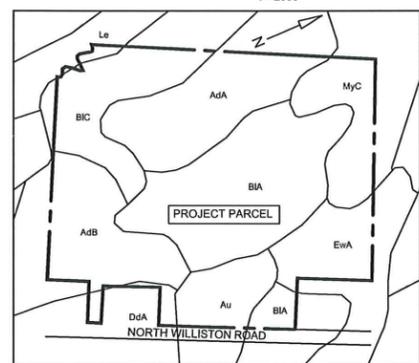
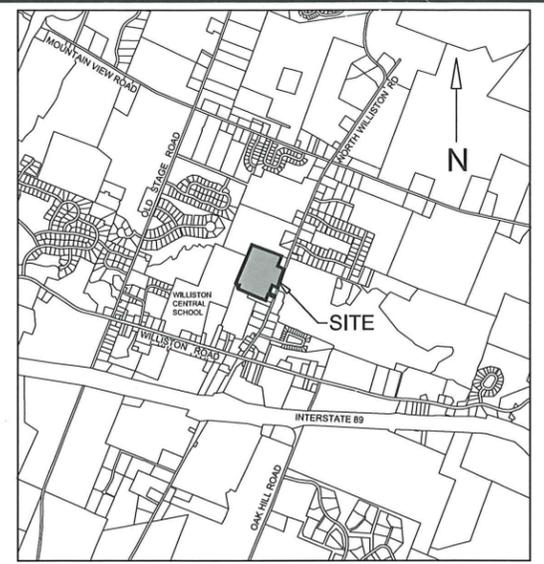
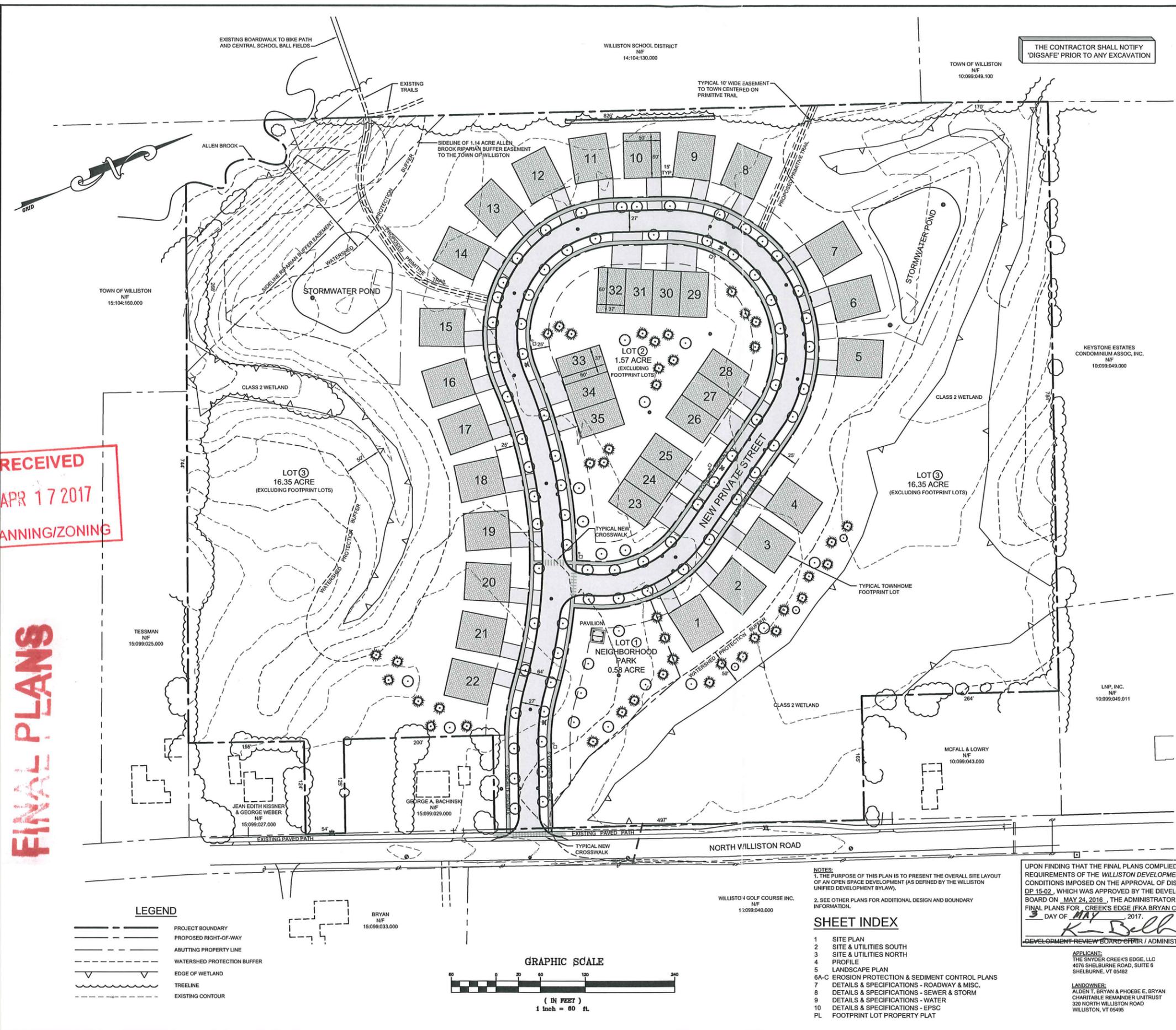


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APR 17 2017  
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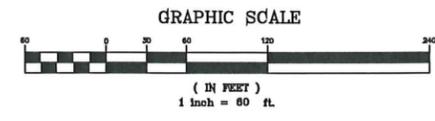
FINAL PLANS



**SOIL MAPPING UNIT KEY:**  
 AdA & AdB - ADAMS & WINDSOR LOAMY SAND  
 Au - AU GRES FINE SANDY LOAM  
 BIA & BIC - BELGRADE & ELDRIDGE FINE SANDY LOAM  
 DdA - DUANE & DEERFIELD LOAMY SAND  
 EwA - ENOSBURG & WHATELY SANDY LOAM  
 Le - LIMERICK SILT LOAM  
 MyC - MUNSON & RAYNHAM SILT LOAM

**ZONING DATA:**  
 TAX MAP PARCEL NUMBER - 015-099-033.00  
 PROJECT PARCEL AREA - 23.24 ACRES  
 ZONING DISTRICT - RESIDENTIAL ZONING DISTRICT  
 OVERLAY DISTRICTS - WATERSHED PROTECTION BUFFER  
 PERMITTED RESIDENTIAL DENSITIES FOR RESIDENTIAL ZONING DISTRICT  
 AVERAGE DENSITY = 3.00 DWELLING UNITS / ACRE  
 MINIMUM AREA PER DWELLING IN OPEN SPACE DEVELOPMENT = 0.125 ACRE (\$445 SF)  
 PERMITTED DENSITY  
 TOTAL PROJECT AREA = 23.24 ACRES  
 TOTAL WATERSHED PROTECTION BUFFER AREA = 9.32 ACRES  
 PERMITTED DENSITY = (23.24 ACRES - 9.32 ACRES) X 3.00 DWELLING UNITS/ACRE  
 PERMITTED DENSITY = 41 DWELLING UNITS  
 PROPOSED DENSITY = 35 DWELLING UNITS  
 DIMENSIONAL STANDARDS  
 SETBACKS:  
 FRONT = 25 FEET  
 SIDE = 10 FEET\*\*  
 REAR = 15 FEET\*\*  
 \*\* SEE ALSO LANDSCAPED BUFFER REQUIREMENTS (CHAPTER 23)

**LEGEND**  
 --- PROJECT BOUNDARY  
 --- PROPOSED RIGHT-OF-WAY  
 --- ABUTTING PROPERTY LINE  
 --- WATERSHED PROTECTION BUFFER  
 --- EDGE OF WETLAND  
 --- TREELINE  
 --- EXISTING CONTOUR



**NOTES:**  
 1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE OVERALL SITE LAYOUT OF AN OPEN SPACE DEVELOPMENT (AS DEFINED BY THE WILLISTON UNIFIED DEVELOPMENT BYLAW).  
 2. SEE OTHER PLANS FOR ADDITIONAL DESIGN AND BOUNDARY INFORMATION.

**SHEET INDEX**  
 1 SITE PLAN  
 2 SITE & UTILITIES SOUTH  
 3 SITE & UTILITIES NORTH  
 4 PROFILE  
 5 LANDSCAPE PLAN  
 6A-C EROSION PROTECTION & SEDIMENT CONTROL PLANS  
 7 DETAILS & SPECIFICATIONS - ROADWAY & MISC.  
 8 DETAILS & SPECIFICATIONS - SEWER & STORM  
 9 DETAILS & SPECIFICATIONS - WATER  
 10 DETAILS & SPECIFICATIONS - EPSC  
 PL FOOTPRINT LOT PROPERTY PLAT

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (EKA BRYAN COMMONS), ON THE 3 DAY OF MAY 2017.

*K. Bellin*  
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

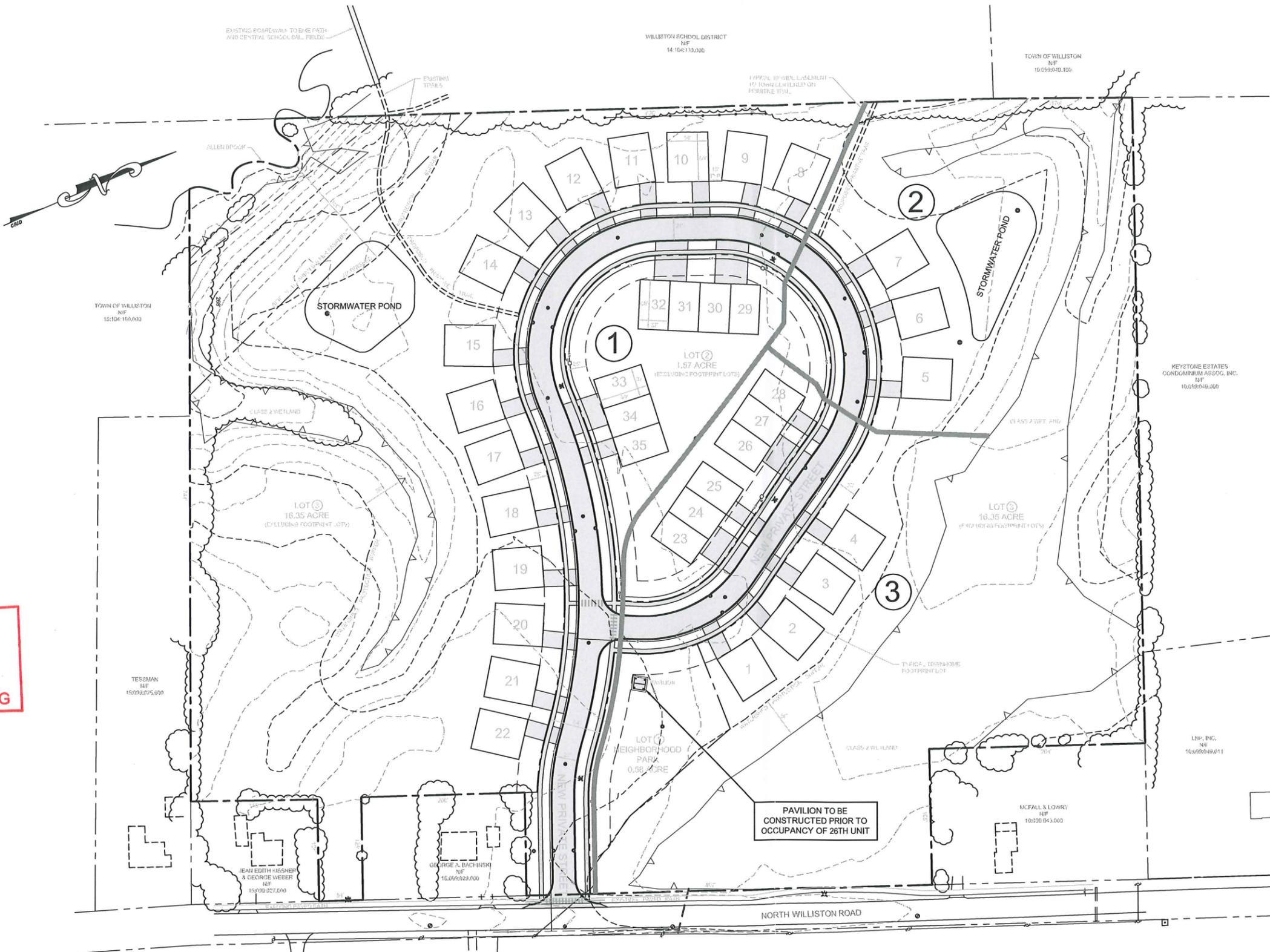
**APPLICANT:**  
 THE SNYDER CREEK'S EDGE, LLC  
 4078 SHELburne ROAD, SUITE 6  
 SHELburne, VT 05482

**LANDOWNER:**  
 ALDEN T. BRYAN & PHOEBE E. BRYAN  
 CHARITABLE REMAINDER TRUST  
 320 NORTH WILLISTON ROAD  
 WILLISTON, VT 05485

04-03-17	CHANGE PUBLIC TO PRIVATE STREET	ABR
02-17-17	REVISE HYD PER FD REVIEW	ABR
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
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<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
CREEK'S EDGE NORTH WILLISTON ROAD WILLISTON, VT		proj. no. 06079
SITE PLAN		survey L&D
		design ABR
		drown ABR
		checked DJG
		dote 03-07-16
		scale AS NOTED
		sht. no. 1

DP 15-02

*Paired MB*



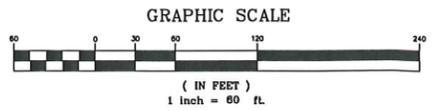
RECEIVED  
APR 17 2017  
PLANNING/ZONING

FINAL PLANS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE 3 DAY OF MAY 2017.

