

RECEIVED
 JUN 30 2016
 PLANNING DEPARTMENT

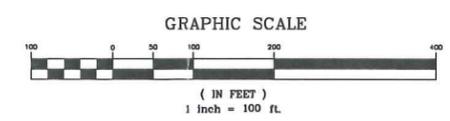
LEGEND

- PROJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING ZONING LINE
- ALLEN BROOK
- CLASS 3 WETLAND
- EXISTING TRAIL
- EXISTING CONTOUR
- PROPOSED SIDEWALK GRID
- EXISTING BUILDING
- BUILDABLE AREA FOR MIXED USE = COMMERCIAL/OFFICE/RESIDENTIAL

- M1
MULTIFAMILY HOUSING = TYPICAL MULTI-STORY BUILDING WITH BASEMENT LEVEL PARKING
- C2 (9 UNITS)
CONDOMINIUM MULTIFAMILY HOUSING = TYPICAL 7 - 9 UNIT
- R1 (4 UNITS)
ROW MULTIFAMILY HOUSING
- S1
SINGLE FAMILY CARRIAGE HOMES
- TYPICAL BUILDING CONSTRUCTED OR UNDER CONSTRUCTION
- TYPICAL BUILDING TO BE CONSTRUCTED

SUMMARY OF RESIDENTIAL UNITS

KEY	DESCRIPTION	TOTAL UNITS
M1-M4	MULTI-STORY BUILDING WITH BASEMENT LEVEL GARAGE	222 UNITS
C1-C7	MULTI-FAMILY FLATS WITH ONE CAR GARAGE	66 UNITS
R1-R14 & R23-R28	MULTI-FAMILY ROWHOMES (2 CAR GARAGE)	67 UNITS
R15-R22	MULTI-FAMILY TOWNHOUSES (2 CAR GARAGE)	22 UNITS
S1-S30	SINGLE FAMILY CARRIAGE HOMES (2 CAR GARAGE)	30 UNITS
TOTAL =		407 UNITS



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP 09-01 AMENDMENT #11, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON APRIL 12, 2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR FINNEY CROSSING ON THE 9 DAY OF AUGUST 2016

K. Delton
ADMINISTRATOR'S SIGNATURE

FINAL PLANS

DATE	REVISION	BY
08-28-16	REVISE BLDG C6 TO 6 UNITS, SUMMARY OF RESID UNITS	ABR
01-20-16	ADD CONSTRUCTED/UNCONSTRUCTED BUILDINGS	ABR
09-23-14	ADD CURBCUT ON ZEPHYR AT BOUDAH PARCEL	ABR
03-28-14	REVISE ROWHOUSES AND REC AREAS	ABR
03-07-14	ADD BLDG C6 WITH 7 UNITS	ABR
02-28-14	ADD UNITS IN BLDG M1 / M4 AND ELIMINATE BLDG C6	ABR
07-23-13	REVISE BLDG M1 / M4 AND PARKING LAYOUT	ABR

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 081104-010, 081433002.004, & 010

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		proj. no. 01-087
DEVELOPMENT AREA SITE PLAN		survey L&D
		design DJG/ABR
		drawn L&D
		checked DJG/ABR
		date 06/06/13
		scale 1" = 100'
		shl. no. 2
LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 878-4450		

FINAL PLANS

CONSTRUCTION STATUS:
 CONSTRUCTION OF THE FOLLOWING STREETS & ASSOCIATED UTILITIES ARE SUBSTANTIALLY COMPLETE (JANUARY 2015):
 - ZEPHYR ROAD (PUBLIC STREET)
 - DUNMORE LANE (PUBLIC STREET)
 - KETTLEPOND LANE (PRIVATE STREET)
 - HOLLAND LANE (PRIVATE STREET)

BUILDINGS SHOWN SHADED ARE OCCUPIED OR UNDER CONSTRUCTION

SANITARY SEWER AND WATER SERVICE STUBS HAVE BEEN CONSTRUCTED TO ALL BUILDINGS AS SHOWN ON THIS PLAN. SERVICE STUBS TO BE EXTENDED TO THE BUILDING AT THE TIME OF BUILDING CONSTRUCTION.

