

DP 09-01.16

09/26/19

Final Plans Exhibit List

Final Plan Checklist

Water & Sewer allocation approval

Building J Floor Plans (Harriman)

Sheet A01.1

Sheet A10.1

Sheet A10.2

Building J Elevations (Harriman)

North Elevation

South Elevation

East Elevation

West Elevation – Retail

Elevation – Proposed (with Materials Legend)

North Entry Detail

Rendering (Harriman)

View from intersection of Holland and Market Street

View from Third Floor Window of Hotel

Civil plans (Lamoureux & Dickinson)

Sheet index

Commercial Area Site Plan

Grading & Utility Plan

Details & Specifications – Misc. Sitework & EPSC

EPSC – Pre-Construction

EPSC – Construction

EPSC – Stabilization

Subdivision Plat (South)

Commercial Area Traffic Sign Plan

Details & Specifications – Roads

Details & Specifications – Roadway & Misc

Details & Specifications – Water

Details & Specifications – Sewer & Storm

Details & Specifications – EPSC

Commercial Area Site Waste & Recycling Management

Lighting Plans (Pearson)

Site Lighting Photometric Plan

Site Lighting Fixtures

Landscaping Plans (Harriman)

Site Planting Plan

Planting Details

Hardscape Details

Hardscape Details



FINAL PLAN CHECKLIST

This checklist must accompany all final plans presented for review. *Please ensure that Public Works and Fire Department comments have been addressed by meeting with their staff and obtaining their signature(s) on this form prior to scheduling a pre-filing conference.* The applicant must initial each box, indicating the required information has been provided. The Administrator must then confirm that the final plans are complete or return this checklist to the applicant indicating what information remains to be provided. AS REQUIRED BY WDB 6.9.3 - FINAL PLANS MUST REFLECT ALL CONDITIONS OF APPROVAL IMPOSED ON THE DISCRETIONARY PERMIT.

Applicant Administrator

		<p>I have met with Department of Public Works staff to address their comments on my discretionary permit application. DPW is satisfied that their comments have been addressed on these final plans.</p> <p>All projects shall meet the most recent Public Works Standards.</p> <p><i>Thomas M. Schaeffer</i></p> <p>Signature, DPW Director or Asst. Director</p>
--	--	--

		<p>I have met with Fire Department staff to address their comments on my discretionary permit application. The Williston Fire Department is satisfied that their comments have been addressed on these final plans.</p> <p>_____</p> <p>Signature, Fire Department Plan Review Staff</p>
--	--	--

X		<p>I have met with Planning staff to complete a pre-filing conference.</p>
---	--	--

Applicant Administrator Final plans must include:

X		<p>On each sheet: a date, graphic and written scales, a north arrow, the tax parcel number, the name of the proposed development, and a sheet number.</p>
---	--	---

X		<p>A location map showing the development site and an area of at least 1/2 mile radius surrounding that site, including property lines, roads, watercourses, and zoning district boundaries.</p>
---	--	--

X		<p>The boundaries of the development site, and for subdivisions, a complete boundary survey, including the location and extent of all areas to be protected as open space, prepared and certified by a licensed surveyor that shall be separately included as one sheet in the set.</p>
---	--	---

FINAL PLAN CHECKLIST

This checklist must accompany all final plans presented for review. Please ensure that Public Works and Fire Department comments have been addressed by meeting with their staff and obtaining their signature(s) on this form prior to scheduling a pre-filing conference. The applicant must initial each box, indicating the required information has been provided. The Administrator must then confirm that the final plans are complete or return this checklist to the applicant indicating what information remains to be provided. AS REQUIRED BY WDB 6.9.3 - FINAL PLANS MUST REFLECT ALL CONDITIONS OF APPROVAL IMPOSED ON THE DISCRETIONARY PERMIT.

Applicant Administrator

Two empty rectangular boxes for Applicant and Administrator initials.

I have met with Department of Public Works staff to address their comments on my discretionary permit application. DPW is satisfied that their comments have been addressed on these final plans.

All projects shall meet the most recent Public Works Standards.

Signature, DPW Director or Asst. Director

Two empty rectangular boxes for Applicant and Administrator initials.

