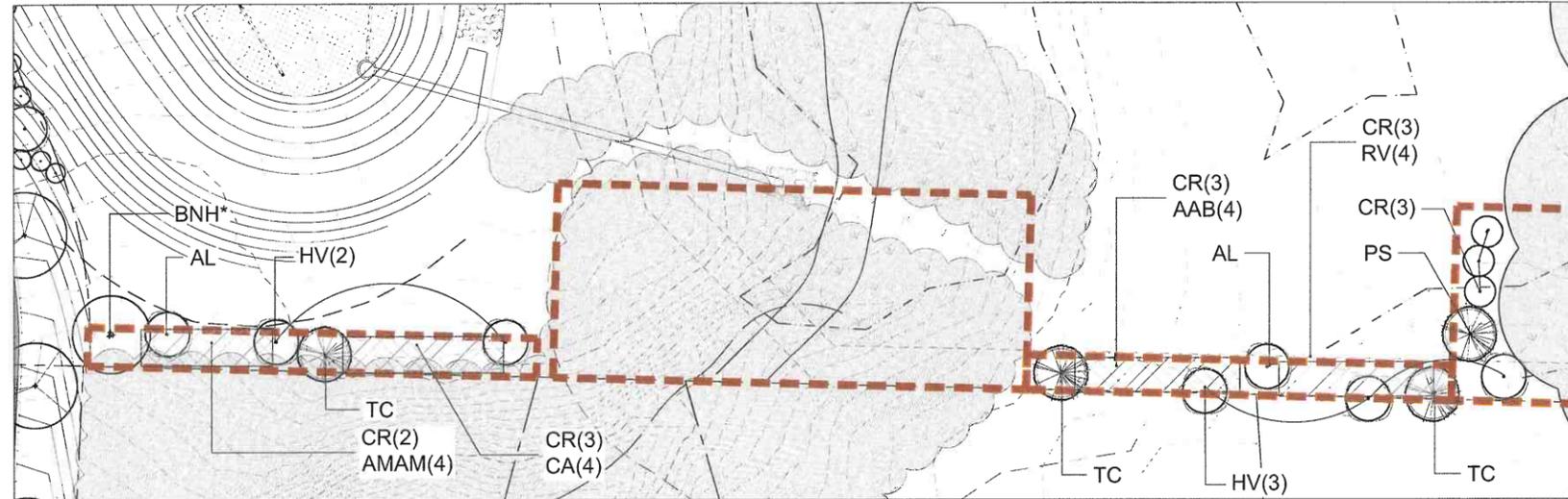
*[Signature]*  
Presiding member or Administrator's signature

**FINAL PLANS**

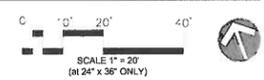


ISSUED FOR APPROVAL  
10/5/2018





1 AREA 1 LANDSCAPE BUFFER  
L-106 1" = 20'



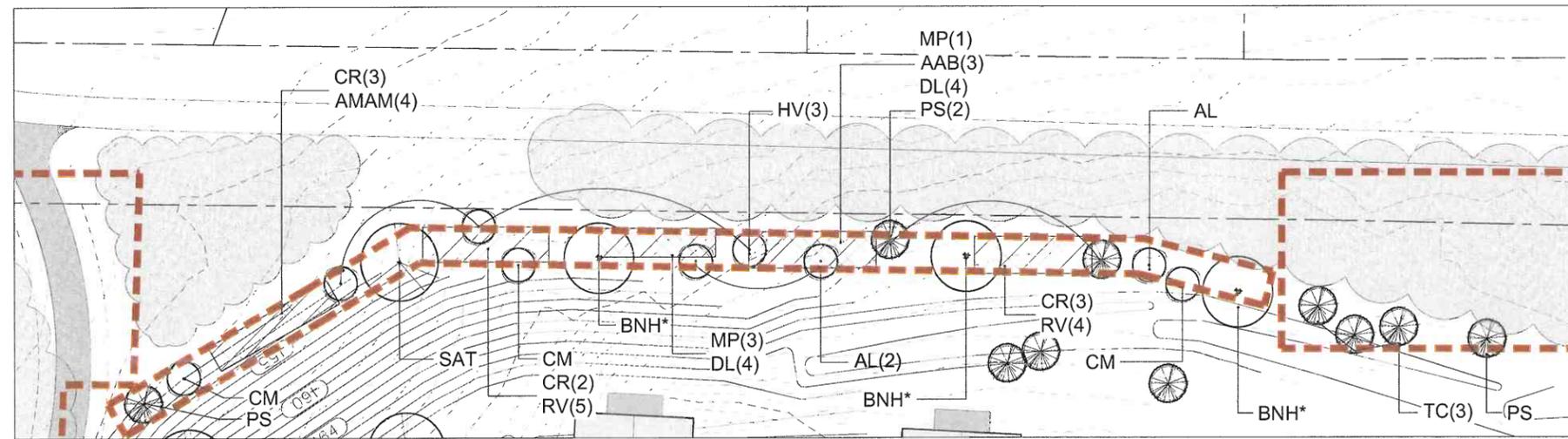
AREA 1						
Trees						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
2	AL	AMELANCHIER laevis	Aleghany Struckberry	5' HL	B&B	
1	BNH*	BETULA nigra 'Heritage'	Heritage River Birch	6' HL	B&B	multi-stem, 3-4 stems
5	HV	HAMMELIS vernalis	Vernal Witchazel	4' HL	B&B	
1	PS	PINUS strobus	White Pine	6' HL	B&B	
3	TC	TSUGA canadensis	Canadian Hemlock	5' HL	B&B	
12						
Shrub & Perennials						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
4	AAB	ARONIA arbuticola 'Brilliantissima'	Brilliant Red Chokeberry	24" HL	#3 Cont.	
4	AMAM	ARONIA melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	24" HL	#3 Cont.	
4	CA	CLETHRA alnifolia	Summersweet	24" HL	#5 Cont.	
15	CR	CORNUS rooseana	Gray Dogwood	24" HL	#3 Cont.	
4	RV	ROSA virginiana	Virginia Rose	15" HL	#3 Cont.	
31						