*R. Bellin*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

04-03-17	CHANGED PUBLIC STREET TO PRIVATE	NDS
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		# OF SHEETS
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<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
CREEK'S EDGE		proj. no. 06079
NORTH WILLISTON ROAD WILLISTON, VT		survey L&D
CONSTRUCTION PHASING		design ABR
		drawn ABR
		checked DJG
		date 03-07-16
		scale
		AS NOTED
		sh. no. 1C



PARCEL # 015:099:033.00 DP # 15-02

**LEGEND**

- PROJECT PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - ABUTTING PROPERTY LINE
- - - SIDELINE OF EASEMENT
- - - EXISTING TREE LINE
- - - EXISTING CONTOUR
- - - WETLAND BUFFER
- - - WETLAND BOUNDARY
- - - EXISTING WATER LINE
- - - EXIST. SEWER MANHOLE & SEWER LINE
- - - UTILITY POLE & OVERHEAD WIRE
- - - EXISTING FENCE
- - - EXISTING CULVERT
- - - NEW SEWER LINE & MANHOLE
- - - NEW FOOTING DRAIN & MANHOLE
- - - NEW CATCH BASIN, PIPE & UNDERDRAIN
- - - FINISH GRADE CONTOUR
- - - NEW WATER MAIN & HYDRANT
- - - NEW GAS MAIN
- - - NEW ELEC & TELECOMM PRIMARY & PADS

THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION

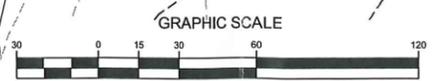
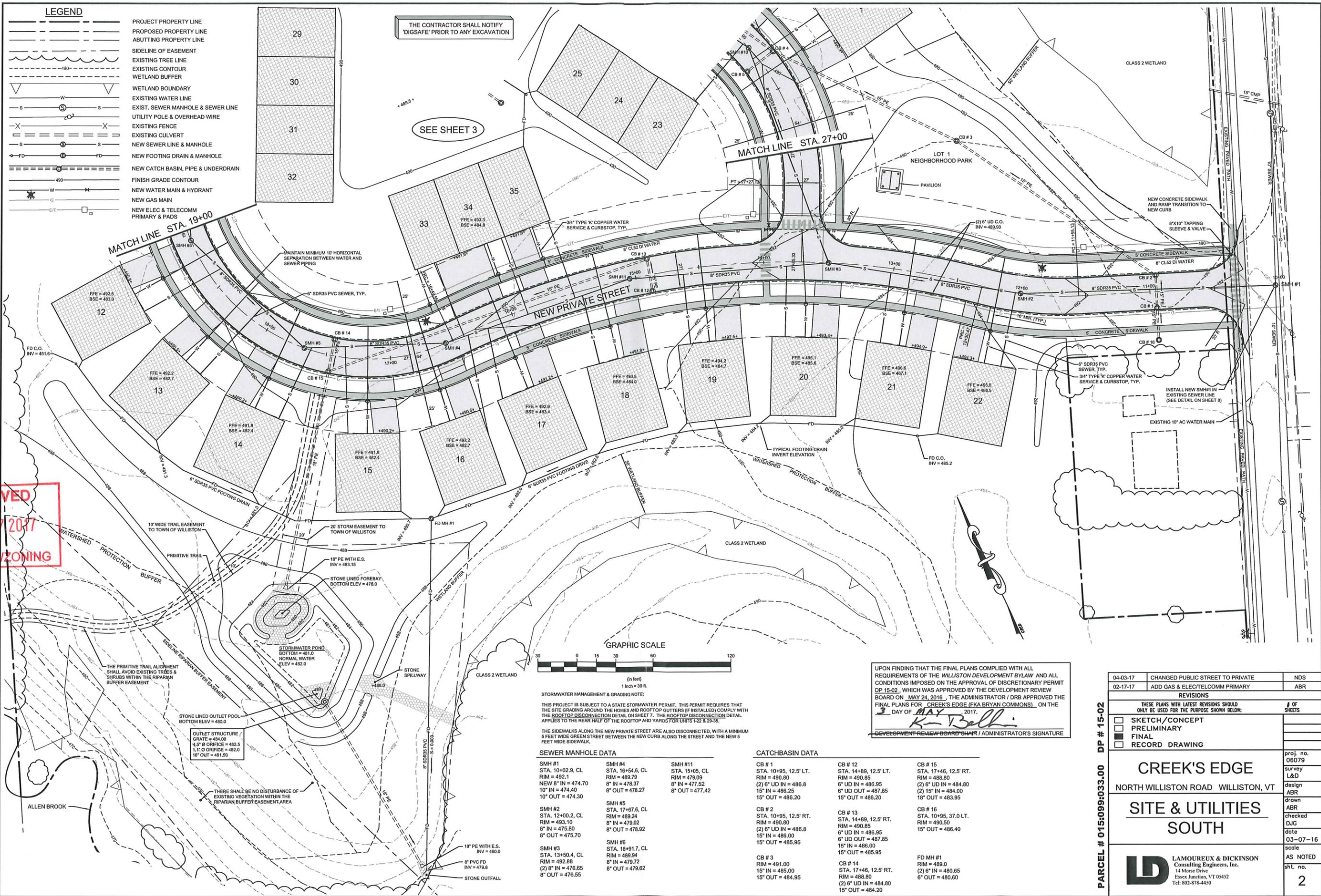
SEE SHEET 3

MATCH LINE STA. 19+00

MATCH LINE STA. 27+00

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APR 17 2017  
PLANNING ZONING

FINAL PLANS



**STORMWATER MANAGEMENT & GRADING NOTE:**  
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**SEWER MANHOLE DATA**

SMH #1 STA. 10+02.9, CL RIM = 492.1 NEW 8" IN = 474.70 10" IN = 474.40 10" OUT = 474.30	SMH #4 STA. 16+54.6, CL RIM = 489.79 NEW 8" IN = 478.37 8" OUT = 478.27	SMH #11 STA. 15+05, CL RIM = 479.09 8" IN = 477.52 8" OUT = 477.42
SMH #2 STA. 12+00.2, CL RIM = 493.10 8" IN = 475.60 8" OUT = 475.70	SMH #5 STA. 17+67.6, CL RIM = 489.24 8" IN = 479.02 8" OUT = 478.92	SMH #6 STA. 18+91.7, CL RIM = 489.94 8" IN = 479.72 8" OUT = 479.62
SMH #3 STA. 13+50.4, CL RIM = 492.88 (2) 8" IN = 476.65 8" OUT = 476.55	SMH #8 STA. 18+91.7, CL RIM = 489.94 8" IN = 479.72 8" OUT = 479.62	

**CATCHBASIN DATA**

CB #1 STA. 10+95, 12.5' LT. RIM = 490.80 (2) 6" UD IN = 486.8 15" IN = 486.25 15" OUT = 486.20	CB #2 STA. 12+00.2, 12.5' RT. RIM = 490.80 (2) 6" UD IN = 486.8 15" IN = 486.00 15" OUT = 485.95	CB #3 RIM = 491.00 15" IN = 485.00 15" OUT = 484.95
CB #12 STA. 14+89, 12.5' LT. RIM = 490.85 6" UD IN = 486.95 (2) 6" UD IN = 487.85 15" OUT = 486.20	CB #13 STA. 14+89, 12.5' RT. RIM = 490.85 6" UD IN = 486.95 6" UD OUT = 487.85 15" IN = 486.00 15" OUT = 485.95	CB #14 STA. 17+46, 12.5' RT. RIM = 488.80 (2) 6" UD IN = 484.80 15" OUT = 484.20
CB #15 STA. 17+46, 12.5' RT. RIM = 488.80 (2) 6" UD IN = 484.80 (2) 15" IN = 484.00 18" OUT = 483.95	CB #16 STA. 10+95, 37.0' LT. RIM = 490.50 15" OUT = 486.40	FD MH #1 RIM = 489.0 (2) 6" IN = 480.65 6" OUT = 480.60

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (EKA BRYAN COMMONS) ON THE 3 DAY OF MAY 2017.

*R. Bell*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

04-03-17	CHANGED PUBLIC STREET TO PRIVATE	NDS
02-17-17	ADD GAS & ELEC/TELECOMM PRIMARY	ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

SKETCH/CONCEPT  
 PRELIMINARY  
 FINAL  
 RECORD DRAWING

**CREEK'S EDGE**  
NORTH WILLISTON ROAD WILLISTON, VT

**SITE & UTILITIES SOUTH**

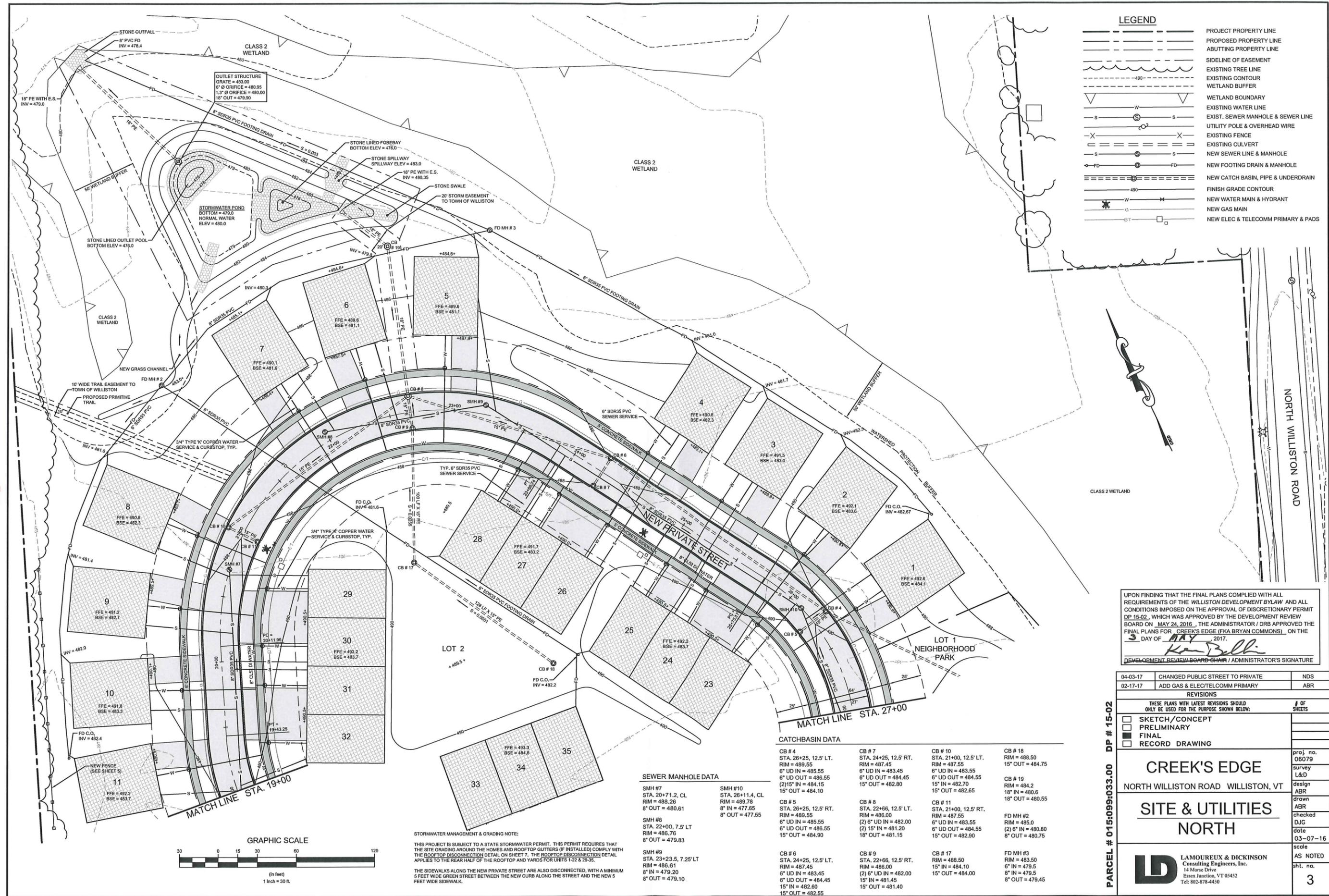
**LA MOUREUX & DICKINSON**  
Consulting Engineers, Inc.  
14 Morse Drive  
Essex Junction, VT 05452  
Tel: 802-878-4450

proj. no. 06079  
survey L&D  
design ABR  
drawn ABR  
checked DJG  
date 03-07-16  
scale  
AS NOTED  
sh. no. 2

PARCEL # 015-099:033.00 DP # 15-02

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APR 17 2017  
PLANNING ZONING

FINAL PLANS



**LEGEND**

	PROJECT PROPERTY LINE
	PROPOSED PROPERTY LINE
	ABUTTING PROPERTY LINE
	SIDELINE OF EASEMENT
	EXISTING TREE LINE
	EXISTING CONTOUR
	WETLAND BUFFER
	WETLAND BOUNDARY
	EXISTING WATER LINE
	EXIST. SEWER MANHOLE & SEWER LINE
	UTILITY POLE & OVERHEAD WIRE
	EXISTING FENCE
	EXISTING CULVERT
	NEW SEWER LINE & MANHOLE
	NEW FOOTING DRAIN & MANHOLE
	NEW CATCH BASIN, PIPE & UNDERDRAIN
	FINISH GRADE CONTOUR
	NEW WATER MAIN & HYDRANT
	NEW GAS MAIN
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*[Signature]*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

04-03-17	CHANGED PUBLIC STREET TO PRIVATE	NDS
02-17-17	ADD GAS & ELEC/TELECOMM PRIMARY	ABR

REVISIONS

REVISIONS	# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:	
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**CREEK'S EDGE**  
NORTH WILLISTON ROAD WILLISTON, VT

**SITE & UTILITIES NORTH**

proj. no. 06079	design L&D
drawn ABR	checked DJC
date 03-07-16	scale AS NOTED
14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450	
sheet no. <b>3</b>	

**CATCHBASIN DATA**

CB # 4 STA. 26+25, 12.5' LT. RIM = 489.55 6" UD IN = 485.55 6" UD OUT = 486.55 (2) 15" IN = 484.15 15" OUT = 484.10	CB # 7 STA. 24+25, 12.5' RT. RIM = 487.45 6" UD IN = 483.45 6" UD OUT = 484.45 15" OUT = 482.80	CB # 10 STA. 21+00, 12.5' LT. RIM = 487.55 6" UD IN = 483.55 6" UD OUT = 484.55 15" IN = 482.70 15" OUT = 482.65	CB # 18 RIM = 488.50 15" OUT = 484.75
CB # 5 STA. 26+25, 12.5' RT. RIM = 489.55 6" UD IN = 485.55 6" UD OUT = 486.55 15" OUT = 484.90	CB # 8 STA. 22+66, 12.5' LT. RIM = 486.00 (2) 6" UD IN = 482.00 (2) 15" IN = 481.20 15" OUT = 481.15	CB # 11 STA. 21+00, 12.5' RT. RIM = 487.55 6" UD IN = 483.55 6" UD OUT = 484.55 15" OUT = 482.90	CB # 19 RIM = 484.2 18" IN = 480.6 18" OUT = 480.55
CB # 6 STA. 24+25, 12.5' LT. RIM = 487.45 6" UD IN = 483.45 6" UD OUT = 484.45 15" IN = 482.60 15" OUT = 481.40	CB # 9 STA. 24+25, 12.5' RT. RIM = 488.00 (2) 6" UD IN = 482.00 (2) 15" IN = 481.40 15" OUT = 481.40	CB # 17 STA. 22+66, 12.5' RT. RIM = 488.50 15" IN = 484.10 15" OUT = 484.00	CB # 2 FFE = 492.6 BSE = 483.5

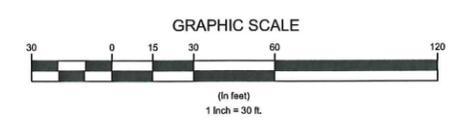
**SEWER MANHOLE DATA**

SMH #7 STA. 20+71.2, CL RIM = 488.26 8" OUT = 480.61	SMH #10 STA. 26+11.4, CL RIM = 489.78 8" IN = 477.85 8" OUT = 477.55
SMH #8 STA. 22+00, 7.5' LT RIM = 486.76 8" OUT = 479.83	SMH #9 STA. 23+23.5, 7.25' LT RIM = 486.61 8" IN = 479.20 8" OUT = 479.10