SIDEWALK TO BE CONSTRUCTED ALONG BUILDING FRONTAGE AT THE TIME OF BUILDING CONSTRUCTION

TYPICAL EXISTING WATER SERVICE WITH VALVE TO BE EXTENDED WITH BUILDING CONSTRUCTION

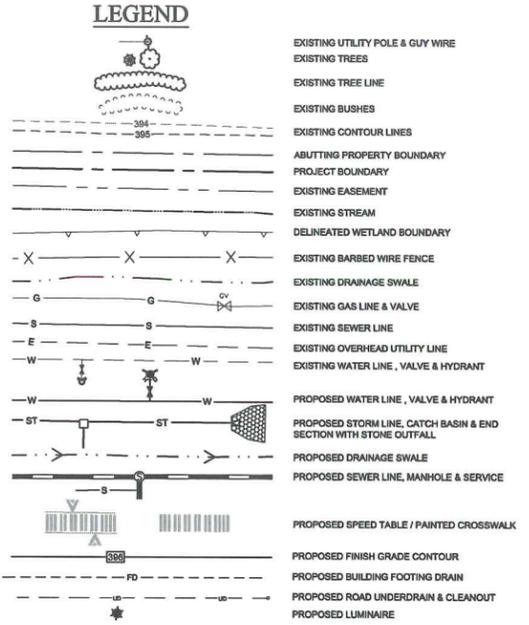
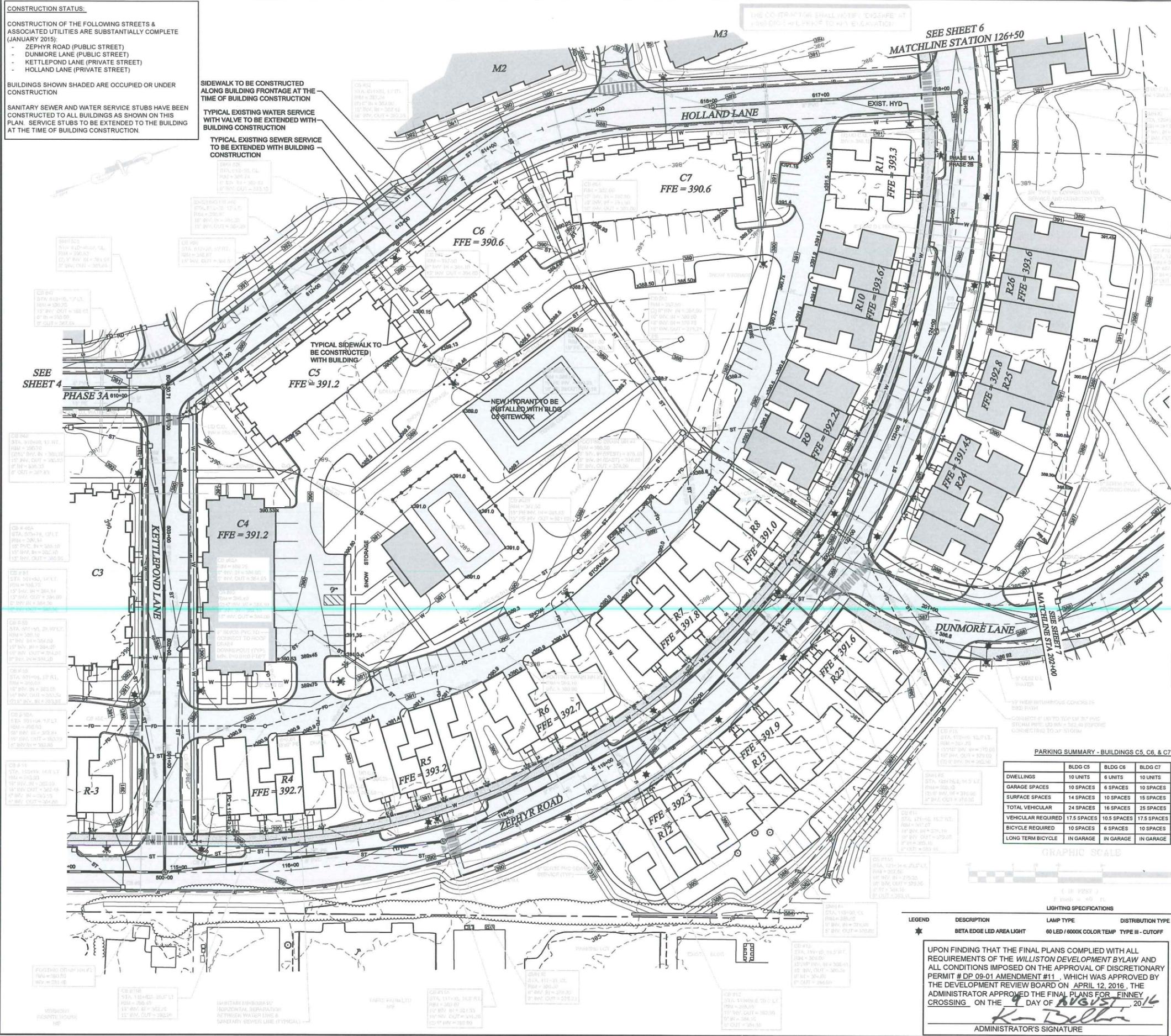
TYPICAL EXISTING SEWER SERVICE TO BE EXTENDED WITH BUILDING CONSTRUCTION

TYPICAL SIDEWALK TO BE CONSTRUCTED WITH BUILDING

NEW HYDRANT TO BE INSTALLED WITH BLDG. ON SITEWORK

SEE SHEET 4

SEE SHEET 6
MATCHLINE STATION 126+50



- CONFORM WITH THE HORIZONTAL LOCATION OF THE WATER, SEWER, GAS, AND DRAINAGE SERVICE CONNECTIONS TO EACH BUILDING WITH THE PRIVATE AND ADJACENT TOWN LOTS.
- PROVIDE TO CONSTRUCTION THE PRELIMINARY OF THE GENERAL HOODING PLAN, LINE AND NEAR SERVICE FROM THE ADJACENT TOWN LOTS TO THE BUILDING AND THE LOCATION OF THE WATER AND SEWER SERVICE WITH THE SERVICE AND EASEMENTS TO THE BUILDING.
- COORDINATE THE LOCATION OF THE SEWER SERVICE TO EACH BUILDING WITH THE CONVEYOR, UNLESS OTHERWISE PROVIDED, THE SEWER SERVICE SHALL BE LOCATED WITHIN THE PROPERTY BOUNDARY.
- DETECTABLE WARNING STRIPS SHALL BE INSTALLED AT ALL PERMANENT AND PAVED PATH WALKWAYS AT CROSSINGS.
- UTILITIES SHALL BE LOCATED WITHIN COMMERCIAL AREAS TO BE DEVELOPED BASED UPON DEMANDS OF PROPOSED USE.
- IN CONTRACTUAL SMALL PROJECTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETECTION AND LOCATION OF ALL UTILITIES (UNDERGROUND, WATER, SEWER, GAS, ETC.).
- WATER SERVICES TO EACH INDIVIDUAL UNIT IN RESIDENCES SHALL BE PROVIDED TO THE BUILDING FROM THE MAIN WATER SERVICE LINE. WATER SERVICES TO BUILDINGS SHALL BE PROVIDED TO EACH UNIT WITH AN INDIVIDUAL GATE VALVE FOR EACH BUILDING.