**FINAL PLANS**

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of a discretionary permit, the Williston Development Administrator approved the final plans for Northridge Subdivision of the City of Williston, Vermont.

*[Signature]*

Presiding member or Administrator's signature



2 AREA 2 LANDSCAPE BUFFER  
L-106 1" = 20'

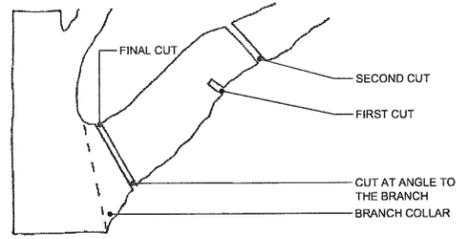


AREA 2						
Trees						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
3	AL	AMELANCHIER laevis	Aleghany Struckberry	5' HL	B&B	
2	BNH*	BETULA nigra 'Heritage'	Heritage River Birch	6' HL	B&B	multi-stem, 3-4 stems
3	CM	CORNUS mas	Cornelian Cherry	5' HL	B&B	
3	HV	HAMMELIS vernalis	Vernal Witchazel	4' HL	B&B	
4	PS	PINUS strobus	White Pine	6' HL	B&B	
1	SAT	SALIX alba 'Tristis'	Golden Weeping Willow	2" cal.	B&B	
3	TC	TSUGA canadensis	Canadian Hemlock	5' HL	B&B	
19						
Shrub & Perennials						
Qty	Code	Scientific Name	Common Name	Size	Spec	Remarks
3	AAB	ARONIA arbuticola 'Brilliantissima'	Brilliant Red Chokeberry	24" HL	#3 Cont.	
4	AMAM	ARONIA melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	24" HL	#3 Cont.	
8	CR	CORNUS rooseana	Gray Dogwood	24" HL	#3 Cont.	
8	DL	DIERILLA lonicera	Bush Honeysuckle	15" HL	#3 Cont.	
4	MP	MYRICA pennsylvanica	Northern Bayberry	15" HL	#3 Cont.	
5	RV	ROSA virginiana	Virginia Rose	15" HL	#3 Cont.	
36						

ISSUED FOR APPROVAL  
05/20/18

**TREE PRUNING NOTES:**

- REFER TO ANSI A300 (Part 1, MOST UPDATED VERSION) PRUNING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- WORK SHOULD BE PERFORMED BY A CERTIFIED ARBORIST OR PROFESSIONAL TREE COMPANY.
- AVOID DAMAGING BARK AND OTHER LIVING TISSUE THROUGHOUT THE PRUNING PROCESS.
- MAKE SURE PRUNING TOOLS ARE SHARP.
- MAKE CLEAN CUT AS CLOSE TO THE BRANCH COLLAR AS POSSIBLE. DO NOT LEAVE A STUB.
- REDUCE THE SIZE OF THE BRANCH FOR A BETTER CUT.
- THE FIRST AND SECOND CUTS SHOULD BISECT THE ANGLE BETWEEN ITS BRANCH BARK RIDGE AND AN IMAGINARY LINE PERPENDICULAR TO THE BRANCH OR STEM.
- NOT MORE THAN 25% OF GROWTH SHOULD BE REMOVED FROM A CANOPY DURING A GROWING SEASON.