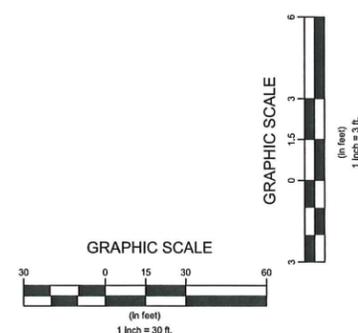
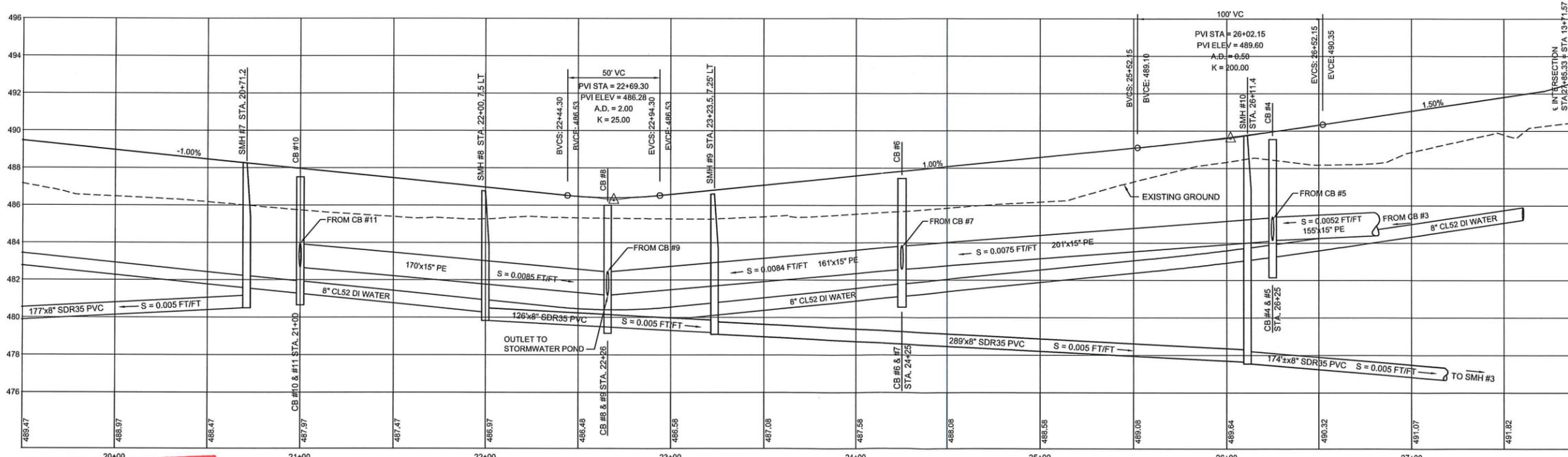
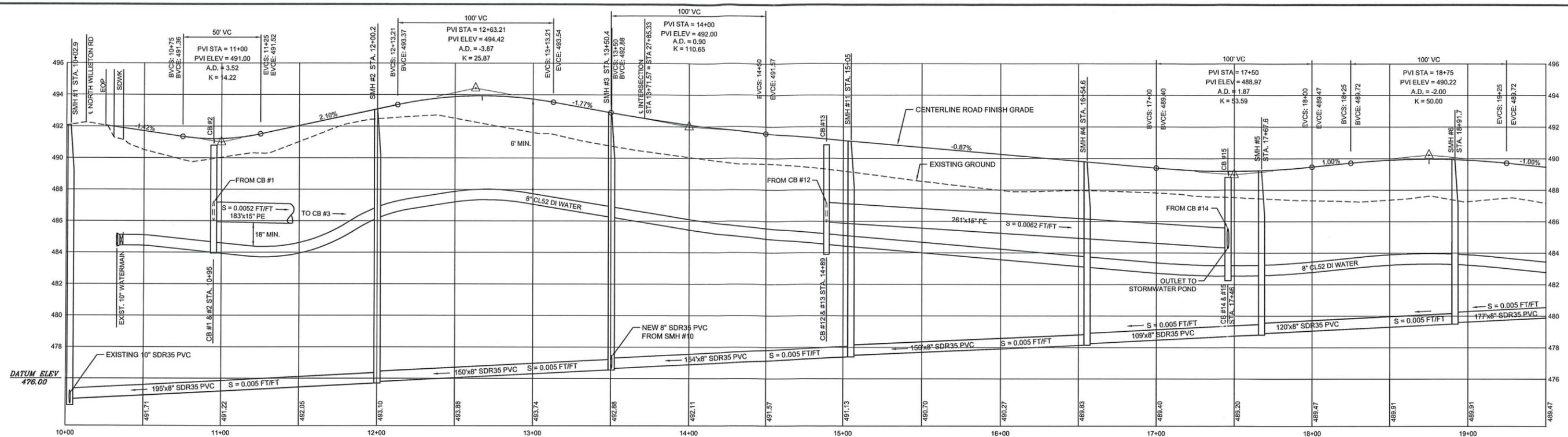
**STORMWATER MANAGEMENT & GRADING NOTE:**

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THE SIDEWALKS ALONG THE NEW PRIVATE STREET ARE ALSO DISCONNECTED, WITH A MINIMUM 5 FEET WIDE GREEN STREET BETWEEN THE NEW CURB ALONG THE STREET AND THE NEW 5 FEET WIDE SIDEWALK.



PARCEL # 015:099:033.00 DP # 15-02



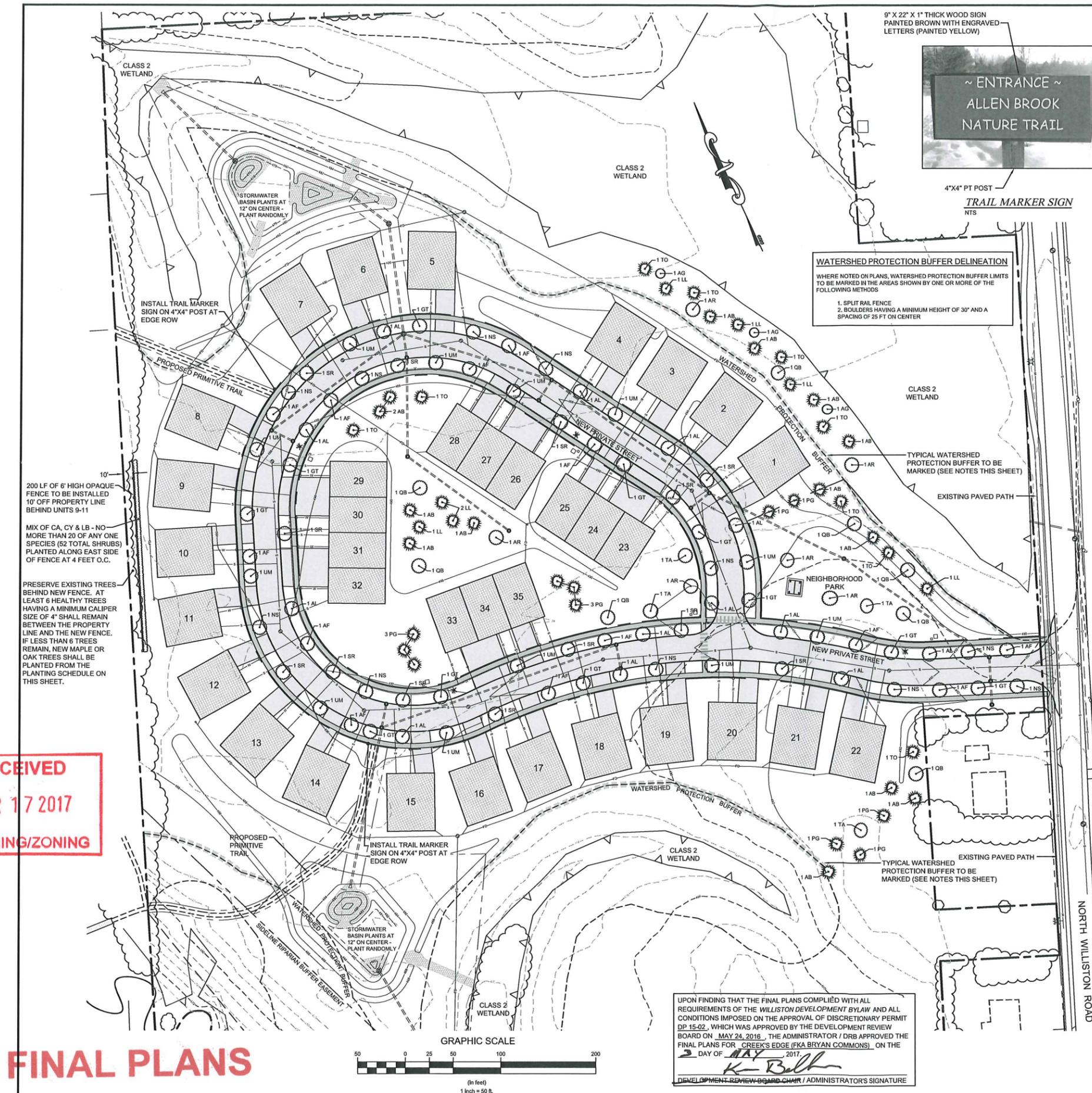
RECEIVED  
APR 17 2017  
PLANNING/ZONING

FINAL PLANS

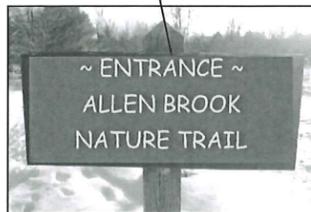
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE DAY OF MAY, 2017.

*K. Bulli*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

REVISIONS	
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT	0
<input type="checkbox"/> PRELIMINARY	0
<input checked="" type="checkbox"/> FINAL	1
<input type="checkbox"/> RECORD DRAWING	0
<b>CREEK'S EDGE</b> NORTH WILLISTON ROAD WILLISTON, VT	
<b>PROFILE</b>	
<b>PARCEL # 015:099:033.00 DP # 15-02</b>	
proj. no. 06079 survey L&D design ABR drawn ABR checked DJG date 03-07-16 scale AS NOTED sheet no. 4	
 <b>LAMOUREUX &amp; DICKINSON</b> Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450	



9" X 22" X 1" THICK WOOD SIGN  
PAINTED BROWN WITH ENGRAVED  
LETTERS (PAINTED YELLOW)



4"x4" PT POST  
TRAIL MARKER SIGN  
NTS

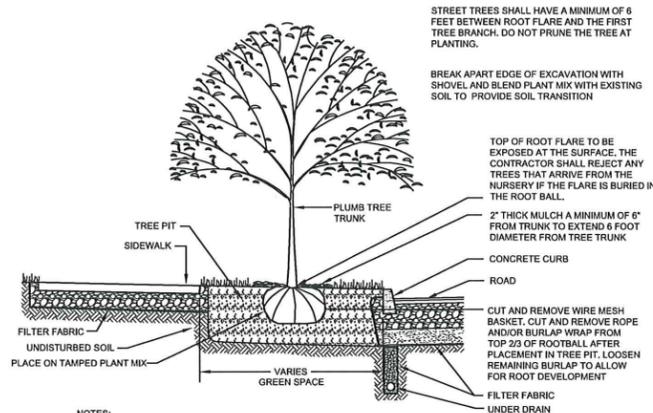
**WATERSHED PROTECTION BUFFER DELINEATION**

WHERE NOTED ON PLANS, WATERSHED PROTECTION BUFFER LIMITS TO BE MARKED IN THE AREAS SHOWN BY ONE OR MORE OF THE FOLLOWING METHODS

1. SPLIT RAIL FENCE
2. BOULDERS HAVING A MINIMUM HEIGHT OF 30" AND A SPACING OF 25 FT ON CENTER

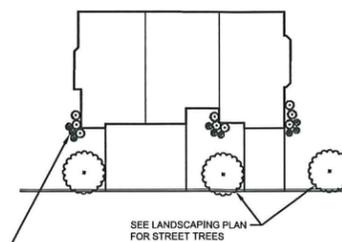
**PLANTING SCHEDULE**

Key	Botanical Name	Common Name	Size	Remarks
<b>Street Trees</b>				
AF	<i>Acer x freemanii</i> 'Autumn Blaze'	Freeman Maple	2" to 2 1/2" Cal.	B&B, 6 foot branching height
AL	<i>Aralia nudicaulis</i>	Allegheny Serviceberry	2" to 2 1/2" Cal.	B&B, 6 foot branching height
GT	<i>Gladiolus bicolor</i> 'Halka'	Honeylocust	2" to 2 1/2" Cal.	B&B, 6 foot branching height
NS	<i>Nyssa sylvatica</i>	Black Tupelo	2" to 2 1/2" Cal.	B&B, 6 foot branching height
SR	<i>Syringa reticulata</i> 'Hory Silk'	Japanese Lilac Tree	2" to 2 1/2" Cal.	B&B, 6 foot branching height
UM	<i>Ulmus Marston</i>	Accolade Elm	2" to 2 1/2" Cal.	B&B, 6 foot branching height
<b>Landscape Trees</b>				
AB	<i>Abies balsamea</i>	Balsam Fir	4 to 6 ft height	B&B or container
AR	<i>Acer rubrum</i> 'Autumn Flame'	Red Maple	2" to 2 1/2" Cal.	B&B
AG	<i>Aralia nudicaulis</i> 'Autumn Sunset'	Downy Serviceberry	1 1/2" to 2" Cal.	B&B or container
LL	<i>Larix laricina</i>	Tamarack	4 to 6 ft height	B&B or container
PG	<i>Picea glauca</i>	White Spruce	4 to 6 ft height	B&B or container
QB	<i>Quercus bicolor</i>	Swamp White Oak	2" to 2 1/2" Cal.	B&B
TA	<i>Tilia americana</i>	American Basswood	2" to 2 1/2" Cal.	D&B
TO	<i>Thuja occidentalis</i> 'Nigra'	Northern White Cedar	4 to 6 ft height	B&B or container
<b>Shrubs</b>				
CA	<i>Celastrus alifolius</i>	Summersweet	36" minimum	container
CY	<i>Corylus americana</i>	American Hazelnut	36" minimum	container
LB	<i>Lindera benzoin</i>	Northern Spicebush	36" minimum	container
<b>Stormwater Basin Plants</b>				
	<i>Acorus calamus</i>	Sweetflag	Plug	Plant 12" on center
	<i>Callagrostis canadensis</i>	Bluejoint	Plug	Plant 12" on center
	<i>Schoenoplectus acutus</i>	Hardstem Bulrush	Plug	Plant 12" on center
	<i>Schoenoplectus pungens</i>	Common Threesquare	Plug	Plant 12" on center
	<i>Spartanum eurycarpum</i>	Giant Bar-Road	Plug	Plant 12" on center
	<i>Zizania palustris</i>	Northern Wildrice	Plug	Plant 12" on center



- NOTES:**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
  2. TREES SHALL HAVE A MINIMUM 50% LIVE CROWN RATIO.
  3. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MULCH.
  4. STAKING REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
  5. TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
  6. EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
  7. THERE SHALL BE NO WATERING BERM INSTALLED AROUND TREES.
  8. PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO:  
3 PARTS EXISTING NATIVE SOIL, 1 PART TOPSOIL.
  9. TREE PIT AREA BETWEEN THE CURB OR EDGE OF ROAD AND THE SIDEWALK SHALL BE AT LEAST 6 FEET X 6 FEET WITH A MINIMUM OF 36" DEEP. THE TREE PIT AREA SHALL HAVE THE PLANT MIX SPECIFIED ABOVE. A DIFFERENT PLANT MIX MAY BE USED, SUCH AS STRUCTURAL SOIL, HOWEVER, IT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
  10. PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.

**URBAN STREET TREE PLANTING DETAIL**  
NTS



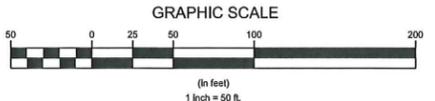
TYPICAL GROUPINGS OF SHRUBS TO BE A MIX OF SUMMERSWEET, ANNABELLE HYDRANGEA, ANTHONY WATERER SPIREA, CHINESE LILAC, SARGENT JUNIPER AND CREEPING JUNIPER. A MINIMUM OF 6 SHRUBS OF AT LEAST 2 DIFFERENT SPECIES.

**TYPICAL PLANTING PLAN FOR MULTI FAMILY BUILDINGS**  
NTS

THESE ARE THE TYPICAL PLANTING PLANS FOR THE MULTI FAMILY BUILDINGS. PLANTS MAY BE ADJUSTED IN THE FIELD DURING PLANTING. PLANTS MAY BE SUBSTITUTED USING SIMILAR SPECIES IDENTIFIED IN THE PLANT LIST ON THIS SHEET.

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**FINAL PLANS**



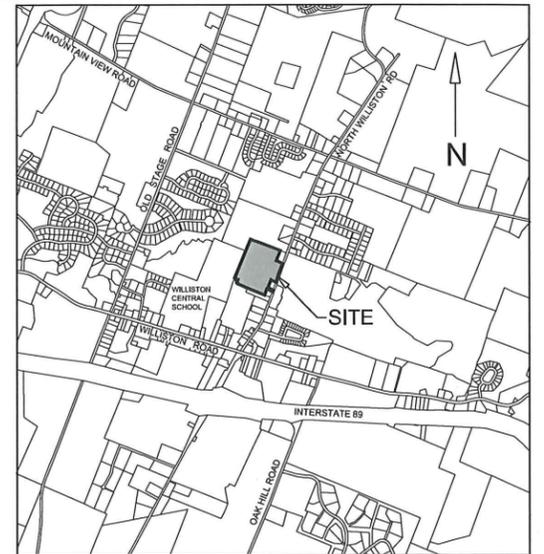
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (K/A BRYAN COMMONS) ON THE DAY OF APR 17, 2017.  
*R. Bell*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

04-03-17	CHANGED PUBLIC STREET TO PRIVATE	NDS
02-17-17	ADD FENCE/SHRUBS BEHIND UNITS 9-11 & SE OF UNIT 22	ABR
<b>REVISIONS</b>		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	OF SHEETS
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
<p>proj. no. 06079 survey L&amp;D design ABR drawn ABR checked DJG date 03-07-16 scale AS NOTED shl. no. 5</p>		
<p><b>CREEK'S EDGE</b> NORTH WILLISTON ROAD WILLISTON, VT</p> <p><b>LANDSCAPE PLAN</b></p> <p><b>LAMOUREUX &amp; DICKINSON</b> Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450</p>		

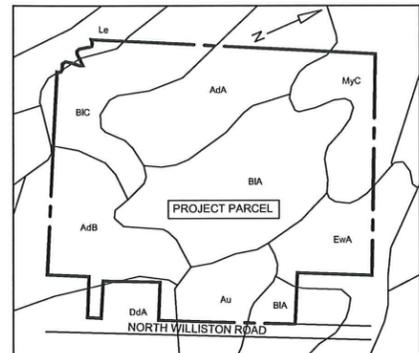
PARCEL # 015-099-033.00 DP # 15-02



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



LOCATION PLAN  
1"=2000'



**SOIL MAPPING UNIT KEY:**  
 AdA & AdB - ADAMS & WINDSOR LOAMY SAND  
 Au - AU GRES FINE SANDY LOAM  
 BIA & BIC - BELGRADE & ELDRIDGE FINE SANDY LOAM  
 DdA - DUANE & DEERFIELD LOAMY SAND  
 EwA - ENOSBURG & WHATELY SANDY LOAM  
 Le - LIMERICK SILT LOAM  
 MyC - MUNSON & RAYNHAM SILT LOAM

SOILS MAP  
N.T.S.