I have met with Fire Department staff to address their comments on my discretionary permit application. The Williston Fire Department is satisfied that their comments have been addressed on these final plans.

Signature, Fire Department Plan Review Staff

Applicant box contains 'X', Administrator box is empty.

I have met with Planning staff to complete a pre-filing conference.

Applicant Administrator

Final plans must include:

Applicant box contains 'X', Administrator box is empty.

On each sheet: a date, graphic and written scales, a north arrow, the tax parcel number, the name of the proposed development, and a sheet number.

Applicant box contains 'X', Administrator box is empty.

A location map showing the development site and an area of at least 1/2 mile radius surrounding that site, including property lines, roads, watercourses, and zoning district boundaries.

Applicant box contains 'X', Administrator box is empty.

The boundaries of the development site, and for subdivisions, a complete boundary survey, including the location and extent of all areas to be protected as open space, prepared and certified by a licensed surveyor that shall be separately included as one sheet in the set.

X		The tax parcel number and owner's name for all abutting properties shown on the location map and/or the boundary survey.
N/A		Whether by dedication, easement, or the use of building envelopes, open space developments must be accompanied by the signed instruments needed to dedicate or otherwise reserve and provide for the continued management and maintenance of the proposed open spaces.
X		All existing easements, rights-of-way, driveways, roads, and utilities shall be shown, along with all improvements that will remain including, but not limited to, wells, structures, parking areas, street lights, street trees, sidewalks, paths and trails, and on-site wastewater treatment systems.
X		All proposed lots, building envelopes, driveways, roads, utilities, structures, parking areas, street lights, street trees, sidewalks, paths and trails, on-site wastewater treatment systems, and other utilities and improvements.
X		Proposed roads and utilities shall be shown in both plan view and profile, with construction details sufficient to demonstrate that the proposed improvements will comply with all requirements of this bylaw and the <i>Public Works Standards</i> .
N/A		Where on-site wastewater treatment will be used, the location and design of the wastewater treatment system/s, prepared by a licensed designer.
X		Where municipal water and/or sewerage are proposed, certificates signed by the DPW demonstrating that capacity sufficient to serve the proposed development is available.
X		A grading plan, along with a runoff and erosion control checklist or runoff and erosion control plan.
X		A landscaping plan including the location and specifications of all proposed landscaping and vegetation to be retained and protected during construction.
X		An outdoor lighting plan, including the location and specifications of all proposed outdoor lighting.
X		A site maintenance plan, including the location and specifications of all proposed solid waste compactors and containers and all snow storage areas.

X		Complete elevations and floor plans for all proposed structures, along with the architectural details needed to demonstrate compliance with the requirements of this bylaw.
		For commercial or industrial developments that may have multiple tenants or occupancies, a master sign plan.
N/A		A signed certificate of dedication for all proposed public spaces, roads, utilities, street lights, street trees, sidewalks, paths and trails, and other improvements that are to be dedicated to the Town.
by applic		A signed development agreement ready for the signature of the Town Manager.
N/A		Where applicable, a signed property tax transfer form.
X		An approval signature block prepared for the signature of the Administrator or the Presiding Member of the DRB, whichever is required, is included on every page of the plan set; and
X		Three (3) 24 X 36 copies of the plans; one (1) copy of this checklist; and two (2) 11 X 17 copies of the plans and all accompanying materials, in sets with an index on the cover sheet of each set; and
X		Digital submission: plans (11x17 & 24x26) as reduced PDFs emailed to planning technician at time of submittal
X		\$350 Final Plans filing fee provided to the Planning Office. (\$100 filing fee for Master Sign Plans)

Final Plans Accepted as Complete: GAH Date 9/19/19
 Signature, Williston Planning Staff

9/19 pending cut sheet for trash receptacles



Town of Williston
7900 Williston Road
Williston, VT 05495
FAX (802) 764-1140

1763

June 11, 2019

The Snyder FC Commercial Properties, LLC
& Rieley Properties, LLC
4076 Shelburne Road
Suite 6
Shelburne, VT 05482

RE: Ability to Serve – Building J, Finney Crossing

Dear Chris:

Public Works has reviewed your request for the ability of the Town to provide water and sewer capacity for an indoor/outdoor café, deli, bakery and retail space at the above referenced location.