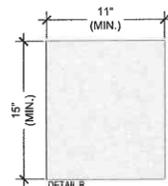
10 TREE PRUNING ILLUSTRATION  
L-200 NTS

**TREE PROTECTION NOTES:**

- PRIOR TO ANY CONSTRUCTION ACTIVITY, ALL TREE PRESERVATION MEASURES MUST BE IMPLEMENTED.
- CONTRACTOR CHOSEN FOR THIS WORK WILL BE AN EXPERIENCED TREE SERVICE FIRM THAT HAS SUCCESSFULLY COMPLETED TREE PROTECTION, ROOT PRUNING, AND TRIMMING WORK, SIMILAR TO THAT REQUIRED FOR THIS PROJECT.
- PRIOR TO CONSTRUCTION SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. CONTACT DIG SAFE TWO FULL BUSINESS DAYS BEFORE PLANTING. (48 HOUR MIN.)
- PRIOR TO THE SITE VISIT ALL TREE PRESERVATION AREAS SHALL BE STAKED OUT ON SITE BY SURVEY.
- TREE PROTECTION FENCING SHALL REMAIN INTACT THROUGHOUT ALL CONSTRUCTION ACTIVITY.
- THERE WILL BE NO EXCAVATION FOR PROPOSED SITE WORK WITHIN FENCED AREA.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED, STOCKPILED OR OPERATED WITHIN TREE PROTECTION AREAS.
- TREE PROTECTED AREAS WILL BE LEFT AS NATURAL AS POSSIBLE.
- IN AREAS OF EXCAVATION NEAR TREE, IDENTIFY AND CUT ROOTS IN CONSULTATION WITH OWNER.
- REMOVE POORLY ATTACHED AND RUBBING LIMBS. CLEAN THE CROWN OF DEAD, DISEASED AND WEAK LIMBS. THINNING OF HEALTHY LIMBS IS NOT RECOMMENDED AT THIS TIME.
- ANY NECESSARY TRENCHING SHALL BE IMMEDIATELY BACKFILLED WITH REMOVED SOIL OR OTHER SOIL MIX AS DESCRIBED IN CONTRACT SPECIFICATIONS.
- AN AIR SPADE/AIR KNIFE IS TO BE USED TO EXCAVATE DOWN TO MINIMUM OF 2'. SEE DETAILS.

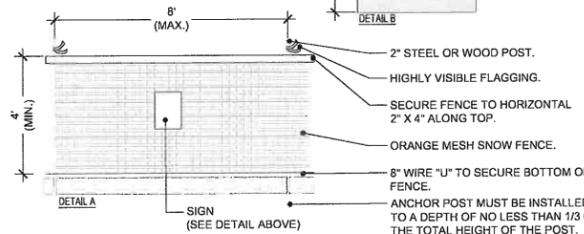
**SIGN DETAIL:**

- ATTACHMENTS OF SIGNS TO TREES IS PROHIBITED.
- SIGNS SHOULD BE MADE OF VINYL OR PLASTIC.
- SIGNS SHOULD BE PROPERLY MAINTAINED, PENALTIES WILL BE ENFORCED FOR REMOVAL OF SIGNS.
- AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
- SIGNS SHOULD BE POSTED 50' O.C. AND WITHIN 20' OF THE BEGINNING AND END OF EACH FENCE TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL.
- SIGNS TO BE SECURELY FASTENED TO THE FENCE OR FENCE POSTS.
- SIGNS TO HAVE A WHITE BACKGROUND AND ORANGE OR RED TEXT.



**FENCE DETAIL:**

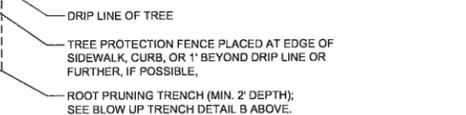
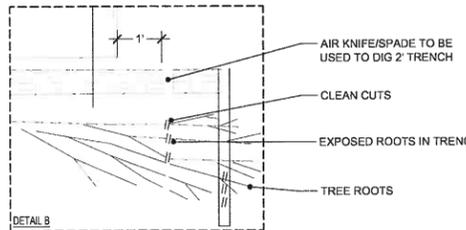
- THIS FENCE SERVES AS A TREE PROTECTION DEVICE ONLY.
- ROOT DAMAGE SHALL BE AVOIDED WITHIN FENCED AREA.
- FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.



9 TREE PROTECTIVE FENCE  
L-200 NTS

**ROOT PRUNING TRENCH NOTES:**

- USE AN AIR SPADE/AIR KNIFE TO DIG THE 2' TRENCH AND EXPOSE THE ROOTS.
- EXPOSED ROOTS SHOULD BE CUT WITH A SAW OR LOPPERS TO MAKE A CLEAN SMOOTH CUT, NOT TORN OR RIPPED.
- MULCH EXPOSED ROOTS DURING THE CUTTING PROCESS TO KEEP FROM DRYING OUT.
- BACKFILL TRENCH WITH MIXTURE OF TOPSOIL AND COMPOST AS PER CONTRACT SPECIFICATIONS.