PARKING SUMMARY - BUILDINGS C5, C6, & C7

	BLDG C5	BLDG C6	BLDG C7	TOTAL
DWELLINGS	10 UNITS	8 UNITS	10 UNITS	28 UNITS
GARAGE SPACES	10 SPACES	8 SPACES	10 SPACES	28 SPACES
SURFACE SPACES	14 SPACES	10 SPACES	15 SPACES	39 SPACES
TOTAL VEHICULAR	24 SPACES	16 SPACES	25 SPACES	65 SPACES
VEHICULAR REQUIRED	17.5 SPACES	10.5 SPACES	17.5 SPACES	45 SPACES
BICYCLE REQUIRED	10 SPACES	8 SPACES	10 SPACES	28 SPACES
LONG TERM BICYCLE	IN GARAGE	IN GARAGE	IN GARAGE	IN GARAGE

LEGEND

DESCRIPTION	LAMP TYPE	DISTRIBUTION TYPE	MOUNTING HEIGHT
BETA EDGE LED AREA LIGHT	60 LED / 6000K COLOR TEMP	TYPE III - CUTOFF	18 FEET POLE MOUNTED

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP 09-01 AMENDMENT #11, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON APRIL 12, 2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR FINNEY CROSSING ON THE 4 DAY OF AUGUST, 2016.

Ka Bellin
ADMINISTRATOR'S SIGNATURE

NO.	DESCRIPTION	APPROVED BY
06-29-16	ADD PARKING TABLE PER DRB APPROVAL	ABR
01-20-16	ADD STREET AND UTILITY CONSTRUCTION STATUS	ABR
10-26-15	REVISED GRADING IN PARKING BEHIND BLDG C-4	ABR
08-26-15	REVISED R9 & R10 FFE AND SURROUNDING GRADING	ABR
06-25-15	REVISED "C" BLDG FOOTPRINTS AND GRADING	DJC
05-18-15	ADD CONSTRUCTION LIMITS FOR REC AREA/PRIVATE SITEWORK	DJC
02-04-15	REVISE FFE FOR R24-R26, ADD FG CONTOURS, ADD CB#23	ABR
03-28-14	REVISE ROWHOUSE LAYOUT, REC AREA, ZEPHYR ST. LIGHTS	ABR
1-27-14	MODIFIED FOUND. DRAIN PIPING ELEV'S/ADDED FFE'S R6-R11	DJC
11-4-13	MODIFIED STORM SYSTEM	DJC
10-17-13	ADD ZEPHYR ROAD CROSSWALK SOUTH OF BLDG R8 PER DRB	DJC
06-06-13	ADDED PH.3A LIMITS/MODIFIED WATER SERVICES	DJC
08-12-11	DELETED SEWER FROM SMH8 TO SMH 7	ABR
1-29-08	DELETED BUILDING R-12	ABR
07-06-07	REVISED STORM & UNDERDRAIN	ABR/JT
06-15-07	REVISED PER WATER SUPPLY REVIEW	JPL
05-16-07	REVISED PER TOWN AND STATE REVIEWS	DJC/JT
01-12-07	REVISED ZEPHYR ROAD CURBING / DRAINAGE	ABR
8-7-06	REVISED STORM WATER SYSTEM	DH/ABR
6-26-06	REVISED PER DESIGN ADVISORY COMMITTEE REVIEW	JT/ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

REVISION	# OF SHEETS
SKETCH/CONCEPT	
PRELIMINARY	
FINAL	
RECORD DRAWING	

FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

ZEPHYR ROAD
 - PLAN -
 STATION 115+50 TO 126+50

proj. no. 01-087
 survey L&D
 design DJG/ABR
 drawn JET/BH
 checked DJG/ABR
 date 11/30/05
 scale 1" = 40'
 sh. no. 5

LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450

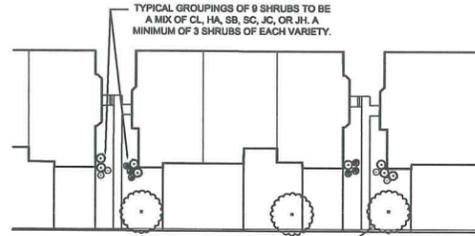
WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08104010, 08143002, 004, & 010