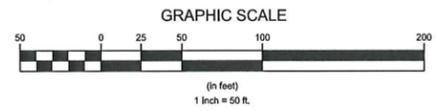
**PRE CONSTRUCTION PLAN**

**PURPOSE:** THIS PLAN PRESENTS THE EXISTING SITE CONDITIONS AND EROSION PREVENTION & SEDIMENT CONTROL MEASURES THAT MUST BE IMPLEMENTED PRIOR TO INITIATING MAJOR EARTHWORK. THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE COMPLETE AND IN PLACE PRIOR TO EARTH DISTURBANCE FOR SITE WORK OR THE BUILDING.

**LIMITS OF DISTURBANCE:** LOD SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE. WHERE DELINEATED BY EXISTING STREETS OR DRIVES, THE LOD NEED NOT BE MARKED.

**STANDARD CONDITIONS:** SEE SHEET #6 FOR EROSION PREVENTION AND SEDIMENT CONTROL STANDARD CONDITIONS THAT SHALL APPLY THROUGHOUT THE DURATION OF ALL PHASES OF CONSTRUCTION.

**EXISTING SITE CONDITIONS:** THE WORK AREA IS AN EXISTING AGRICULTURAL FIELD CHARACTERIZED BY GENTLE SLOPES GENERALLY CONVEYING RUNOFF TO THE NORTH AND WEST WHERE EXISTING WETLANDS ARE LOCATED. RUNOFF LEAVING THE SITE ENTERS ALLEN BROOK AND FLOWS TO THE NORTHEAST.



**EPSC LEGEND**

- LIMITS OF DISTURBANCE
- SILT FENCE
- STABILIZED CONSTRUCTION EXIT

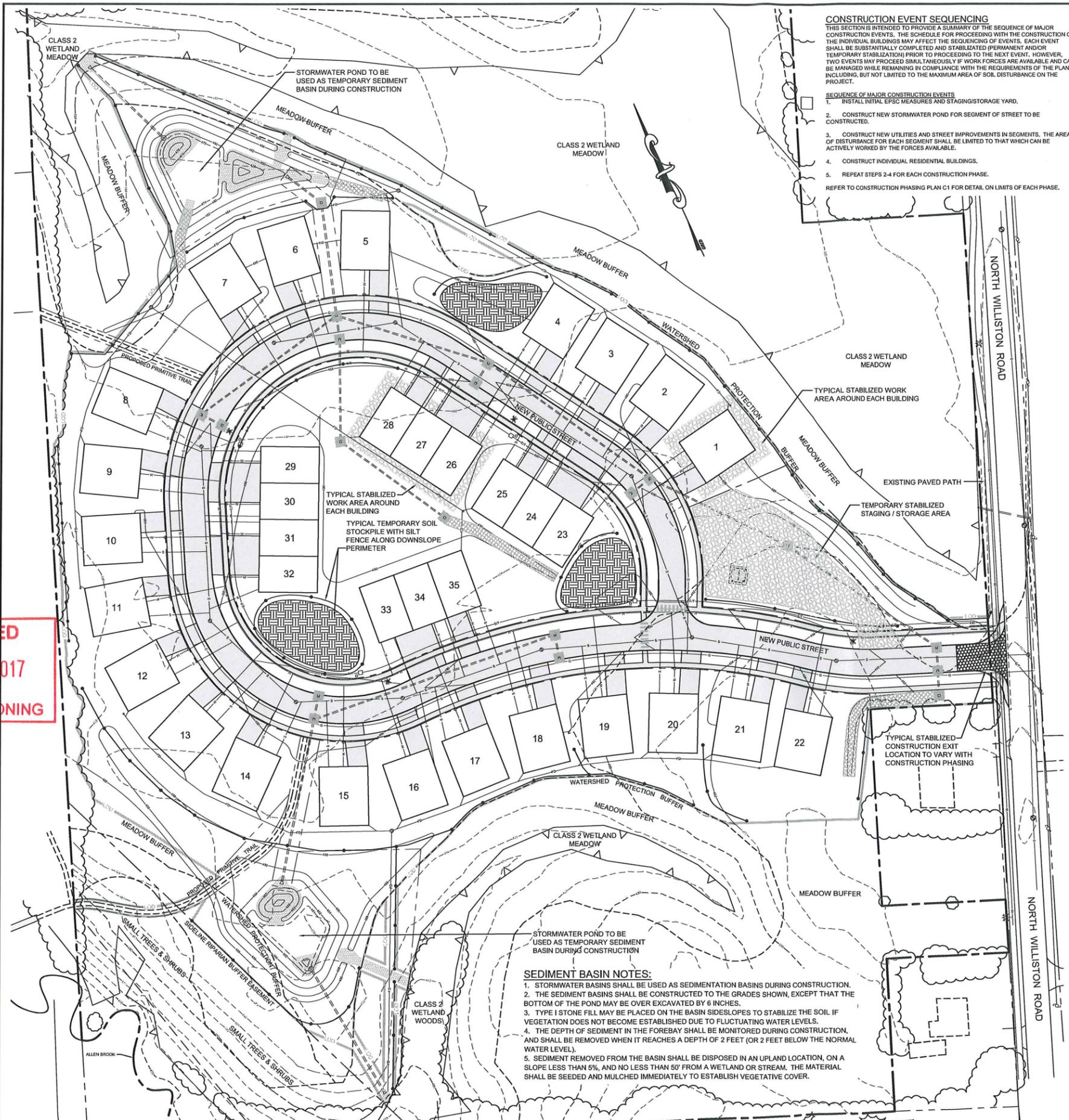
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*K. Balch*  
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
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<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
<b>CREEK'S EDGE</b> NORTH WILLISTON ROAD WILLISTON, VT <b>EROSION PREVENTION &amp; SEDIMENT CONTROL PRE-CONSTRUCTION PLAN</b>		proj. no. 06079 survey L&D design ABR drawn ABR checked DJG date 03-07-16 scale AS NOTED sht. no. 6A
PARCEL # 015:099:033.00 DP # 15-02 LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450		

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**CONSTRUCTION EVENT SEQUENCING**  
THIS SECTION IS INTENDED TO PROVIDE A SUMMARY OF THE SEQUENCE OF MAJOR CONSTRUCTION EVENTS. THE SCHEDULE FOR PROCEEDING WITH THE CONSTRUCTION OF THE INDIVIDUAL BUILDINGS MAY AFFECT THE SEQUENCING OF EVENTS. EACH EVENT SHALL BE SUBSTANTIALLY COMPLETED AND STABILIZED PERMANENT AND/OR TEMPORARY STABILIZATION PRIOR TO PROCEEDING TO THE NEXT EVENT. HOWEVER, TWO EVENTS MAY PROCEED SIMULTANEOUSLY IF WORK FORCES ARE AVAILABLE AND CAN BE MANAGED WHILE REMAINING IN COMPLIANCE WITH THE REQUIREMENTS OF THE PLAN, INCLUDING, BUT NOT LIMITED TO THE MAXIMUM AREA OF SOIL DISTURBANCE ON THE PROJECT.

**SEQUENCE OF MAJOR CONSTRUCTION EVENTS**

1. INSTALL INITIAL EPSC MEASURES AND STAGING/STORAGE YARD.
2. CONSTRUCT NEW STORMWATER POND FOR SEGMENT OF STREET TO BE CONSTRUCTED.
3. CONSTRUCT NEW UTILITIES AND STREET IMPROVEMENTS IN SEGMENTS. THE AREA OF DISTURBANCE FOR EACH SEGMENT SHALL BE LIMITED TO THAT WHICH CAN BE ACTIVELY WORKED BY THE FORCES AVAILABLE.
4. CONSTRUCT INDIVIDUAL RESIDENTIAL BUILDINGS.
5. REPEAT STEPS 2-4 FOR EACH CONSTRUCTION PHASE.

REFER TO CONSTRUCTION PHASING PLAN C1 FOR DETAIL ON LIMITS OF EACH PHASE.

**STANDARD EPSC PLAN REQUIREMENTS**  
THIS SECTION CONTAINS THE MINIMUM REQUIRED ELEMENTS FOR THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN. THESE ELEMENTS ARE IN ADDITION TO THE SITE SPECIFIC EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES SHOWN ON THE PLANS.

**EROSION PREVENTION**

1. THROUGHOUT CONSTRUCTION, THE AREA OF SOIL DISTURBANCE SHALL BE LIMITED TO THOSE AREAS THAT CAN BE ACTIVELY WORKED AND MANAGED WITH THE FORCES AVAILABLE. AREAS THAT ARE NOT ACTIVELY BEING WORKED FOR A PERIOD OF 5 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED.
2. THE MAXIMUM AREA OF SOIL DISTURBANCE AT ANY ONE TIME ON THE ENTIRE PROJECT PARCEL SHALL BE LESS THAN 5 ACRES.
3. SEDIMENT BASINS, SEDIMENT TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
4. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.
5. WHENEVER WATER SEEPS FROM SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
6. BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND THE RECEIVING CHANNEL.
7. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
  - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
8. ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES AS A PART OF MAINTENANCE SHALL BE DISPOSED OF IN AN AREA THAT IS:
  - A. LESS THAN 5% IN SLOPE.
  - B. AT LEAST 100 FT. FROM ANY DOWNSLOPE WATER BODY OR CONVEYANCE TO A WATER BODY (INCLUDING STORM DRAIN INLET OR DITCH).
  - C. VEGETATED.
 PERMANENT STABILIZATION OF SEDIMENT SHALL BE IMMEDIATELY IMPLEMENTED FOLLOWING DISPOSAL.
9. FOR ANY AREA TO BE STABILIZED FOR WINTER BY VEGETATIVE COVER, SEEDING MUST BE COMPLETED NO LATER THAN SEPTEMBER 15.
10. ANY AREA TO BE STABILIZED FOR WINTER THAT DOES NOT HAVE ESTABLISHED VEGETATION BY OCTOBER 15 MUST BE STABILIZED BY ANCHORED MULCH AT THE WINTER APPLICATION RATE OF 4 TONS PER ACRE, OR OTHER APPROVED STABILIZATION MEASURES (E.G. ROLLED EROSION CONTROL PRODUCT). DORMANT SEEDING (E.G. WITH WINTER RYE) IS RECOMMENDED.
11. DISTURBED AREAS BORDERING AND DRAINING TO ROADS MUST HAVE AN APPROPRIATE SEDIMENT BARRIER SPANNING THE EDGE OF THE DISTURBANCE TO PREVENT WASHING OF SEDIMENT ONTO ROADWAYS OR INTO ROAD DITCHES.
12. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2 TONS PER ACRE. HAY MULCH APPLICATION DURING WINTER CONSTRUCTION SHALL BE AT A RATE OF 4 TONS PER ACRE, WHERE SUBJECT TO BLOWING. MULCH SHALL BE SECURED IN PLACE BY TRACKING WITH EQUIPMENT (WITH TRACK RUNNING PARALLEL TO SLOPE), A TACKIFIER, NETTING, OR REPLACED WITH PROPERLY ANCHORED EROSION MATTING.
13. PLACEMENT OF SEED AND MULCH SHALL OCCUR WITHIN 48 HOURS OF PLACEMENT OF TOPSOIL AND COMPLETION OF FINAL GRADING (NOT WITHSTANDING STABILIZATION REQUIREMENTS ELSEWHERE IN THIS PLAN).
14. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED.

**STABILIZATION**

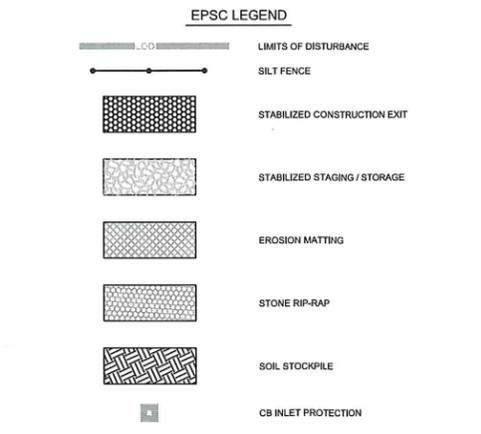
15. ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 14 DAYS. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY.
 

THE FOLLOWING EXCEPTIONS APPLY:

  - A. STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
  - B. STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. HOUSE FOUNDATION EXCAVATION, UTILITY TRENCHES).
16. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION EXCEPT AS NOTED BELOW. ALL SITES SHALL BE SEEDING AND STABILIZED WITH EROSION CONTROL MATERIALS, SUCH AS MULCH OR ROLLED EROSION CONTROL PRODUCTS, INCLUDING AREAS WHERE CONSTRUCTION HAS BEEN SUSPENDED OR SECTIONS COMPLETED.
  - A. ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS (E.G. RCPC), OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS SOD.
  - B. FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FT. OF A BUILDING UNDER CONSTRUCTION, A DOWNSLOPE PERIMETER SEDIMENT CONTROL SYSTEM CONSISTING, FOR EXAMPLE, OF SILT FENCING, SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL. EXPOSED DISTURBED AREAS ADJACENT TO A CONVEYANCE THAT PROVIDES RAPID OFFSITE DISCHARGE OF SEDIMENT, SUCH AS A CUT SLOPE AT AN ENTRANCE, SHALL BE COVERED WITH PLASTIC OR GEOTEXTILE TO PREVENT SOIL LOSS UNTIL IT CAN BE STABILIZED. STABILIZED CONSTRUCTION ENTRANCES WILL BE MAINTAINED TO CONTROL VEHICLE TRACKING MATERIAL OFF SITE.
  - C. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTING DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAP/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT PRACTICES.
  - D. STABILIZATION MEASURES SHALL BE APPLIED TO EARTH STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
  - E. ALL SLOPES STEEPER THAN 3:1 (H:V), OR 33.3%, AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, EROSION MATTING, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.

**BUILDING CONSTRUCTION RUNOFF REQUIREMENTS:**

1. WHERE ROOF TOP RUNOFF WILL BE DIRECTED OVERLAND ACROSS VEGETATED TERRAIN OR TO GRASS SWALES, THE AREA RECEIVING RUNOFF (LAWN OR SWALE) SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED BEFORE RECEIVING RUNOFF.
2. TEMPORARY DIVERSION OF ROOF TOP RUNOFF OR RUNOFF FROM THE BUILDING CONSTRUCTION AREA MAY BE NECESSARY DURING CONSTRUCTION TO PREVENT EROSION OR FOR THE TREATMENT OF CONSTRUCTION SITE RUNOFF. THE RECEIVING AREA SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED PRIOR TO RECEIVING ANY DIVERTED RUNOFF.
3. WHERE ROOF GUTTERS WILL BE USED, BUT ARE NOT IN PLACE, A STONE DRIP EDGE SHALL BE PROVIDED TO PREVENT EROSION.
4. EROSION MATTING SHALL BE PLACED AT ALL ROOF GUTTER DOWNSPOUT LOCATIONS AND SHALL EXTEND SUCH THAT RUNOFF IS DIRECTED ONTO A STABILIZED OR VEGETATED SURFACE.
5. EROSION MATTING SHALL BE PLACED IN ALL AREAS WHERE SURFACE GRADING AROUND THE BUILDINGS WILL RESULT IN CONCENTRATED FLOW.