8 TREE PROTECTION  
L-200 NTS

**GENERAL PLANTING NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. CONTACT DIG SAFE TWO FULL BUSINESS DAYS BEFORE PLANTING. (48 HOUR MIN.)
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. THE PLAN QUANTITIES SHALL ALWAYS SUPERCEDE THE PLANT LIST.
- ALL PLANT MATERIAL SHALL CONFORM AND BE INSTALLED TO THE GUIDELINES ESTABLISHED BY THE CURRENT ANSI Z60.1.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE AMENDED PLANTING SOIL AS PER THE CONTRACT SPECIFICATIONS.
- SOIL DEPTH SHOULD BE AS LISTED BELOW WITH A 2/3 TOPSOIL TO 1/3 COMPOST MIX. EXISTING SOIL ON SITE WHICH MEETS THE CONTRACT SPECIFICATIONS MAY BE USED. REMOVE SUB GRADE AND OTHER GRAVEL FILL IN PLANTING AREAS ON SITE.

GROUND COVER BEDS: 12" DEPTH.  
LAWN AREAS: 6" DEPTH  
SHRUB/PLANT BEDS: 18" DEPTH

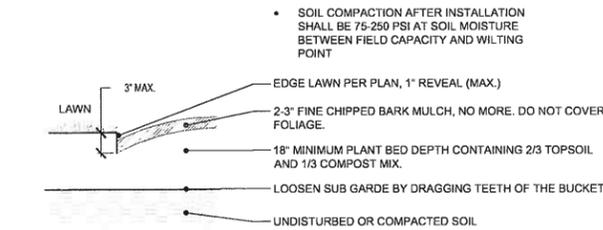
- PLANTS SHALL BE INSTALLED SUCH THAT THE ROOT FLARE IS AT OR SLIGHTLY ABOVE FINAL GRADE (DUE TO NURSERY PRACTICES THIS MAY REQUIRE REMOVING SOIL FROM THE TOP OF THE ROOT BALL TO LOCATE THE ROOT FLARE).
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- THE DAY PRIOR TO PLANTING, ALL TREES AND SHRUBS SHALL BE FLAGGED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
- STAKING PLANTS IS AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR SEASONAL REQUIREMENTS RELATED TO THE TIME OF PLANTING.

**PLANT SPACING CHART**

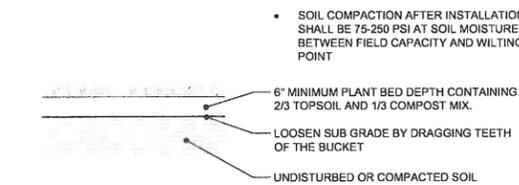
Spacing 'D'	Row 'A'	Number of Plants	Area Unit
6' O.C.	5.2'	4.61	1 SQ. FT.
8' O.C.	6.93'	2.6	
10' O.C.	8.66'	1.66	
12' O.C.	10.4'	1.16	
15' O.C.	13.0'	0.738	10 SQ. FT.
18' O.C.	15.6'	0.512	
24' O.C.	20.8'	0.291	
30' O.C.	26.0'	0.155	
36' O.C.	30.0'	0.125	
4' O.C.	3.46'	7.25	100 SQ. FT.
5' O.C.	4.38'	4.61	
6' O.C.	5.2'	3.2	
8' O.C.	6.93'	1.8	
10' O.C.	8.66'	1.16	
12' O.C.	10.4'	0.8	1000 SQ. FT.
15' O.C.	13.0'	0.5	
20' O.C.	17.3'	0.288	
25' O.C.	21.65'	0.185	
30' O.C.	26.0'	0.129	
40' O.C.	34.6'	0.722	10,000 SQ. FT.

O.C. = ON CENTER FOR USE WHEN PLANTS ARE SHOWN EQUIDISTANT FROM EACH OTHER (AS SHOWN) PLANT SPACING CHART

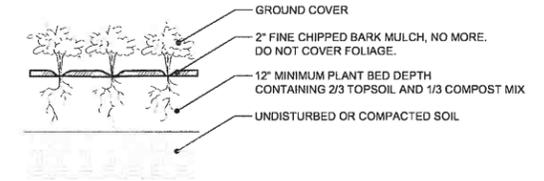
7 PLANT SPACING CHART DETAIL  
L-200 NTS