PLANT LIST

Key	Botanical Name	Common Name	Size	Remarks
Deciduous Trees				
AC	<i>Acer campestre</i>	Hedge Maple	2 1/2" to 3" Cal.	B&B, 6 foot branching height
AF	<i>Acer x freemanii 'celebration'</i>	Freeman Maple	2 1/2" to 3" Cal.	B&B, 6 foot branching height, use 'Autumn Blaze' and 'Cedraz' cultivars
AM	<i>Acer x freemanii 'armstrong'</i>	Armstrong Maple	2 1/2" to 3" Cal.	B&B, 6 foot branching height
AE	<i>Aesculus x carnea 'bratis'</i>	Ruby Red Horsechestnut	2 1/2" to 3" Cal.	B&B, 6 foot branching height
AL	<i>Amelanchier lancea</i>	Allegheny Serviceberry	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
BN	<i>Betula nigra 'heritage'</i>	Heritage River Birch	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
CB	<i>Carpinus betulus 'fastigata'</i>	Upright European Hornbeam	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
CC	<i>Carpinus caroliniana</i>	American Hornbeam	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
CE	<i>Celtis laevigata 'all seasons'</i>	Sugar Hackberry	2 1/2" to 3" Cal.	B&B, 6 foot branching height
CK	<i>Cladrastis kentuckea</i>	Yellowwood	2 1/2" to 3" Cal.	B&B, 6 foot branching height
CA	<i>Cornus alternifolia</i>	Pagoda Dogwood	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height, use 'Halka' and 'Shademaster' cultivars
CT	<i>Corylus cobura</i>	Turkish Filbert	2 1/2" to 3" Cal.	B&B, 6 foot branching height
CR	<i>Crataegus crus-galli var. intermixta</i>	Thornless Cockspur Hawthorn	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
GB	<i>Ginkgo biloba 'autumn gold'</i>	Autumn Gold Ginkgo	2 1/2" to 3" Cal.	B&B, 6 foot branching height, male cultivar only
GP	<i>Ginkgo biloba 'princeton sentry'</i>	Sentry Ginkgo	2 1/2" to 3" Cal.	B&B, 6 foot branching height, male cultivar only
GT	<i>Gleditsia triacanthos 'shade master'</i>	Honeylocust	2 1/2" to 3" Cal.	B&B, 6 foot branching height, use 'Halka' and 'Shademaster' cultivars
GD	<i>Gymnocladus dioica 'shady dame'</i>	Kentucky Collectree	2 1/2" to 3" Cal.	B&B, 6 foot branching height
MA	<i>Morus sp.</i>	Crabapple	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height, use 'Adirondack', 'Centurion' and 'Lise' cultivars
MX	<i>Morus x pauciflora</i>	Prairifire crabapple	2 1/2" to 3" Cal.	B&B, 6 foot branching height
NS	<i>Nyssa sylvatica</i>	Black Tupelo	2 1/2" to 3" Cal.	B&B, 6 foot branching height
OV	<i>Ostrya virginiana</i>	American Hophornbeam	2 1/2" to 3" Cal.	B&B, 6 foot branching height
PS	<i>Prunus sargentii</i>	Sargent Cherry	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
PV	<i>Prunus virginiana 'canada red'</i>	Canada Red Chokecherry	2 1/2" to 3" Cal.	B&B, 6 foot branching height
PB	<i>Pyrus calleryana 'autumn blaze'</i>	Autumn Blaze Callery Pear	2 1/2" to 3" Cal.	B&B, 6 foot branching height
PC	<i>Pyrus calleryana 'chautauque'</i>	Chautauque Callery Pear	2 1/2" to 3" Cal.	B&B, 6 foot branching height
SA	<i>Sorbus aucuparia</i>	European Mountain Ash	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
SR	<i>Syringa reticulata 'ivory silk'</i>	Japanese Tree Lilac	1 1/2" to 1 3/4" Cal.	B&B, 6 foot branching height
TE	<i>Tilia x euclhara</i>	Crimean Linden	2 1/2" to 3" Cal.	B&B, 6 foot branching height
TL	<i>Tilia cordata</i>	Littleleaf Linden	2 1/2" to 3" Cal.	B&B, 6 foot branching height
UA	<i>Ulmus americana 'princeton'</i>	Princeton American Elm	2 1/2" to 3" Cal.	B&B, 6 foot branching height
ZS	<i>Zelkova serata</i>	Japanese Zelkova	2 1/2" to 3" Cal.	B&B, 6 foot branching height
Evergreen Trees				
PA	<i>Picea abies</i>	Norway Spruce	6' to 7' Height	B&B
PN	<i>Pinus nigra</i>	Austrian Pine	6' to 7' Height	B&B

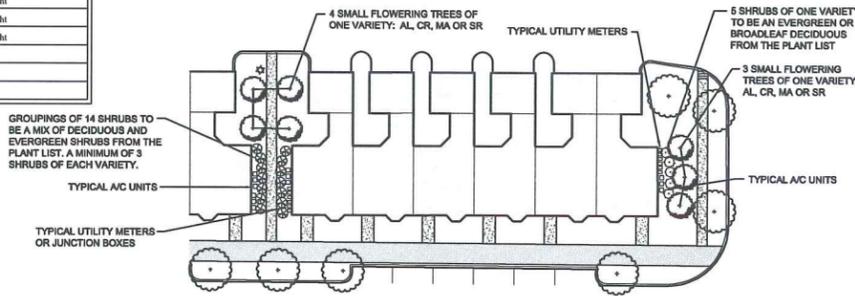
PLANT LIST (CONT.)