**SEDIMENT BASIN NOTES:**

1. STORMWATER BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION.
2. THE SEDIMENT BASINS SHALL BE CONSTRUCTED TO THE GRADES SHOWN, EXCEPT THAT THE BOTTOM OF THE POND MAY BE OVER EXCAVATED BY 6 INCHES.
3. TYPE I STONE FILL MAY BE PLACED ON THE BASIN SIDESLOPES TO STABILIZE THE SOIL IF VEGETATION DOES NOT BECOME ESTABLISHED DUE TO FLUCTUATING WATER LEVELS.
4. THE DEPTH OF SEDIMENT IN THE FOREBAY SHALL BE MONITORED DURING CONSTRUCTION, AND SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 2 FEET (OR 2 FEET BELOW THE NORMAL WATER LEVEL).
5. SEDIMENT REMOVED FROM THE BASIN SHALL BE DISPOSED IN AN UPLAND LOCATION, ON A SLOPE LESS THAN 5%, AND NO LESS THAN 50' FROM A WETLAND OR STREAM. THE MATERIAL SHALL BE SEEDING AND MULCHED IMMEDIATELY TO ESTABLISH VEGETATIVE COVER.

**INSPECTION & MONITORING**

17. THE ON-SITE COORDINATOR IS TO BE DETERMINED.
18. THE ON-SITE COORDINATOR SHALL INSPECT, AND DOCUMENT IN WRITING, THE STATUS OF CONSTRUCTION ON THE PROJECT SITE AND EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES IN PLACE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, PRIOR TO PREDICTED PRECIPITATION, AND AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES A DISCHARGE OF STORMWATER FROM THE CONSTRUCTION SITE.
19. DURING THE WINTER CONSTRUCTION PERIOD (OCT. 15 - APRIL 15) DAILY INSPECTIONS SHALL BE PERFORMED AND DOCUMENTED.
20. INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE PER MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED AND ALL CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED. INSPECTIONS SHALL RESUME PRIOR TO RESUMING CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED ABOVE.
21. IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THIS WILL INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.

**PERMIT NOTICE**

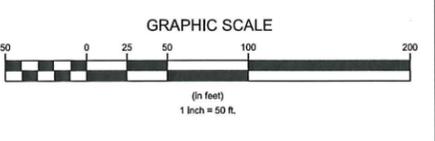
22. A COPY OF THE DISCHARGE PERMIT, THE AUTHORIZATION TO DISCHARGE, A BRIEF DESCRIPTION OF THE PROJECT, AND THE LOCATION WHERE THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN IS AVAILABLE SHALL BE POSTED AT A LOCATION ON THE PROJECT SITE THAT IS VISIBLE TO THE PUBLIC.

**SPECIAL WINTER EPSC PLAN REQUIREMENTS**  
IF CONSTRUCTION ACTIVITIES INVOLVING EARTH DISTURBANCE CONTINUE PAST OCTOBER 15, OR BEGIN BEFORE APRIL 15, THEN THE FOLLOWING PROVISIONS SHALL BE IMPLEMENTED:

1. STABILIZED ACCESS POINTS SHALL BE ENLARGED TO PROVIDE FOR SNOW STOCKPILING WHILE STILL MAINTAINING EFFECTIVE SEDIMENT CONTROL. PACKED SNOW AND ICE MAY NEED TO BE REMOVED AND ADDITIONAL STONE PLACED TO MAINTAIN THE LOOSE STONE SURFACE AT STABILIZED CONSTRUCTION EXITS.
2. THE LIMITS OF DISTURBANCE MAY NEED TO BE REPLACED OR DRAWN IN TO REFLECT THE BOUNDARY OF WINTER WORK. THE LIMITS OF DISTURBANCE SHALL BE DRAWN IN TO EXCLUDE ALL AREAS TEMPORARILY STABILIZED FOR THE WINTER, AND AREAS WHERE DISTURBANCE DURING THE WINTER IS NOT PLANNED.
3. BASED UPON THE WINTER ACTIVITIES PROPOSED, THE ON-SITE PLAN COORDINATOR SHALL DEVELOP A SNOW MANAGEMENT PLAN THAT SHALL INCLUDE AT A MINIMUM:
  - A. ADEQUATE SIZE FOR SNOW STORAGE AREAS
  - B. SNOW STORAGE AREAS LOCATED DOWN GRADIENT OF AREAS OF PLANNED DISTURBANCE
  - C. CONTROL OF SNOWMELT RUNOFF
  - D. PROHIBITING STORAGE OF SNOW IN STORMWATER TREATMENT STRUCTURES.
  - E. A MINIMUM 25 FOOT BUFFER BETWEEN PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR SNOW CLEARING AND MAINTENANCE.
4. IN AREAS OF DISTURBANCE WITHIN 100 FT. OF A RECEIVING WATER, SILT FENCE SHALL BE REINFORCED OR REPLACED WITH PERIMETER DIKES, SWALES, OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
5. THE ON-SITE PLAN COORDINATOR INSPECTIONS SHALL INCLUDE MAINTENANCE OF DRAINAGE STRUCTURES TO INSURE THAT THEY ARE OPEN AND FREE OF SNOW AND ICE DAMS.
6. SILT FENCE AND OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE INSTALLED AHEAD OF GROUND FREEZING. IF PRACTICES MUST BE INSTALLED OR MAINTAINED AFTER GROUND FREEZING, NO FROZEN MATERIAL SHALL BE USED IN THE CONSTRUCTION OF BERMS OR DIKES, OR INSTALLATION OF SILT FENCE.
7. WHERE MULCH IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED TWICE THE STANDARD RATE, OR A MINIMUM OF 4 TONS PER ACRE.
8. WHEN MULCH IS USED FOR TEMPORARY STABILIZATION, AS NEEDED, IT SHALL BE ANCHORED TO PREVENT BLOWING AND REMOVAL BY WIND, ANCHORING MAY INCLUDE TRACKING WITH EQUIPMENT, APPLICATION OF A TACKIFIER, OR NETTING.
9. TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH DAY, WITH THE FOLLOWING EXCEPTIONS:
  - A. IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
  - B. DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
10. SNOW AND/OR ICE SHALL BE REMOVED TO A THICKNESS OF LESS THAN 1" (ONE INCH) PRIOR TO TEMPORARY STABILIZATION.
11. WHERE EXTERIOR CONSTRUCTION ON BUILDINGS WILL CONTINUE, OR WHERE VEHICLE OR EQUIPMENT TRAFFIC ASSOCIATED IS EXPECTED, A STABILIZED WORK AREA AROUND THE PERIMETER OF THE STRUCTURE SHALL BE STABILIZED WITH CRUSHED STONE OR GRAVEL.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE 3 DAY OF MAY 2017.

*R. Bell*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



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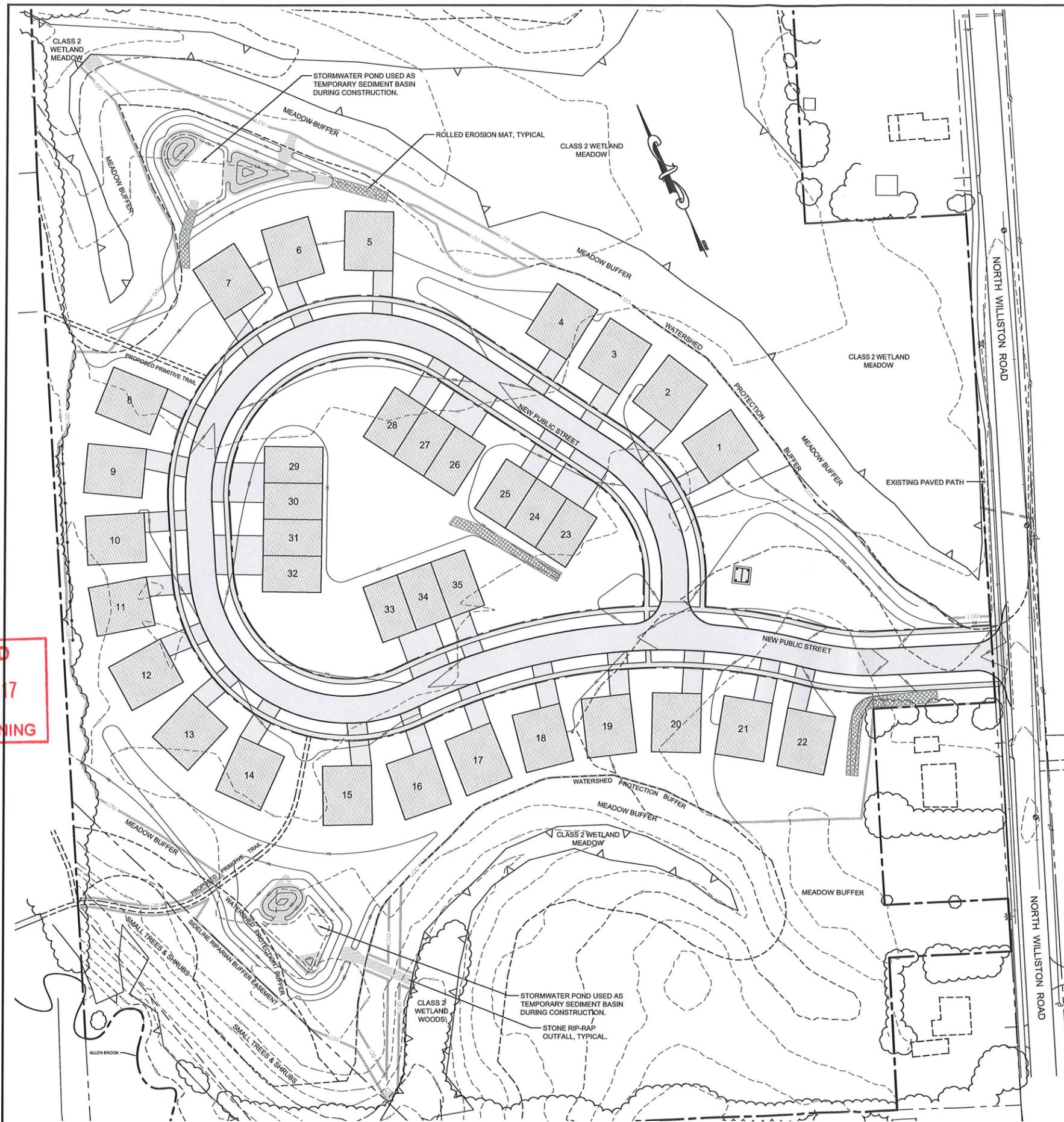
PARCEL # 015-099-033.00 DP # 15-02

**CREEK'S EDGE**  
NORTH WILLISTON ROAD WILLISTON, VT  
**EROSION PREVENTION & SEDIMENT CONTROL CONSTRUCTION PLAN**

**LAMOREUX & DICKINSON**  
Consulting Engineers, Inc.  
14 Morse Drive  
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Tel: 802-578-4450

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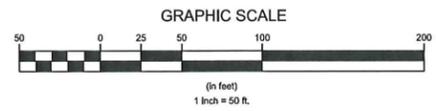


**MULCHING AND MATTING REQUIREMENTS**

MULCH MATERIAL	QUALITY STANDARDS	APPLICATION RATE PER ACRE	DEPTH OF APPLICATION	NOTES
WOOD CHIPS OR SHAVINGS	FREE OF OBJECTIONABLE OR COARSE MATERIAL	10-20 TONS	2" - 7"	USED PRIMARILY AROUND SHRUBS AND TREES, OR ALONG TRAILS. RESISTANT TO WIND BLOWING. DECOMPOSES SLOWLY.
HAY OR STRAW	AIR DRIED, FREE OF UNDESIRABLE SEEDS AND COARSE MATERIAL	2 TONS (4 TONS IN WINTER)	~ 90% COVERAGE	USE TACKIFIER, NETTING, AND/OR TRACKING WHERE SUBJECT TO BLOWING. NOT SUITABLE FOR SLOPES ≥ 3H:1V
GRAVEL, STONE, OR SLAG	WASHED, SIZE 3/8" - 1 1/2"	405 CY	3"	USE BELOW ROOFLINES WITHOUT GUTTERS, FOR SHORT SLOPES OR AROUND PLANTS
ROLLED EROSION CONTROL PRODUCT (EROSION MATTING)	DOUBLE NET STRAW BLANKET - NORTH AMERICAN GREEN S1508N OR EQUAL	-	100% COVERAGE	TO BE USED ON SLOPES ≥ 3H:1V. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND DETAILS ON OTHER SHEETS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR "CREEK'S EDGE (EKA BRYAN COMMONS)" ON THE 3 DAY OF MAY 2017.

*K. Bell*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

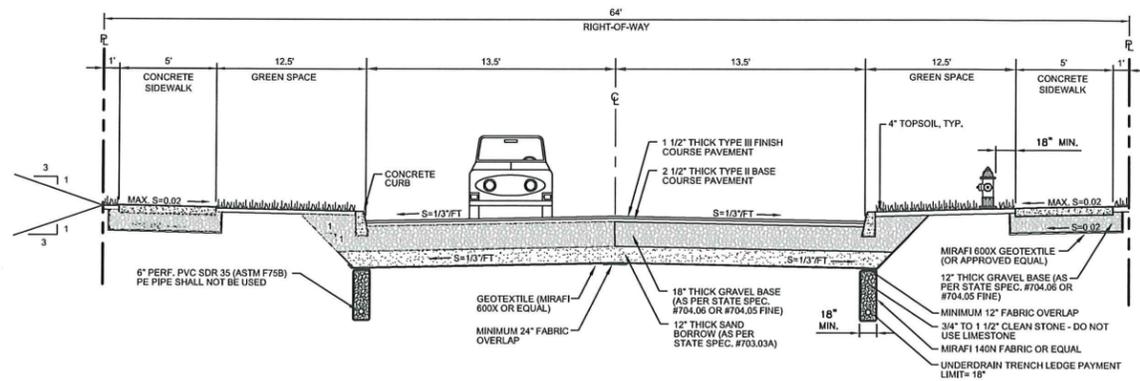


**EPSC LEGEND**

	STONE RIP-RAP
	EROSION MATTING
	BUILDING ROOFTOP
	NEW PAVED STREET/DRIVES AND WALKWAYS

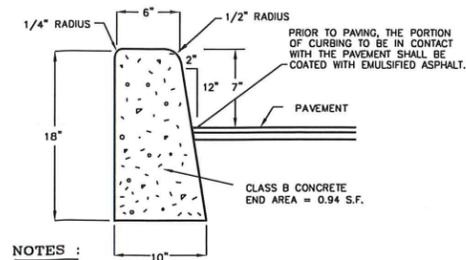
PARCEL # 015:099:033.00 DP # 15-02

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
<p style="text-align: center;"><b>CREEK'S EDGE</b> NORTH WILLISTON ROAD WILLISTON, VT</p> <p style="text-align: center;"><b>EROSION PREVENTION &amp; SEDIMENT CONTROL STABILIZATION PLAN</b></p>		proj. no. 06079 survey L&D design ABR drawn ABR checked DJG date 03-07-16 scale AS NOTED sht. no. 6C
<p>LAMOUREUX &amp; DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4430</p>		



64' WIDE RIGHT-OF-WAY TYPICAL SECTION

SCALE: NTS

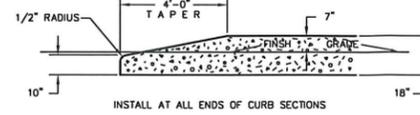


NOTES :

- 1) CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8" JOINT BETWEEN SECTIONS.
- 2) CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO AASHTO DESIGNATION M-1.5.3 (1/2" SPONGE RUBBER OR CORK.)
- 3) ALL EXPOSED CONCRETE CURB SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND AFTER THE INITIAL CURING PERIOD (APPROXIMATELY 28 DAYS)

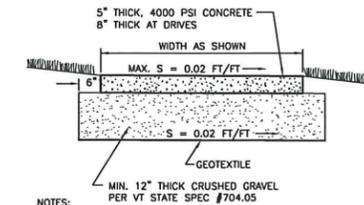
CONCRETE CURB

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TYPICAL TAPERED CURB

NTS



NOTES:

1. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 PSI AT 28 DAYS, AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT OF BETWEEN 5% AND 7% BY VOLUME.
2. HALF INCH (1/2") TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT EXCEEDING TWENTY FEET (20'). SIDEWALKS SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE (5) FEET. CURB AND SIDEWALK SECTIONS SHALL BE SEPARATED BY ASPHALT TREATED FELT.
3. AFTER THE INITIAL CURING PERIOD IS OVER (APPROXIMATELY 28 DAYS), ALL EXPOSED SURFACES SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND.