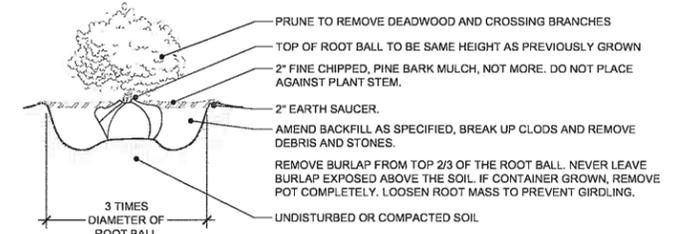
6 PLANT BED  
L-200 NTS



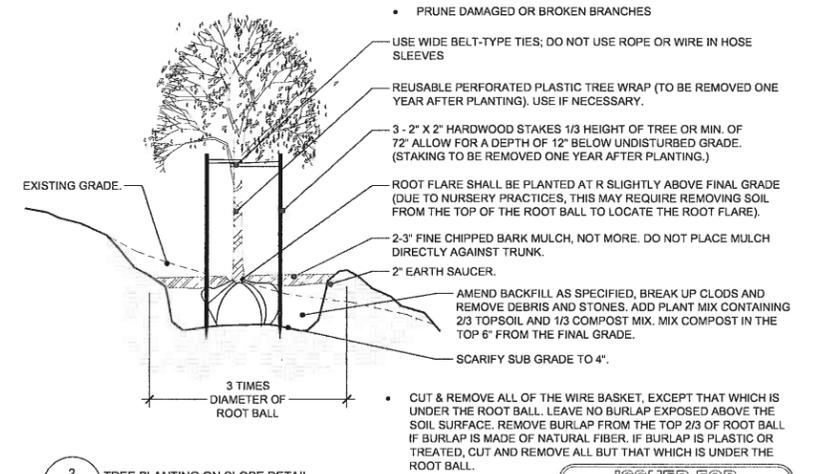
5 LAWN & SEEDING AREA  
L-200 NTS



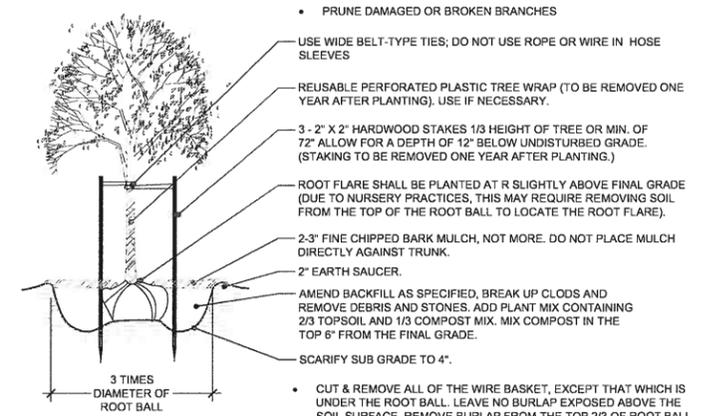
4 GROUND COVER PLANTING  
L-200 NTS



3 SHRUB PLANTING  
L-200 NTS



2 TREE PLANTING ON SLOPE DETAIL  
L-200 NTS



1 TREE PLANTING DETAIL  
L-200 NTS

**FINAL PLANS**

Upon finding that the final plans complied with all requirements of the Williston Development Bylaw and all conditions imposed on the approval of Disciplinary Personnel and the Williston Development Review Board, Administration approved the final plans for Northridge Subdivision on 11/21/2018.

*MJB*

Presiding member or Administrator's signature

ISSUED FOR APPROVAL  
11/21/2018

REVISION	DATE
Planting Plan Revision	02/01/2018
Buffer and Sheet Layout Revisions	09/11/2018
Williston Approval Block	10/02/2018

T. J. Boyle Associates, LLC

landscape architects • planning consultants  
301 college street • burrington • vermont • 05401 802 • 658 • 3555 http://www.tjboyle.com north