Key	Botanical Name	Common Name	Size	Remarks
Deciduous Shrubs				
AA	<i>Aronia arbutifolia 'willamette'</i>	Red Chokeberry	18" to 24" Height	B&B
AM	<i>Aronia melanocarpa 'piper'</i>	Black Chokeberry	18" to 24" Height	B&B
CL	<i>Clethra alnifolia</i>	Summersweet	18" to 24" Height	B&B
CR	<i>Cornus sericea 'cardinal'</i>	Red Osier Dogwood	18" to 24" Height	B&B
CO	<i>Cornus alba 'sibirica'</i>	Siberian Dogwood	18" to 24" Height	B&B
HA	<i>Hydrangea arborescens 'annabelle'</i>	Annabelle Hydrangea	18" to 24" Height	B&B
HV	<i>Hamamelis vernalis</i>	Vernal Witchhazel	18" to 24" Height	B&B
IV	<i>Ilex verticillata</i>	Winterberry	18" to 24" Height	B&B
IVM	<i>Ilex verticillata 'southern globe'</i>	Winterberry (male)	18" to 24" Height	B&B
MP	<i>Myrica pensylvanica</i>	Northern Bayberry	18" to 24" Height	B&B
PR	<i>Prunus maritima</i>	Beach Plum	18" to 24" Height	B&B
RP	<i>Rhododendron 'PJM'</i>	PJM Rhododendron	18" to 24" Height	B&B, use 'Ago', 'Olga Meitz' and 'Roscum Elegans' cultivars
RA	<i>Rhus aromatica 'viro-rosa'</i>	Fragrant Sumac	18" to 24" Height	B&B
SB	<i>Spiraea x humboldt 'anthony waters'</i>	Anthony Waterer Spirea	18" to 24" Height	B&B
SC	<i>Syringa x chinensis</i>	Chinese Lilac	18" to 24" Height	B&B
SP	<i>Syringa x prostrata</i>	Preston Hybrid Lilac	18" to 24" Height	B&B
Evergreen Shrubs				
JC	<i>Juniperus chinensis var. sargentii</i>	Sargent Juniper	18" to 24" Height	B&B
HI	<i>Juniperus horizontalis</i>	Creeeping Juniper	18" to 24" Height	B&B
PM	<i>Pinus mugo var. mugo</i>	Dwarf Mugo Pine	18" to 24" Height	B&B
TC	<i>Taxus cuspidata</i>	Japanese Yew	18" to 24" Height	B&B
TO	<i>Thuja occidentalis</i>	Globe Arborvitae	18" to 24" Height	B&B
Perennials				
AH	<i>Achillea filipendula</i>	Yarrow	#1 Container (1 gal)	Use Yellow and Red Varieties in Groups of 5 plants
AR	<i>Artemisia</i>	Wormwood	#1 Container (1 gal)	
CS	<i>Chrysanthemum x superbum</i>	Shasta Daisy	#1 Container (1 gal)	
HE	<i>Hemerocallis spp.</i>	Daylily	#SP5 Container	1 or 2 Fan Division, Heavy Root System, Use 'Stella d'Oro' and Red Varieties
SE	<i>Sedum x 'autumn joy'</i>	Autumn Joy Sedum	#1 Container (1 gal)	

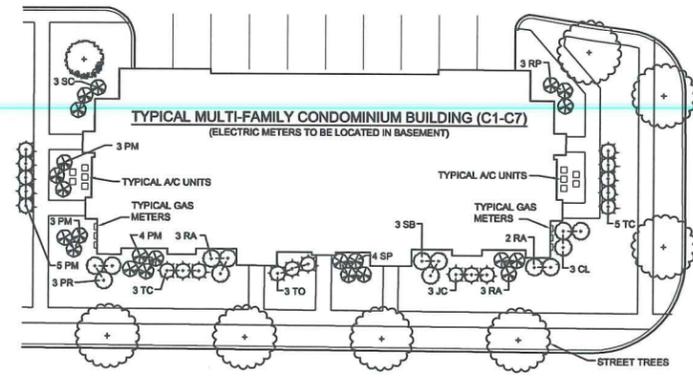


TYPICAL PLANTING PLAN FOR BUILDINGS (R15-R22)
NOT TO SCALE

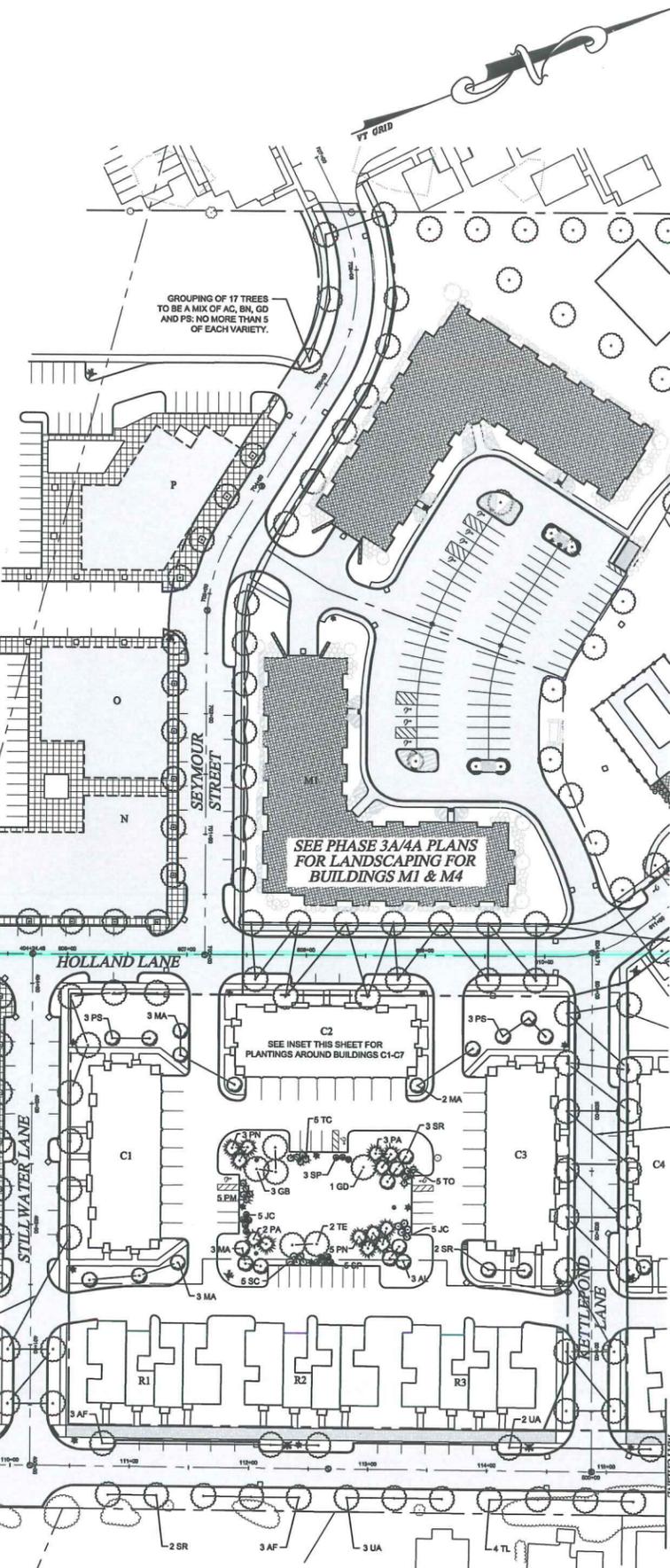
NOTES:
1. THESE ARE THE TYPICAL PLANTING PLANS FOR THE 'R' & 'C' BUILDINGS. PLANTS MAY BE ADJUSTED IN THE FIELD DURING PLANTING. PLANTS MAY BE SUBSTITUTED USING SIMILAR SPECIES IDENTIFIED IN THE PLANT LIST ON THIS SHEET.
2. METERS LOCATIONS ARE SUBJECT TO COORDINATION WITH THE UTILITY COMPANY.
3. THE NUMBER OF METERS WILL VARY WITH THE NUMBER OF UNITS IN EACH BUILDING.
4. ELECTRIC METERS FOR THE 'C' BUILDINGS TO BE LOCATED INSIDE THE BUILDING.