CONCRETE SIDEWALK DETAIL

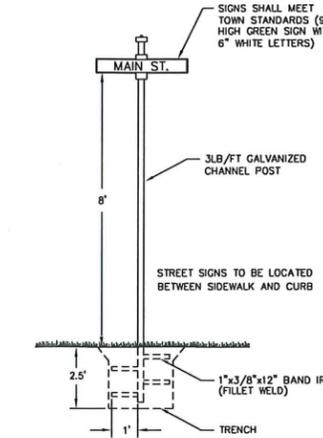
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GENERAL CONSTRUCTION SPECIFICATIONS

- 1) UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. ANY SURFACES, LINES OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- 3) SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- 4) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2011 VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN OF WILLISTON PUBLIC WORKS SPECIFICATIONS AND THESE PLANS.
- 5) A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OR HER OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SWEEP THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- 7) THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAVING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ENSURE COMPLIANCE WITH THE PLANS.
- 8) PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND THE TOWN.
- 9) ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO T-99 STANDARD PROCTOR, AND SHALL BE TESTED AT 500' INTERVALS, UNLESS OTHERWISE SPECIFIED.
- 10) BACKFILL UNDER PIPES IN FILL AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT. THE PIPES SHALL ONLY BE INSTALLED OVER ADEQUATELY COMPACTED SOILS.
- 11) THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR PRIOR TO AND AFTER EVERY RAINFALL UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- 12) CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED BY STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS INC. (L&D) TO DETERMINE IF THE WORK IS BEING PERFORMED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. L&D WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY, ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT L&D'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING PROGRESS.
- 13) THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF THE INDIVIDUAL UNIT OR LOT CURB CUTS AND PIPE SERVICES WITH THE OWNER AT THE TIME OF CONSTRUCTION.
- 14) ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.

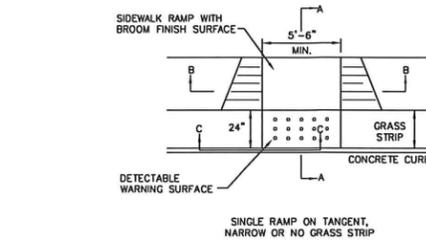
TYPICAL STREET CROSS-SECTION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN PUBLIC WORKS SPECIFICATIONS, THE 2011 VERMONT STATE STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
2. EMULSION WILL BE PLACED ON THE FACE OF THE CURB WHERE IT WILL BE IN CONTACT WITH THE PAVEMENT.
3. EMULSION WILL BE PLACED BETWEEN THE BASE AND FINISH COATS OF PAVEMENT WHEN THE FINISH COURSE IS NOT PLACED IMMEDIATELY AFTER THE BASE COURSE PLACEMENT.
4. THE STREET FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 0.5%.
5. WHERE LEDGE EXISTS IT SHALL BE SHATTERED TO A MINIMUM OF 2'-6" BELOW SUBGRADE.
6. YELLOW OR ORANGE WARNING TAPE SHALL BE BURIED 15" ABOVE ALL GAS, ELECTRIC, TELEPHONE AND T.V. LINES.
7. PRIOR TO INSTALLING THE UNDERDRAINS, THE FABRIC AND GRAVEL, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A GRADATION ANALYSIS FOR EACH MATERIAL SOURCE TO BE USED DEMONSTRATING COMPLIANCE WITH THE REQUIRED SPECIFICATION. THIS GRADATION ANALYSIS SHALL BE REPRESENTATIVE OF THE MATERIAL TO BE USED. SUBSEQUENT SAMPLES SHALL BE TAKEN FROM ON-SITE MATERIAL IN PLACE FOR GRADATION ANALYSIS BY THE ENGINEER.
8. PRIOR TO PLACEMENT OF SAND BORROW OR GRAVEL BASE MATERIALS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A GRADATION ANALYSIS FOR EACH MATERIAL SOURCE TO BE USED DEMONSTRATING COMPLIANCE WITH THE REQUIRED SPECIFICATION. THIS GRADATION ANALYSIS SHALL BE REPRESENTATIVE OF THE MATERIAL TO BE USED. SUBSEQUENT SAMPLES SHALL BE TAKEN FROM ON-SITE MATERIAL IN PLACE FOR GRADATION ANALYSIS BY THE ENGINEER.
9. ALL PAVEMENT MARKINGS ON PUBLIC STREETS SHALL BE DURABLE MARKINGS (3M TAPE). TEMPORARY PAINT MARKINGS SHALL BE PROVIDED ON BASE COURSE PAVEMENT.



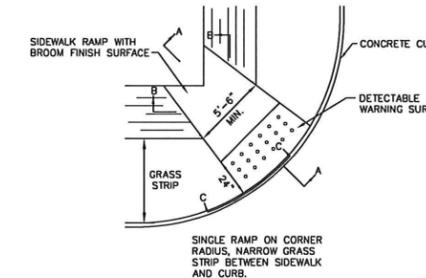
STREET NAME SIGN

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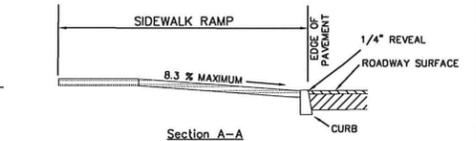
SIDEWALK RAMP WITH BROOM FINISH SURFACE

NTS



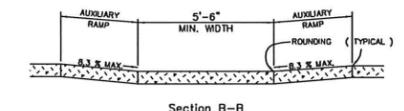
SIDEWALK RAMP

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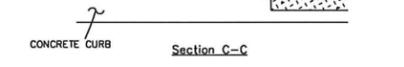
SIDEWALK RAMP WITH DETECTABLE WARNING SURFACE

NTS



SIDEWALK RAMP WITH DETECTABLE WARNING SURFACE

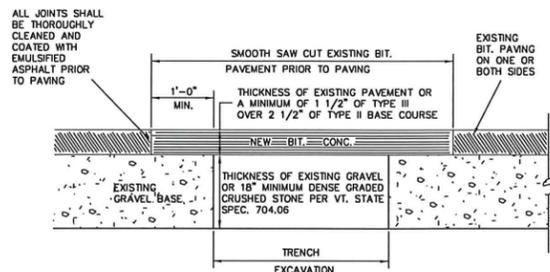
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SIDEWALK RAMP WITH DETECTABLE WARNING SURFACE

NTS

NOTE: THE DETECTABLE WARNING SURFACE PLATES SHALL BE CAST IRON.



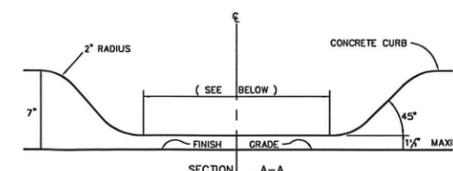
REPLACEMENT of EXISTING BITUMINOUS PAVEMENT

NTS

1. SET UP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES IN ACCORDANCE WITH VIRANS E-STANDARDS AND THE MUTCD.
2. RESHAPE HOLE AND PATCH AREA BY CUTTING WITH CONCRETE SAW INTO A SQUARE OR RECTANGULAR SHAPE. CUT SIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND AROUND HOLE TO SOLID PAVEMENT.
3. BACKFILL TRENCH IN 6" LIFTS AND COMPACT EACH LIFT TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
4. REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
5. APPLY LIQUID EMULSION (RS-1) TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE EMULSION ON BOTTOM OF THE HOLE.
6. PLACE TYPE II BASE COURSE PAVEMENT A MINIMUM OF 2 1/2" THICK.
7. FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS OF NO MORE THAN 2". FINAL LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT BEFORE COMPACTION SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE EXISTING PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTED WITH A VIBRATORY PLATE COMPACTOR OR A VIBRATORY PORTABLE ROLLER. HAND TAMP SHOULD ONLY BE USES FOR SMALL AREAS (LESS THAN 1 S.F.).
8. CLEAN UP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS AND DEVICES.

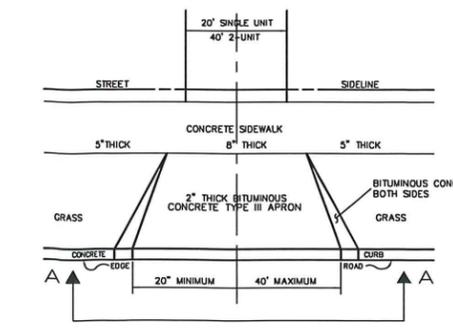
REPLACEMENT of EXISTING BITUMINOUS PAVEMENT

NTS



DRIVEWAY APRON & CURB CUT

NTS



DRIVEWAY APRON & CURB CUT

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FINAL PLANS

LEDGE REMOVAL SPECIFICATIONS

1. ALL LEDGE BLASTING AND REMOVAL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL EXCAVATE ROCK, IF ENCOUNTERED, TO THE LINES AND GRADES INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER, PROPERLY DISPOSE OF THE ROCK AND BACKFILL WITH ADEQUATE MATERIAL. ROCK IN PIPE TRENCHES SHALL BE EXCAVATED SO AS NOT TO BE LESS THAN SIX INCHES FROM THE BOTTOM OF THE PIPE AFTER IT HAS LAID.
3. ROCK EXCAVATION SHALL MEAN BOULDERS EXCEEDING ONE CUBIC YARD IN VOLUME OR SOLID LEDGE ROCK, WHICH, IN THE OPINION OF THE ENGINEER, REQUIRES ITS REMOVAL DRILLING AND BLASTING, WEDGING, SLEDGING, OR BARRING. NO HARDPAN, SOFT, OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITH A PICK, LOOSE, SHAKEN OR PREVIOUSLY BLASTED ROCK OR BROKEN STONE SMALLER THAN ONE CUBIC YARD IN ROCKFILLING OR ELSEWHERE; AND NO ROCKS EXTERIOR TO THE MAXIMUM LIMITS OF EXCAVATIONS BY THE APPROVED BY THE ENGINEER WHICH MAY FALL INTO THE TRENCH OR OTHER EXCAVATIONS, WILL BE MEASURED OR ALLOWED AS ROCK EXCAVATION.
4. IN ROCK EXCAVATION, IT IS ESPECIALLY REQUIRED THAT BLASTING SHALL BE CONDUCTED WITH ALL POSSIBLE CARE SO AS TO AVOID INJURY TO PERSONS AND PROPERTY; THAT ROCK SHALL BE WELL COVERED WITH EFFECTIVE APPLIANCES; THAT SUFFICIENT WARNING SHALL BE GIVEN TO ALL PERSONS IN THE VICINITY OF WORK BEFORE BLASTING; THAT CARE SHALL BE TAKEN TO AVOID INJURY TO WATER PIPES, GAS PIPES, SEWERS, DRAINS, OR OTHER STRUCTURES; AND THAT CAPS OR OTHER PRIMERS SHALL NOT BE KEPT IN THE SAME PLACE WHERE DYNAMITE OR OTHER EXPLOSIVES ARE STORED.
5. THE CONTRACTOR SHALL OBSERVE ALL LAWS AND ORDINANCES RELATING TO STORAGE AND HANDLING OF EXPLOSIVES.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE DAY OF MAY 24, 2017.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

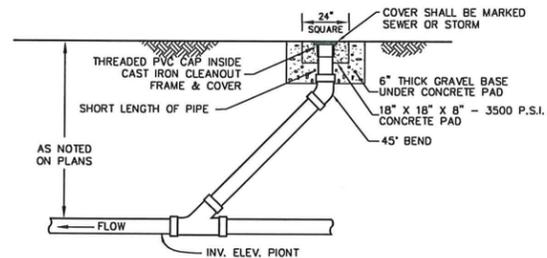
REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
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<input type="checkbox"/> RECORD DRAWING		
CREEK'S EDGE		proj. no. 06079
NORTH WILLISTON ROAD WILLISTON, VT		survey L&D
DETAILS & SPECIFICATIONS		design ABR
ROADWAY & MISC.		drown ABR
		checked DJG
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		scale
		AS NOTED
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PARCEL # 015-099-033-00 DP # 15-02

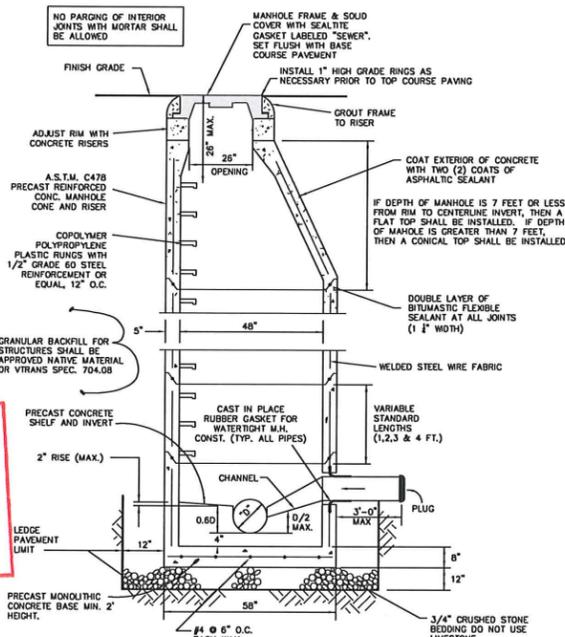
LAMOUREUX & DICKINSON  
Consulting Engineers, Inc.  
14 Morse Drive  
Essex Junction, VT 05452  
Tel: 802-878-4450

**SANITARY & STORM SPECIFICATIONS**

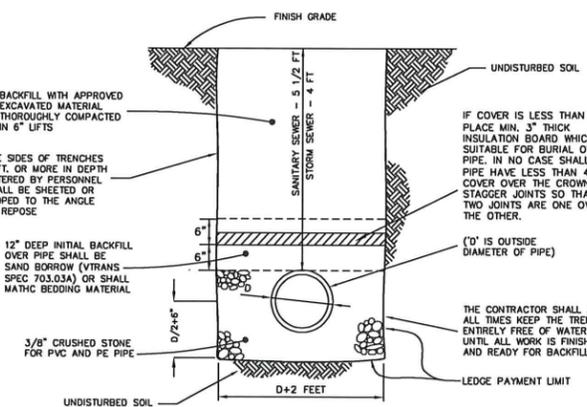
- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3212, AND ASTM F-427. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-190 FOR ACCOMP PIPE AND AASHTO M-246 TYPE B FOR POLYMERIC COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M294-90, TYPE S (SMOOTH LINED).
- 2) ALL NEW GRAVITY SANITARY SEWER MAINS AND SERVICE LATERALS TO THE ROAD RIGHT-OF-WAY SHALL BE LEAK TESTED BY A LOW PRESSURE AIR TEST AND DEFLECTION TESTED. THE LOW PRESSURE AIR TEST WILL BE USED TO SIMULATE INFILTRATION OR EXFILTRATION INTO OR OUT OF ALL GRAVITY SANITARY SEWERS. ALL TESTING WILL BE CONDUCTED UNDER THE SUPERVISION OF THE ENGINEER. AIR TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C828-80. THE MINIMUM ALLOWED TIME FOR A PRESSURE DROP FROM 3.5 PSI TO 2.5 PSI SHALL BE 1.2 MINUTES PER 100 FEET OF 8" SEWER. AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS, THE DEFLECTION TEST MAY BE PERFORMED. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT (5%). IF THE DEFLECTION TEST IS RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES. ALL MANHOLE AND PIPELINE MATERIALS, METHODS AND TESTING SHALL BE IN ACCORDANCE WITH TOWN AND STATE STANDARDS AND THESE PLANS.
- 3) ALL SANITARY SEWER MANHOLES SHALL BE TESTED BY THE VACUUM TEST METHOD. FOR MANHOLES UP TO 10' DEEP THE MINIMUM ALLOWED TIME FOR A VACUUM DROP FROM 10" TO 9" OF MERCURY SHALL BE 2 MINUTES. FOR MANHOLES 10'-15' DEEP THE MINIMUM ALLOWED TIME SHALL BE 2 MINUTES AND 30 SECONDS.