MJB design by JKH 11/21/2017  
as shown

Northridge  
Landscape Details

sheet no  
L-200

Vermont  
Grid  
North



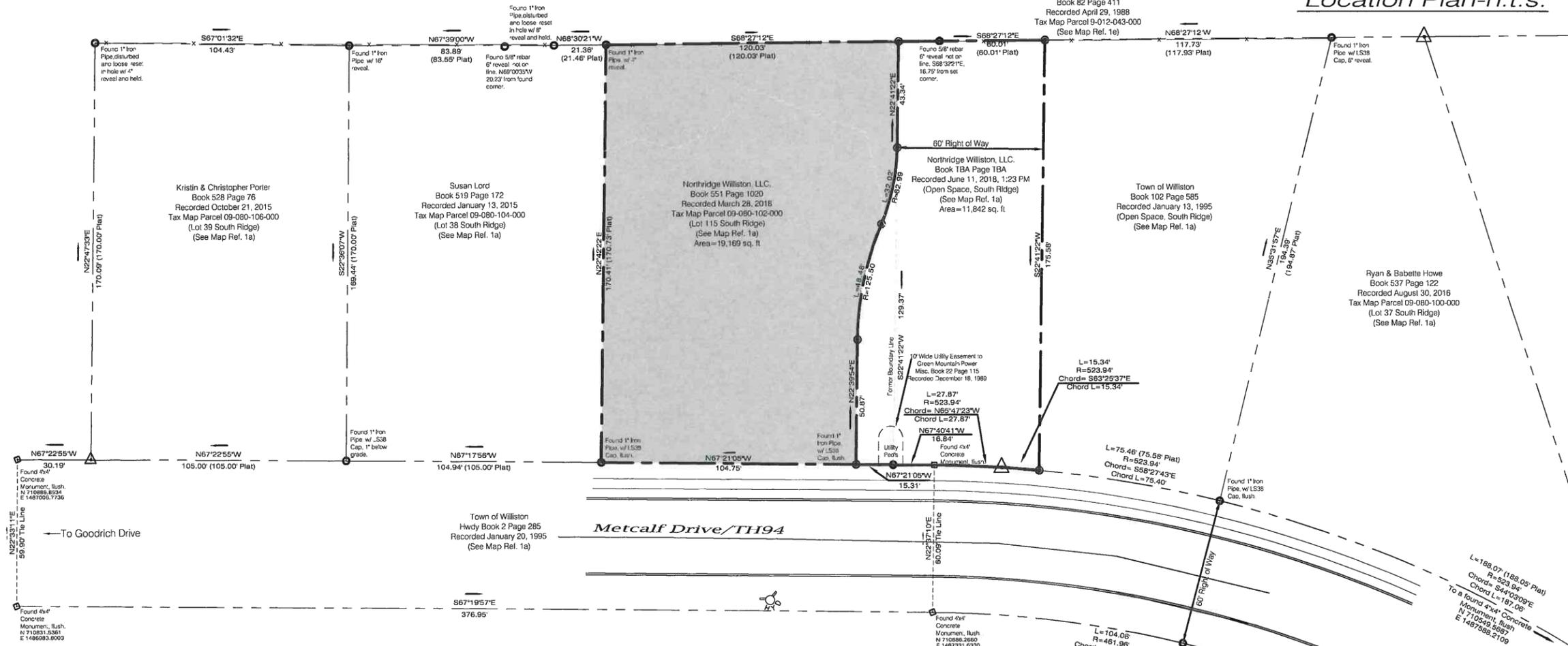
### Survey Notes

- The survey is based upon research performed in the Williston Town Land Records and the following plats and plans:
  - "Property Plat, South Ridge", prepared by Lamoureux & Stone Consulting Engineers, Inc., last revised August 6, 1993 and filed in slide 369 of the Town of Williston Land Records.
  - "Property Plat, South Ridge", prepared by Lamoureux Consulting Engineers & Land Surveyor, Inc., last revised March 26, 1989 and filed in slide 244 of the Town of Williston Land Records.
  - "Amended Final Plat, Coyote Run-Phase 3", prepared by Krebs & Lansing Consulting Engineers, Inc., last revised February 10, 2003 and filed in slide 652 of the Town of Williston Land Records. See previous plats file in slides 616, 622, 623, 653 & 716.
  - "3 Lot Subdivision for John & Ellen Evans and William & Gail Savage", prepared by A.W. Harris Associates, last revised November 15, 1990 and filed in slide 293 of the Town of Williston Land Records.
  - "Lands to be conveyed to John & Ellen Evans and William & Gail Savage", prepared by A.W. Harris Associates, dated April 26, 1988 and filed in slide 211 of the Town of Williston Land Records.
  - "Property Survey for Robert & Elizabeth Ezerman", prepared by Henry Swider, L.S., dated October 1982 and filed in slide 157 of the Town of Williston Land Records.
  - "Proposed Subdivision for Robert & Elizabeth Ezerman", prepared by Trudell Consulting Engineers, Inc., dated March 5, 1986 and filed in the private records of Trudell Consulting Engineers, Inc.
  - Beers Atlas of Williston Vermont, 1889
  - "Boundary Adjustment, Antonio & Josephine Guerrier", prepared by Trudell Consulting Engineer, Inc., dated December 20, 1995 and filed in slide 452 of the Town of Williston Land Records.
  - "Plat of Survey, Andre & Jerome Martel Property", prepared by Warren Robenstien, L.S., revised October 1990 and filed in slide 282 of the Town of Williston Land Records.
  - "Boundary Line Adjustment Plat, Lands of Francis & Catherine Chan and Gregory & Lori Marino" prepared by Lamoureux & Dickinson Consulting Engineers, Inc., dated May 23, 2008 and filed in slide 761 of the Town of Williston Land Records.
- Bearings are based on Vermont Grid Zone 4400, computed from RTK GPS observations made on August 29, 2016 from a Trimble R6 Unit with differential corrections from CORS Station Richmond. Datum utilized is NAD 83(2011) epoch 2010.0, NAVD 88 (geoid12a). Distances shown are Grid based.
- Survey methods employed (total station) and the resulting error of closure/precision ratio, meet or exceed minimum precision requirements for Suburban Surveys as outlined in, "Standards for the Practice of Land Surveying", adopted by the Vermont Board of Land Surveyors, effective 01/07/2013.
- There may be additional easements, restrictions, and/or reservations not shown hereon that may or may not be found in the Town of Williston Land Records.
- This survey depicts the property lines of the Town of Williston, William & Gail Savage and John Evens and Joshua & Catherine Diamond based upon record research conducted by Joseph Flynn, L.S., on June, 2018.
- This plat is for the identification of boundary lines of Town of Williston, William & Gail Savage and John Evens and Joshua & Catherine Diamond. Other information is shown for both illustrative purposes and to offer assistance in the conclusions reached by this survey. Only the Boundary lines of the Town of Williston, William & Gail Savage and John Evens and Joshua & Catherine Diamond are certified to, all others not warranted to be correct and are subject to revisions.
- This plat is for the depiction of boundaries based upon V.S.A. Title 26 Chapter 45 section 2502 (3) and (4). Any information identified graphically or noted on this plat which is outside the scope and expertise of a Vermont Licensed Land Surveyor as outlined in the statutes herein referenced to, is not warranted to be correct and is not covered by the certification contained hereon.
- Parcel may be subject to a utility easement to Vermont Gas Systems, recorded in Misc. Book 21 Page 411 on October 6, 1989.