TYPICAL PLANTING PLAN FOR ROW MULTI-FAMILY BUILDINGS (R6-R13)
NOT TO SCALE

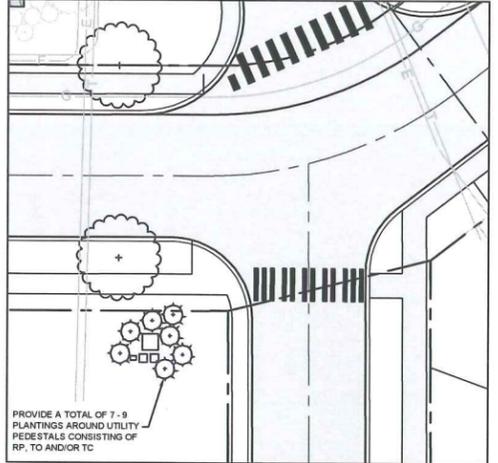


TYPICAL PLANTING PLAN FOR MULTI-FAMILY CONDOMINIUM BUILDINGS (C1-C7)
NOT TO SCALE



NOTES:

- STREET TREE PLANTINGS BORDERING COMMERCIAL/MIXED USE BUILDINGS ARE SUBJECT TO CHANGE AS FINAL SITE PLANS DEVELOP.
- STREET TREE GROUPINGS SHALL BE PLANTED ALTERNATING ONE (1) OF EACH SELECTED VARIETY.
- STREET TREE PLANTINGS BORDERING PRIVATE ROADS MAY BE RELOCATED FOR UTILITY AND DRIVEWAY LAYOUT AS FINAL PLANS DEVELOP.



TYPICAL RESIDENTIAL UTILITY PEDESTAL & TRANSFORMER SCREENING
N.T.S.

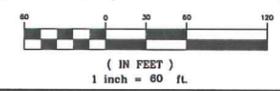
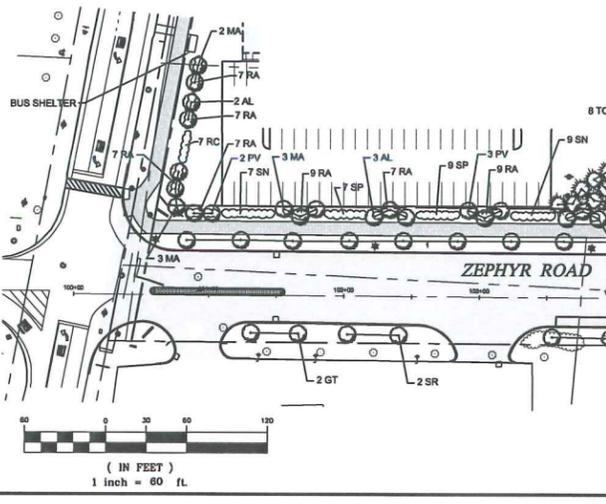
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP 09-01 AMENDMENT #11, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON APRIL 12, 2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR FINNEY CROSSING ON THE 9 DAY OF AUGUST, 2016

Ron Bellin
ADMINISTRATOR'S SIGNATURE

DATE	REVISIONS	BY
02-24-16	ADDED LANDSCAPING NOTES TO TREES ALONG SEYMOUR STREET	CEJ
01-20-16	UPDATE C BUILDING FOOTPRINT	ABR
03-28-14	REVISE ROWHOUSE LAYOUT AND ZEPHYR ST TREES	ABR
8-12-11	ADDED AND REVISED TYPICAL PLANTING PLANS	ABR
12-15-08	ADDED TYPICAL UTILITY METER LOCATIONS FOR C & R BUILDINGS	ABR
01-08-07	ELIMINATED ELM TREES PER TOWN REQUEST	JT/ABR
12-06-06	REVISED PER TOWN PRELIMINARY REVIEW	JT/ABR
6-26-06	REVISED PER DESIGN ADVISORY COMMITTEE REVIEW	JT/ABR

REVISIONS	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT <input type="checkbox"/> PRELIMINARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> RECORD DRAWING	