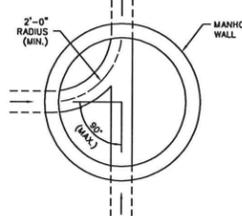
**CLEANOUT DETAIL (STORM & GRAVITY SEWER)**  
NTS



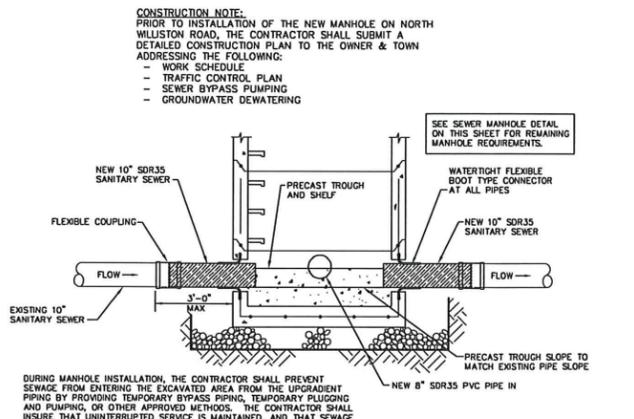
**TYPICAL PRECAST SANITARY MANHOLE**  
NTS



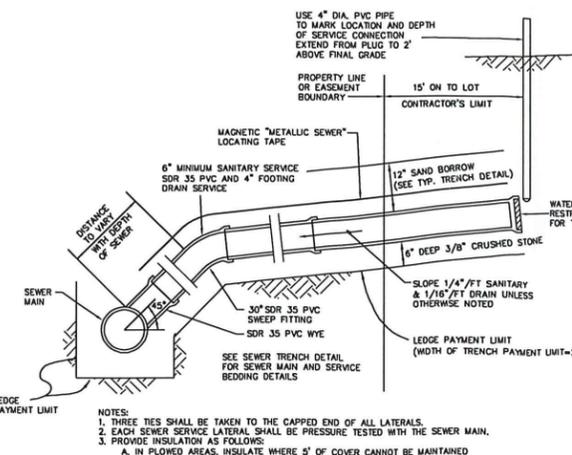
**TYPICAL SANITARY SEWER & STORM TRENCH**  
NTS



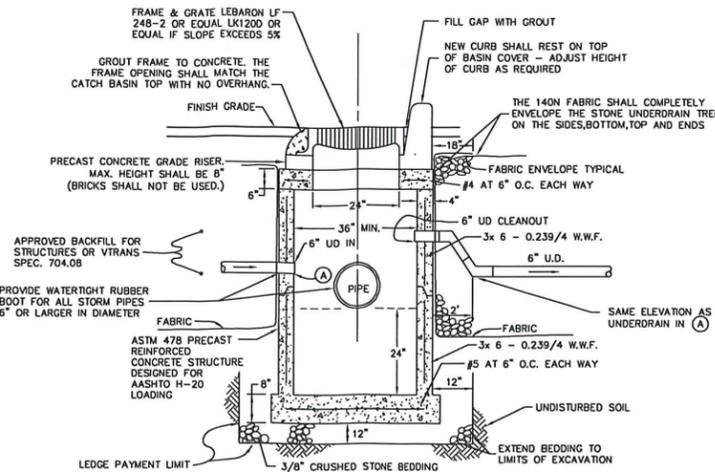
**MANHOLE CHANNEL**  
NTS



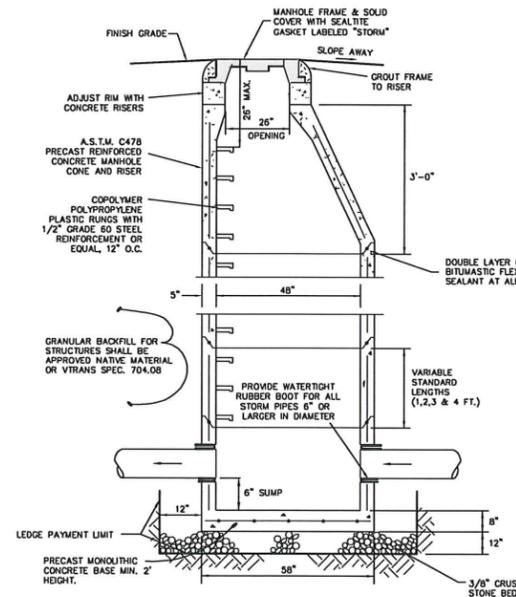
**NEW IN-LINE SEWER MANHOLE INSTALLATION DETAIL**  
NTS



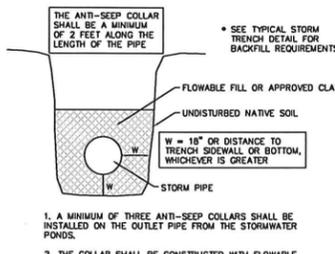
**SANITARY SEWER SERVICE CONNECTION**  
NTS



**PRECAST CATCH BASIN**  
NTS



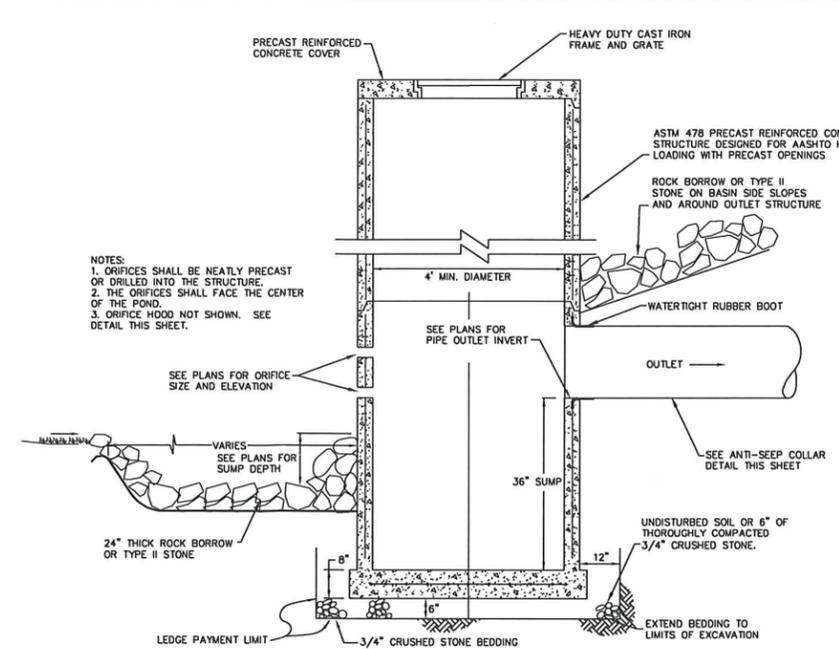
**TYPICAL PRECAST STORM MANHOLE**  
NTS



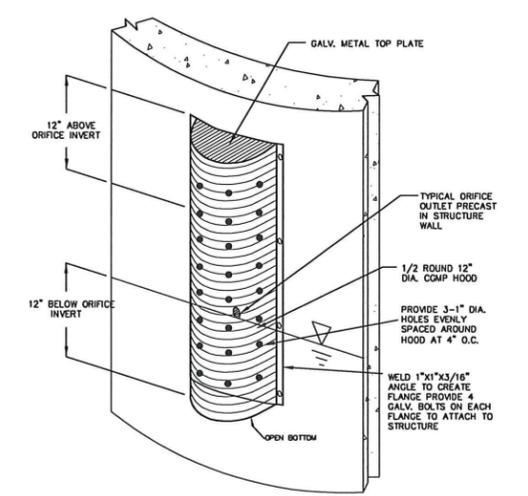
**ANTI-SEEP COLLAR**  
NTS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE 3 DAY OF MAY 2017.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



**BASIN OUTLET STRUCTURE**  
NTS



**OUTLET STRUCTURE ORIFICE HOOD**  
NTS

RECEIVED  
APR 17 2017  
PLANNING/ZONING

FINAL PLANS

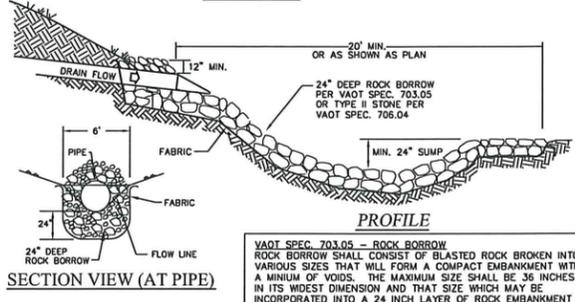
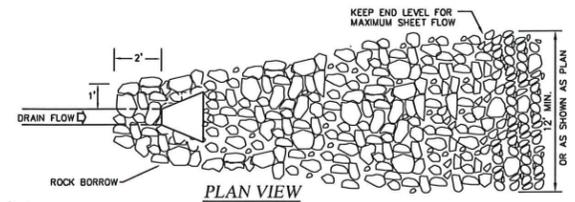
REVISIONS		# OF SHEETS
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<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
CREEK'S EDGE		proj. no. 06079
NORTH WILLISTON ROAD WILLISTON, VT		survey L&D
DETAILS & SPECIFICATIONS		design ABR
SEWER & STORM		drown ABR
		checked DJC
		date 03-07-16
		scale
		AS NOTED
		sht. no. 8

PARCEL # 015-099-033.00 DP # 15-02



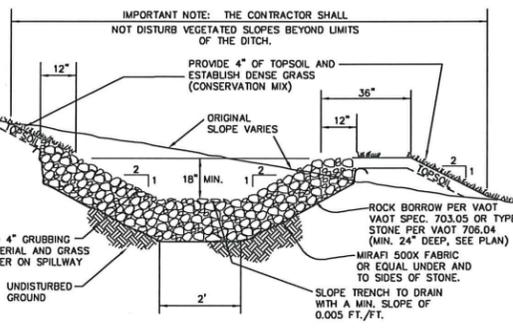
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PLANNING/ZONING

FINAL PLANS



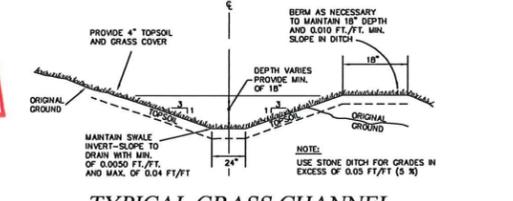
**STORM OUTFALL DETAIL**

NTS



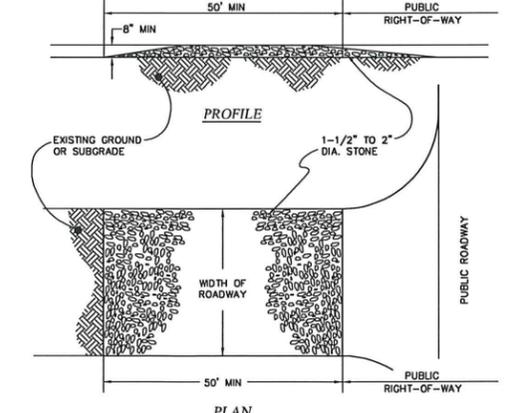
**TYPICAL STONE DITCH DETAIL**

NTS



**TYPICAL GRASS CHANNEL**

NTS



- NOTES:**
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
  - THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING CONSTRUCTION.
  - PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION EXIT AND PUBLIC RIGHT-OF-WAY.

**STABILIZED CONSTRUCTION EXIT**

NTS

**TURF ESTABLISHMENT SPECIFICATIONS**

ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETE PRIOR TO SEPTEMBER 15. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- A MINIMUM OF 4" OF APPROVED TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
- URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS AT THE SPECIFIED RATE.
- FERTILIZER SHALL BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL PH TEST.
- MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKLER TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKLER WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 5% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO BIODEGRADABLE JUTE FIBER NETTINGS, NORTH AMERICAN GREEN S150BN OR EQUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDING, MULCHING, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

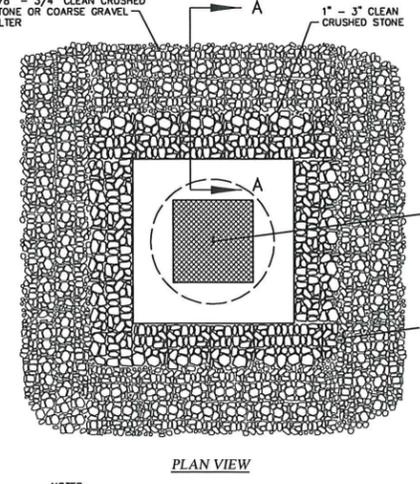
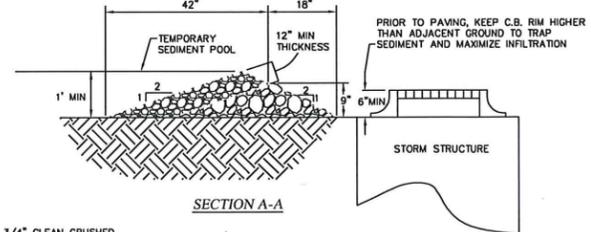
URBAN MIX GRASS SEED			
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED	
31.5	45	CREEPING RED FESCUE	
37.25	37.5	KENTUCKY BLUEGRASS	
31.25	37.5	WINTER HARDY, PERENNIAL RYE	
100	120	LIVE SEED PER ACRE	

URBAN SEED MIX SHALL BE USED ALONG THE NEW STREETS AND ALL LAWN AREAS

**STUMP DISPOSAL SPECIFICATIONS**

THE TREES THAT MUST BE CUT WILL BE USED AS FIREWOOD. THE STUMPS, BRUSH, AND EXCESS UNSUITABLE EARTH WILL BE DISPOSED OF AT THE LOCATION DESIGNATED BY THE ENGINEER AS A STUMP DISPOSAL AREA WELL ABOVE THE SEASONAL HIGH WATER OR HAULED OFF-SITE TO A STATE-APPROVED LANDFILL. IF ON-SITE STUMP DISPOSAL IS IMPLEMENTED, THE FOLLOWING GUIDELINES SHALL BE MET:

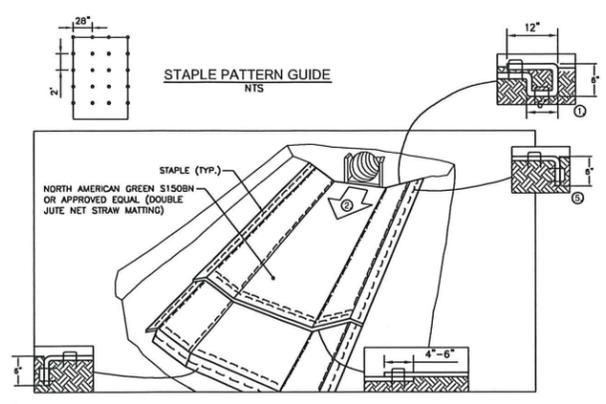
- WHENEVER POSSIBLE, STUMP DISPOSAL SITES SHOULD BE LOCATED ON NEARLY LEVEL TO MODERATELY SLOPING LANDS (SLOPES LESS THAN 12%).
- DISPOSAL SITES WILL NOT BE LOCATED IN OR WITHIN 100 FEET OF FLOWING WATERCOURSES OR STREAMS OR IN ACTIVELY ERODING GULLIES.
- DISPOSAL SITES SHALL NOT BE LOCATED IN FLOODED OR FLOOD-PRONE LANDS, MARSHES, OR OTHER AQUIFER RECHARGE AREAS.
- STUMPS WILL BE PLACED ON THE SITE IN A SINGLE LIFT PRIOR TO BACKFILLING. WHEN ADDITIONAL STUMPS ARE TO BE DEPOSITED ON THE SAME SITE, EACH SUCCESSIVE LAYER OR LIFT OF STUMPS WILL BE BACKFILLED.
- A MINIMUM OF TWO FEET (2') OF OVERBURDEN WILL BE PLACED OVER ALL DISPOSAL SITES.