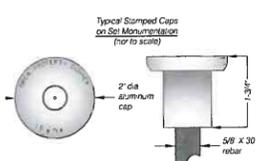
Location Plan-n.t.s.

This is an Original Survey



### Legend

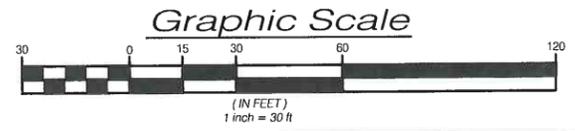
- Boundary Line
- Adjoining Property Line
- Former Property Line
- Barbed Wire Fence
- Calculated point
- Concrete Monument Found
- Found Iron Pipe/Rebar
- Set Iron Pipe/Rebar



Town of Williston Received for Record \_\_\_\_\_ A.D. \_\_\_\_\_  
 at \_\_\_\_\_ o'clock \_\_\_\_\_ minutes \_\_\_\_\_ M and recorded in \_\_\_\_\_  
 attest \_\_\_\_\_  
 City Clerk

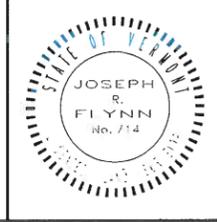
FINAL PLANS

Approved by the Board of the Development Review Board of the Town of Williston, Vermont on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 Subject to the requirements and conditions of said resolution.  
 Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_  
 Chairman or Clerk



I hereby certify that the information shown hereon is correct to the best of my knowledge and belief and is based upon a collaboration of pertinent deeds, plats, parcel, and other recorded evidence. This plat was prepared in accordance with and complies with Vermont Statute Title 27, § 1403, (a) through (e).

Joseph R. Flynn, L.S. 714 Dated \_\_\_\_\_



REVISION		DATE	BY
SURVEY	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY		
JRF	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	2015-08	
DESIGN			
OBCA			
DRAWN			
JRF			
CHECKED			
PJO			
SCALE			
	1"=30'		