<p>FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT</p> <p>LANDSCAPE PLAN - SOUTHERN PORTION</p>	<p>proj. no. 01-087 survey L&D design DJG/ABR drawn JET/BH checked DJG/ABR date 11/30/05 scale 1" = 60' sht. no. 21</p>
---	---



WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08104010, 08143002, 004, & 010

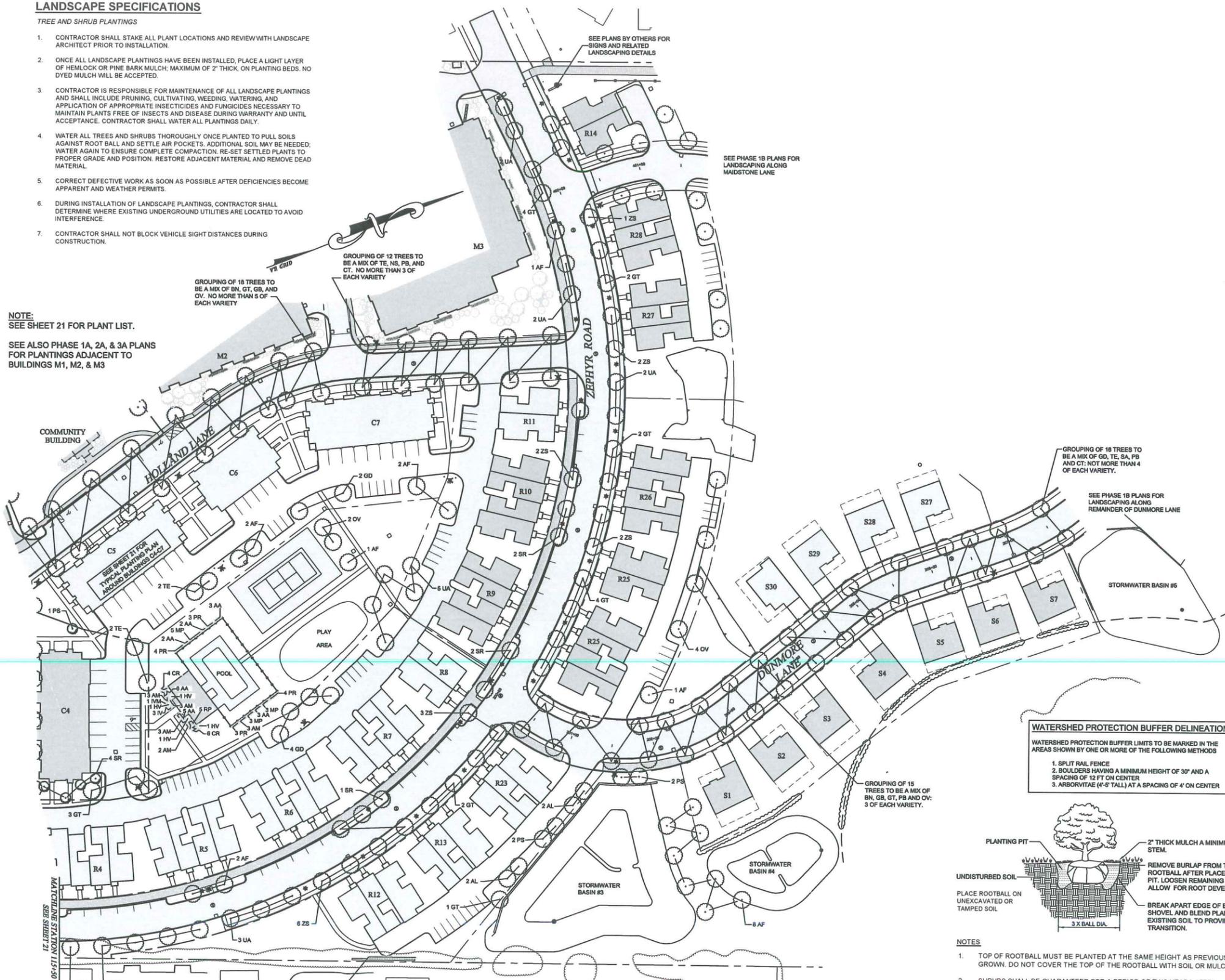
LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

LANDSCAPE SPECIFICATIONS

TREE AND SHRUB PLANTINGS

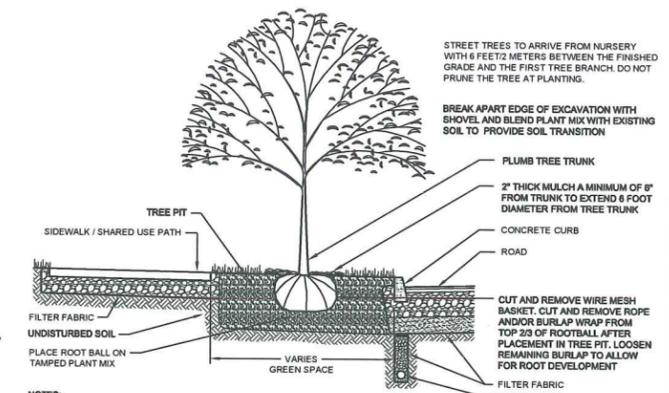
- CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS AND REVIEW WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ONCE ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED, PLACE A LIGHT LAYER OF HEMLOCK OR PINE BARK MULCH, MAXIMUM OF 2" THICK, ON PLANTING BEDS. NO DYED MULCH WILL BE ACCEPTED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE PLANTINGS AND SHALL INCLUDE PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE DURING WARRANTY AND UNTIL ACCEPTANCE. CONTRACTOR SHALL WATER ALL PLANTINGS DAILY.
- WATER ALL TREES AND SHRUBS THOROUGHLY ONCE PLANTED TO PULL SOILS AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED; WATER AGAIN TO ENSURE COMPLETE COMPACTION. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER PERMITS.
- DURING INSTALLATION OF LANDSCAPE PLANTINGS, CONTRACTOR SHALL DETERMINE WHERE EXISTING UNDERGROUND UTILITIES ARE LOCATED TO AVOID INTERFERENCE.
- CONTRACTOR SHALL NOT BLOCK VEHICLE SIGHT DISTANCES DURING CONSTRUCTION.