- NOTES:**
- INLET PROTECTION TO BE PROVIDED AT ALL CATCHBASINS OR YARD INLETS.
  - THE STONE FILTER SHALL BE INSPECTED FOLLOWING EACH STORM. ACCUMULATED SEDIMENTS SHALL BE REMOVED AND THE STONE REPLACED AS NECESSARY.
  - THE LIMITS OF THE STONE AROUND THE INLET MAY BE MODIFIED BY THE ONSITE PLAN COORDINATOR DEPENDING ON THE TOPOGRAPHY DIRECTING RUNOFF TO THE CATCHBASIN.

**CATCH BASIN INLET PROTECTION**

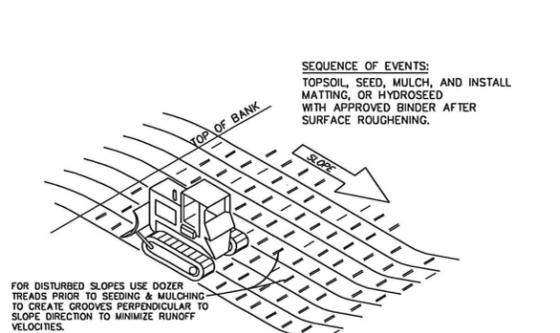
NTS



- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. FOLD REMAINING 12" PORTION OF BLANKET BACK OVER COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN ABOVE IN THE STAPLE PATTERN GUIDE.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS ALONG SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

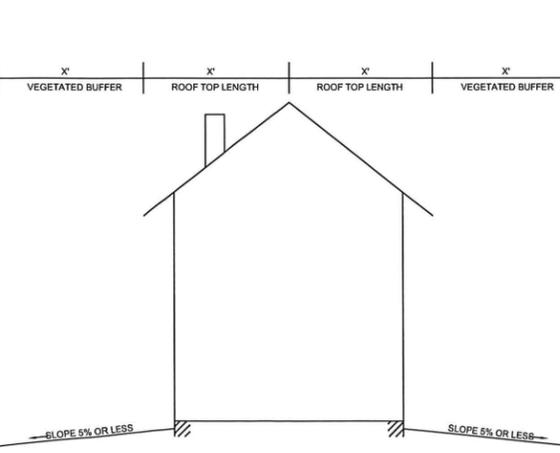
**EROSION MATTING FOR CHANNELS**

NTS



**SLOPE GRADING**

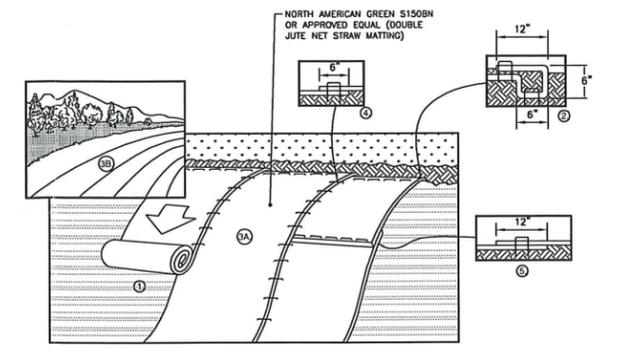
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- SLOPE LAND AWAY FROM BUILDING AT 5% OR LESS.
- LENGTH OF 5% (OR LESS) IS TO BE EQUAL TO, OR GREATER THAN, THE CONTRIBUTING ROOFTOP LENGTH (X)
- MAXIMUM CONTRIBUTING ROOFTOP LENGTH (X) IS 75 FEET
- SLOPED LAND IS TO BE VEGETATED.
- WITH GUTTERS, THE ROOFTOP AREA CONTRIBUTING TO ANY ONE DOWNSPOUT LOCATION SHALL NOT EXCEED 1,000 S.F.
- DOWNSPOUTS MUST BE 10 FEET AWAY FROM THE NEAREST IMPERVIOUS SURFACE, WITH RUNOFF DIRECTED AWAY FROM THE IMPERVIOUS SURFACE.

**ROOFTOP DISCONNECTION**

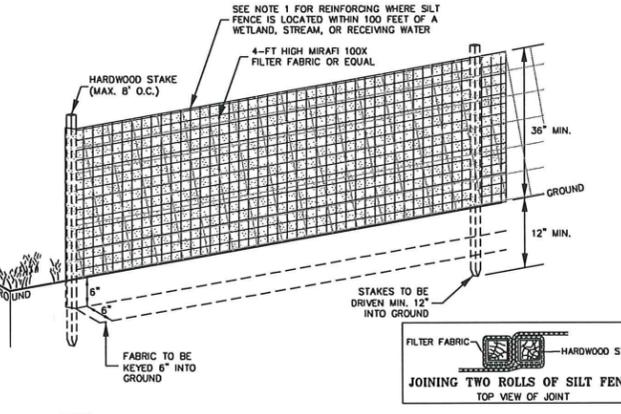
NTS



- EROSION MATTING WILL BE USED ON SLOPES STEEPER THAN 3H:1V OR AS SHOWN ON THE PLANS.
- PREPARE SOIL BEFORE INSTALLING MATTING, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. SOIL SURFACE SHALL BE GRADED SMOOTH WITHOUT ROOTS, STONES OR OTHER PROTRUSIONS THAT WILL PREVENT THE MATTING FROM BEING APPLIED IN FULL CONTACT WITH THE SOIL SURFACE.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MATTING IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF MATTING EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MATTING WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF MATTING BACK OVER SEED AND COMPACTED SOIL. SECURE MATTING OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" PART ACROSS THE WIDTH OF THE MATTING.
- ROLL THE MATTING (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. INSURE THAT THE APPROPRIATE SIDE OF THE MATTING IS AGAINST THE SOIL SURFACE. ALL MATTING MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE MANUFACTURER'S STAPLE PATTERN GUIDE FOR THE PARTICULAR PRODUCT AND APPLICATION. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE MATTING.
- THE EDGES OF PARALLEL MATTING MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP DEPENDING ON MATTING TYPE.
- CONSECUTIVE MATTING SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE - WITH THE UPPER MATTING PLACED OVER THE TOP OF THE LOWER MATTING) WITH AN APPROXIMATE 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE MATTING WIDTH.

**EROSION MATTING FOR SLOPES**

NTS



- NOTES:**
- SILT FENCE INSTALLED WITHIN 100 FEET OF A WETLAND, STREAM, OR RECEIVING WATER SHALL BE REINFORCED WITH WOVEN WIRE FENCE (MIN. 14 GAUGE WIRE WITH 6" MAX. MESH SPACINGS)
  - USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
  - PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
  - FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE BOTTOM OF THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
  - THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.

**TEMPORARY SILT FENCE**

NTS

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT BE GRANTED IN MAY 24, 2016, THE ADMINISTRATOR (OR APPROVED THE FINAL PLANS FOR CREEK'S EDGE (EKA BRYAN COMMONS)) ON THE DAY OF MAY 24, 2017.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE  
*Kate Bell*

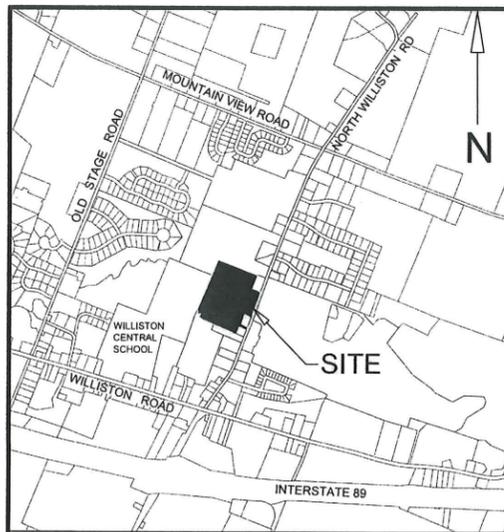
PARCEL # 015-09-09-033.00 DP # 15-02

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
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<input type="checkbox"/> PRELIMINARY		
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<input type="checkbox"/> RECORD DRAWING		
proj. no. 06079		
survey I&D		
design ABR		
drawn ABR		
checked DJC		
date 03-07-16		
scale		
AS NOTED		
sh. no.		10

**CREEK'S EDGE**  
NORTH WILLISTON ROAD WILLISTON, VT

**DETAILS & SPECIFICATIONS**  
**EROSION PREVENTION & SEDIMENT CONTROL**

**LAMOUREUX & DICKINSON**  
Consulting Engineers, Inc.  
14 Morse Drive  
Essex Junction, VT 05452  
Tel: 802-578-4450



LOCATION PLAN  
N.T.S.

NUMBER	PNT	NORTHING	EASTING
1	743	708479.41	1492730.19
3000 SF	742	708508.84	1492689.77
2	741	708519.93	1492676.81
3000 SF	740	708547.84	1492635.32
3	739	708559.34	1492616.59
3000 SF	738	708581.47	1492570.55
4	737	708590.24	1492549.25
3000 SF	736	708606.11	1492501.64
5	735	708611.95	1492479.54
3000 SF	734	708621.32	1492430.43
6	733	708624.02	1492407.24
3000 SF	732	708626.81	1492357.32
7	731	708625.94	1492342.20
3000 SF	730	708631.00	1492292.55
8	729	708636.44	1492276.31
3000 SF	728	708656.77	1492232.63
9	727	708682.13	1492201.39
3000 SF	726	708719.97	1492168.70
10	725	708733.30	1492161.20
3000 SF	724	708779.69	1492142.53
11	723	708794.45	1492139.14
3000 SF	722	708844.33	1492135.67
12	721	708859.43	1492136.98
3000 SF	720	708907.95	1492149.04
13	719	708921.67	1492156.04
3000 SF	718	708968.20	1492174.34
14	717	708982.78	1492178.81
3000 SF	716	709026.02	1492203.92
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3000 SF	714	709072.24	1492249.52
16	713	709111.80	1492331.72
3000 SF	712	709116.67	1492381.25
17	711	709116.63	1492395.47
3000 SF	710	709111.46	1492444.95
18	709	709105.46	1492464.47
3000 SF	708	709083.58	1492509.44
19	707	709066.26	1492505.98
3000 SF	706	709025.99	1492533.70
20	705	708913.23	1492541.58
3000 SF	704	708870.93	1492608.23
21	703	708856.00	1492677.52
3000 SF	702	708814.42	1492705.35
22	701	708799.59	1492705.32
3000 SF	700	708760.24	1492713.36
23	760	708735.04	1492462.13
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26	756	708843.94	1492251.46
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30	751	708975.42	1492262.09
2220 SF	750	708944.11	1492481.81
31	750	708944.11	1492481.81
2220 SF	749	708912.81	1492501.54
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CONC. MON	800	708690.23	1492611.25
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TOWN OF WILLISTON  
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VOL. 98, PG. 106

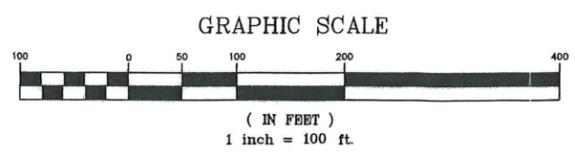
JAMES A. & BRENDA A. TESSMAN  
N/F  
VOL. 64, PG. 363

ALDEN T. & PHOEBE E. BRYAN  
N/F  
VOL. 30, PG. 90

WILLISTON GOLF COURSE, INC.  
N/F  
VOL. 86, PG. 49

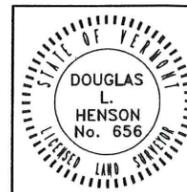
LANDOWNER  
ALDEN T. BRYAN & PHOEBE E. BRYAN  
CHARITABLE REMAINDER UNITRUST  
320 NORTH WILLISTON ROAD  
WILLISTON, VERMONT 05495  
DEED REFERENCE: VOL. 494, PAGE 224

PROJECT PARCEL DATA  
OVERALL PARCEL SIZE = 23.24 ACRES  
PARCEL AREA TO TIE LINE = 22.95 ACRES  
PROPOSED PRIVATE STREET AREA = 2.56 ACRES



TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 VSA §1403. DATED THIS 17 DAY OF April, 2017

*Douglas L. Henson*



LEGEND

- PROJECT PROPERTY LINE
- PROPOSED R.O.W. LINE
- ABUTTING PROPERTY LINE
- SIDELINE OF EASEMENT
- TIE LINE
- PROPOSED FOOTPRINT LINE
- IPF IRON PIPE FOUND
- IPS IRON PIPE SET (DECEMBER 2010)
- CMF CONCRETE MONUMENT FOUND
- CONCRETE MONUMENT TO BE SET
- ▽ SURVEY POINT - NO MARKER FOUND OR SET
- N/F NOW OR FORMERLY
- AG ABOVE GRADE
- BG BELOW GRADE
- FL FLUSH
- REMAINS OF BARBED WIRE FENCE

NOTES:

- THIS PLAT WAS COMPILED FROM FIELD SURVEYS AND RECORD RESEARCH INCLUDING THE USE OF THE FOLLOWING PLANS:
  - A. "PROPERTY PLAT OF LANDS OF LNP, INC." DATED 11-16-09, BY O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C. AS RECORDED IN SLIDE 793 OF THE TOWN OF WILLISTON LAND RECORDS.
  - B. "SURVEY FOR ALDEN T. BRYAN IN THE TOWN OF WILLISTON," DATED 8-3-65, BY JOHN A. MARSH, L.S. AS RECORDED IN VOL. 30, PAGE 96 OF THE TOWN OF WILLISTON LAND RECORDS.
  - C. "LANDS OF JOHN K. LAMBERT, WILLISTON ROAD, WILLISTON ROAD, TWO LOT SUBDIVISION," DATED 12-16-91, LAST REVISED 12-15-92, BY LAMOUREUX & STONE CONSULTING ENGINEERS, INC. AS RECORDED IN SLIDE 353B OF THE TOWN OF WILLISTON LAND RECORDS.
- THE PURPOSE OF THIS PLAN IS TO PRESENT THE PROPOSED NEW LOTS AND THE RESIDENTIAL BUILDING FOOTPRINT LOTS.
- BEARINGS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS RECORDED IN SEPTEMBER, 2010.
- THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS AND/OR RIGHTS-OF-WAY.
- THE FIELD SURVEY WAS COMPLETED IN SEPTEMBER, 2010.
- MONUMENTATION FOUND IS AS NOTED ON PLAN. IRON PIPES SET ARE 1" DIAMETER WITH A PLASTIC CAP.
- THE RIGHT-OF-WAY FOR NORTH WILLISTON ROAD OF THREE RODS (49.5') IS BASED ON THE ABOVE REFERENCED PLANS AND MONUMENTATION FOUND.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 15-02, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON MAY 24, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR CREEK'S EDGE (FKA BRYAN COMMONS) ON THE 3 DAY OF May, 2017.

*K. Bell*  
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

TOWN CLERK'S OFFICE

TOWN OF WILLISTON, VT.  
RECEIVED FOR RECORD \_\_\_\_\_, 2017  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., AND  
RECORDED IN SLIDE # \_\_\_\_\_  
ATTEST: \_\_\_\_\_ TOWN CLERK

date	description	ABR	by
04-03-17	REV. PUBLIC TO PRIVATE STREET		
REVISIONS			
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:			
<input type="checkbox"/> SKETCH/CONCEPT	<input type="checkbox"/> ACT 250 REVIEW		
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION		
<input type="checkbox"/> FINAL LOCAL REVIEW	<input type="checkbox"/> RECORD DRAWING		
CREEK'S EDGE LANDS OF ALDEN T. BRYAN & PHOEBE E. BRYAN CHARITABLE REMAINDER UNITRUST NORTH WILLISTON ROAD WILLISTON, VERMONT		PROJECT NO. 06079	SURVEY L&D
FOOTPRINT LOT PROPERTY PLAT		DESIGN ABR	DRAWN DLH
LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450		CHECKED ABR/DJG	DATE 3-7-16
		SCALE AS NOTED	SHT. NO. PL

RECEIVED  
APR 17 2017  
PLANNING/ZONING

FINAL PLANS

THIS IS AN ORIGINAL MYLAR