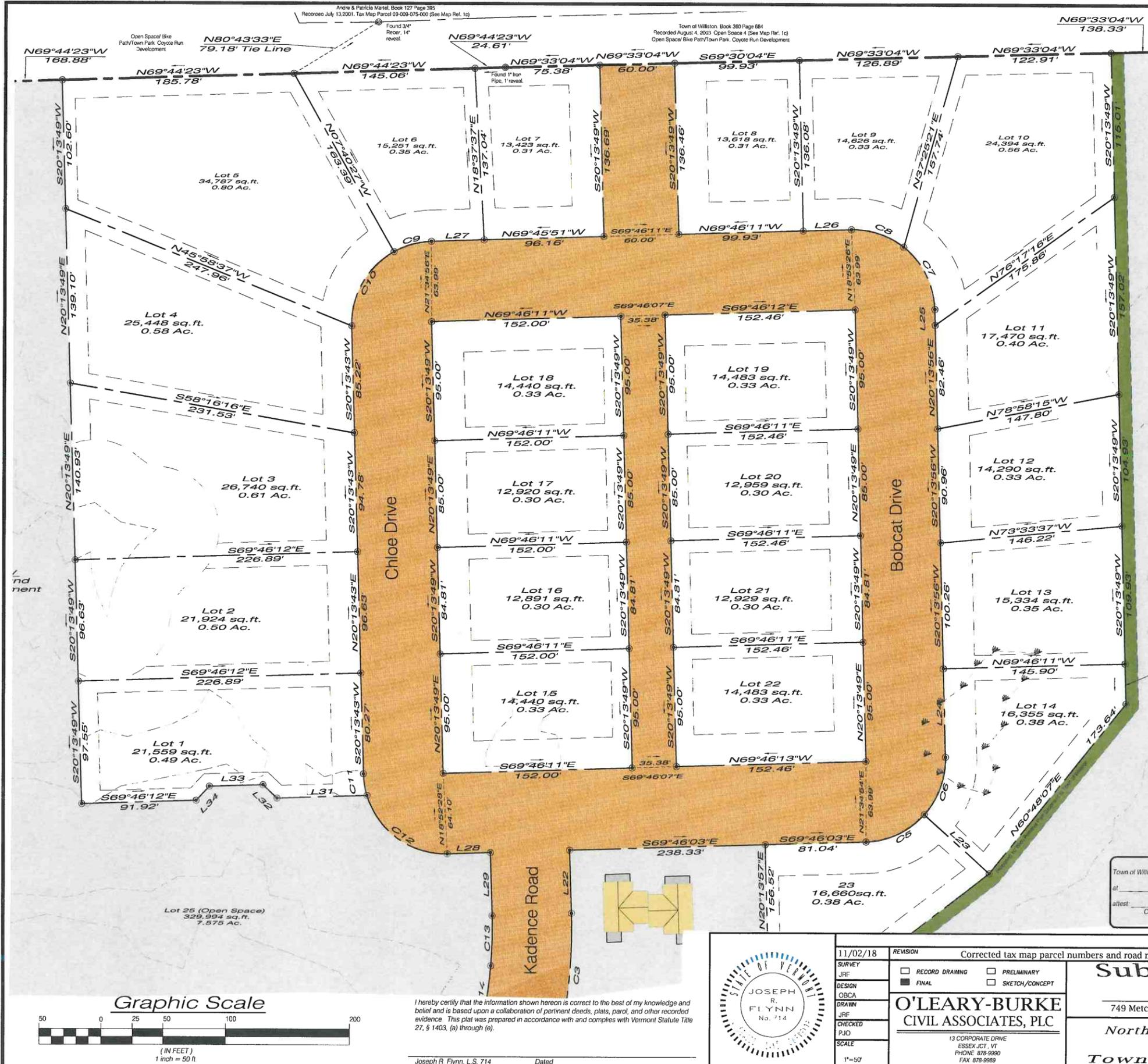
## Boundary Plat

749 Metcalf Drive - Williston, Vermont

## Northridge Williston, LLC.

PL1

This is an Original Survey



Location Plan-n.t.s.

Approved by the Resolution of the Development Review Board of the Town of Williston, Vermont on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ subject to the requirements and conditions of said Resolution.

Signed \_\_\_\_\_ day of \_\_\_\_\_, 2018 by

*Matthew Stange*

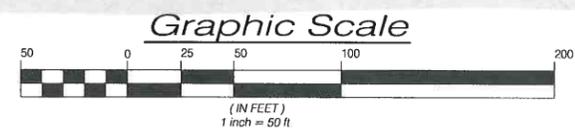
Vermont Grid North



Legend

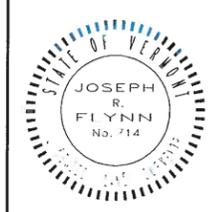
- △ Calculated point
- Concrete Monument Found
- Found Iron Pipe/ Rebar
- Set Iron Pipe/ Rebar
- Boundary Line
- - - - - Adjoining Property Line
- - - - - New Property Line
- - - - - Easement Line
- - - - - Setback Line
- - - - - Wetland Limit
- - - - - Wetland Buffer
- - - - - Barbed Wire Fence

Town of Williston Received for Record \_\_\_\_\_ A.D. at \_\_\_\_\_ o'clock \_\_\_\_\_ minutes \_\_\_\_\_ M and recorded in \_\_\_\_\_ alltest \_\_\_\_\_ City Clerk



I hereby certify that the information shown hereon is correct to the best of my knowledge and belief and is based upon a collaboration of pertinent deeds, plats, parcel, and other recorded evidence. This plat was prepared in accordance with and complies with Vermont Statute Title 27, § 1403. (a) through (e).

Joseph R Flynn, L.S. 714 Dated \_\_\_\_\_



11/02/18 REVISION Corrected tax map parcel numbers and road name changes

SURVEY  RECORD DRAWING  PRELIMINARY

DESIGN  FINAL  SKETCH/CONCEPT

DRAWN

JRF

CHECKED

PJO

SCALE 1"=50'

**O'LEARY-BURKE CIVIL ASSOCIATES, PLC**

13 CORPORATE DRIVE  
ESSEX JCT., VT  
PHONE: 878-9990  
FAX: 878-9989  
E-MAIL: obca@olearyburke.com

**Subdivision Plat**

749 Metcalf Drive - Williston, Vermont

**Northridge Subdivision**

in the

**Town of Williston**

BY aja/jrf

DATE 2018-01-25

JOB# 2015-88

FILE# 2015-88

-PLAT-FINAL-1

PLAN SHEET # **PL3**

FINAL PLANS