NOTE:
SEE SHEET 21 FOR PLANT LIST.
SEE ALSO PHASE 1A, 2A, & 3A PLANS FOR PLANTINGS ADJACENT TO BUILDINGS M1, M2, & M3



THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

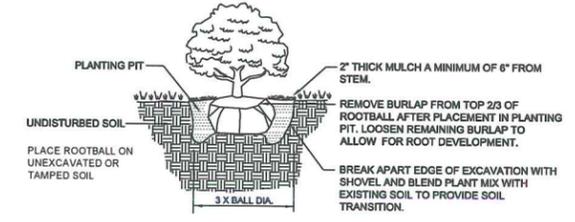
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT # DP 09-01 AMENDMENT #11, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON APRIL 12, 2016, THE ADMINISTRATOR APPROVED THE FINAL PLANS FOR FINNEY CROSSING ON THE 9 DAY OF AUGUST, 2016
K. Sullivan
ADMINISTRATOR'S SIGNATURE



- NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
 - TREES SHALL HAVE A MINIMUM 50% LIVE CROWN RATIO.
 - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MULCH.
 - STAKING REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
 - TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
 - EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
 - THERE SHALL BE NO WATERING BERM INSTALLED AROUND TREES.
 - PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO:
3 PARTS EXISTING NATIVE SOIL, 1 PART TOPSOIL.
 - TREE PIT AREA BETWEEN THE CURB OR EDGE OF ROAD AND THE SIDEWALK/SHARED USE PATH SHALL BE AT LEAST 6 FEET X 6 FEET WITH A MINIMUM OF 30" DEEP. THE TREE PIT AREA SHALL HAVE THE PLANT MIX SPECIFIED ABOVE. A DIFFERENT PLANT MIX MAY BE USED, SUCH AS STRUCTURAL SOIL, HOWEVER, IT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.

WATERSHED PROTECTION BUFFER DELINEATION
WATERSHED PROTECTION BUFFER LIMITS TO BE MARKED IN THE AREAS SHOWN BY ONE OR MORE OF THE FOLLOWING METHODS

- SPLIT RAIL FENCE
- BOULDERS HAVING A MINIMUM HEIGHT OF 30" AND A SPACING OF 12 FT ON CENTER
- ARBORVITAE (4'-8" TALL) AT A SPACING OF 4' ON CENTER



- NOTES:**
- TOP OF ROOTBALL MUST BE PLANTED AT THE SAME HEIGHT AS PREVIOUSLY GROWN. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL OR MULCH.
 - SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
 - EXAMINE ENTIRE SHRUB AND REMOVE ALL NURSERY TAGS, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
 - THERE SHALL BE NO WATERING BERM INSTALLED AROUND SHRUBS.
 - PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO:
3 PARTS EXISTING SOIL, 1 PART TOPSOIL.
 - PLANTING PIT SHALL BE 3 TIMES AS WIDE AS ROOTBALL DIAMETER.
 - PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.

SHRUB PLANTING DETAIL

URBAN STREET TREE PLANTING DETAIL

02-24-16	LABEL HOLLAND LANE STREET TREES	ABR
03-28-14	REVISE ROWHOUSE LAYOUT AND ZEPHYR ST TREES	ABR
08-12-11	ADD PHASE 1B PLANTINGS ALONG CHELSEA PATH, HALF MOON	ABR
06-30-08	REVISE PLANTINGS PER CARRIAGE AND ROW HOME ADJUSTMENTS	ABR
03-16-07	EXTENDED HEDGE ALONG BROOK BUFFER	ABR
01-08-07	ELIMINATED ELM TREES PER TOWN REQUEST	JT/ABR
12-05-06	REVISED PER TOWN PRELIMINARY REVIEW	JT/ABR
8-26-06	REVISED PER DESIGN ADVISORY COMMITTEE REVIEW	JT/ABR

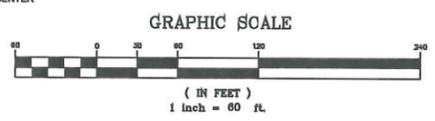
REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

LANDSCAPE PLAN - NORTHERN PORTION

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale 1" = 60'
shl. no. 22

LAMOREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450



- NOTES:**
- STREET TREE PLANTINGS BORDERING COMMERCIAL/MIXED USE BUILDINGS ARE SUBJECT TO CHANGE AS FINAL SITE PLANS DEVELOP.
 - STREET TREE GROUPINGS SHALL BE PLANTED ALTERNATING ONE (1) OF EACH SELECTED VARIETY.
 - STREET TREE PLANTINGS BORDERING PRIVATE ROADS MAY BE RELOCATED FOR UTILITY AND DRIVEWAY LAYOUT AS FINAL PLANS DEVELOP.

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 08-104-0101, 08-143-002, 004, & 010

RECEIVED
JUN 30 2016
PLANNING/ZONING

Finney Crossing
Typical Elevation for Buildings C5, C6, & C7
(note that the length of Building C6 is reduced)



Ken Belbin 8/9/2016
ZONING ADMINISTRATOR