Our records indicate that this project will not be a burden on the Town's water and sewer system.

If you have further questions, please feel free to contact me.

Sincerely,

Bruce K. Hoar
Director of Public Works
Town of Williston

cc: Planning & Zoning
Andrew Rowe, Lamoureux & Dickinson

Town Manager
878-0919

Town Clerk / Treasurer
878-5121

Planning / Zoning
878-6704

Lister / Assessor
878-1091

Public Works
878-1239

Recreation
878-1239

Police
878-6611

Fire
878-5622

Dorothy Alling
Memorial Library
878-4918

Williston Central
School
878-2762

TOWN OF WILLISTON
SEWER ALLOCATION REQUEST
Attachment B

Applicant Name and Address:

The Snyder FC Commercial Properties, LLC & Rieley Properties, LLC

Phone Number: 802-985-5722 **Email Address:** csnyder@snyderhomesvt.com

Parcel ID Number: 08:143:010:000 (Lot C-1 / Building J - Finney Crossing)

Property Owner(s) Name and Mailing Address (if different):

The Snyder FC Commercial Properties, LLC & Rieley Properties, LLC

4076 Shelburne Road, Suite 6 Shelburne, VT 05482 985-5722

Project Name, Location and Brief Description:

Sewer allocation of 2,500 GPD requested for Building J, comprised of an 18,000 sf food market (having a deli, bakery, indoor cafe with 24 seats, and outdoor cafe with 48 seats) and 12,500 sf of retail space.

3712 GPD existing allocation - 2500 GPD = 1212 GPD remaining allocation for Finney Crossing commercial

Sewer Allocation Requested: 2500 gpd x \$10.00/gal = Fee N/A **Paid** to be deducted from exist. allocation

Signature of Property Owner: 

Signature of Registered Engineer: 

Date: June 10, 2019

NOTE: Williston Sewer Allocation Ordinance effective July 18, 2005

DEPARTMENTAL APPROVAL *(A permit from Planning & Zoning may also be required)*

Public Works: _____ **Planning:** _____
(approval signature) (approval signature)

Category: Please check:

Pollution _____ **Reserve** _____ **Public Facilities** _____ **Comm/Ind** _____

Affordable Housing _____ **Existing Residential** _____ **New Residential** _____

Comments: _____

_____ **Granted** _____ **Denied**

_____ **Date**

_____ **Town Manager**

July 1, 2018

Finney Crossing
Building J (HLM & retail)
June 4, 2019

State Design Flows	
<u>Healthy Living</u>	
Store - 18,000 sf x 4 GPD/100 sf	720 GPD
Store with deli	100 GPD
Store with bakery	100 GPD
Indoor: 24 seats x 15 GPD/seat	360 GPD
Outdoor: 48 seats x 15 GPD/seat	720 GPD
	<u>2000 GPD</u> Market total
<u>Retail Space</u>	
Retail Space 1	
4166 sf x 4 GPD/100 sf	166 GPD
Retail Space 2	
4167 sf x 4 GPD/100 sf	167 GPD
Retail Space 3	
4167 sf x 4 GPD/100 sf	167 GPD
	<u>500 GPD</u> Retail total
	2500 GPD BUILDING TOTAL

CODES COMPLIANCE INFORMATION

BUILDING DESIGN CODES:
 AMERICANS WITH DISABILITY ACT (ADA)
 INTERNATIONAL BUILDING CODE - 2015
 VERMONT FIRE AND BUILDING SAFETY CODE - 2015

BUILDING AREA:
 30,186 SF

BUILDING HEIGHT:
 24' - 10"

NUMBER OF STORIES:
 1

OCCUPANCY CLASSIFICATION:
 MERCANTILE GROUP M

CONSTRUCTION TYPE:
 TYPE VB

FIRE SUPPRESSION:
 FULLY SPRINKLERED

OCCUPANT LOAD - HEALTHY LIVING MARKET
 393



HARRIMAN

AUBURN BOSTON PORTLAND PORTSMOUTH

FINNEY CROSSING RETAIL

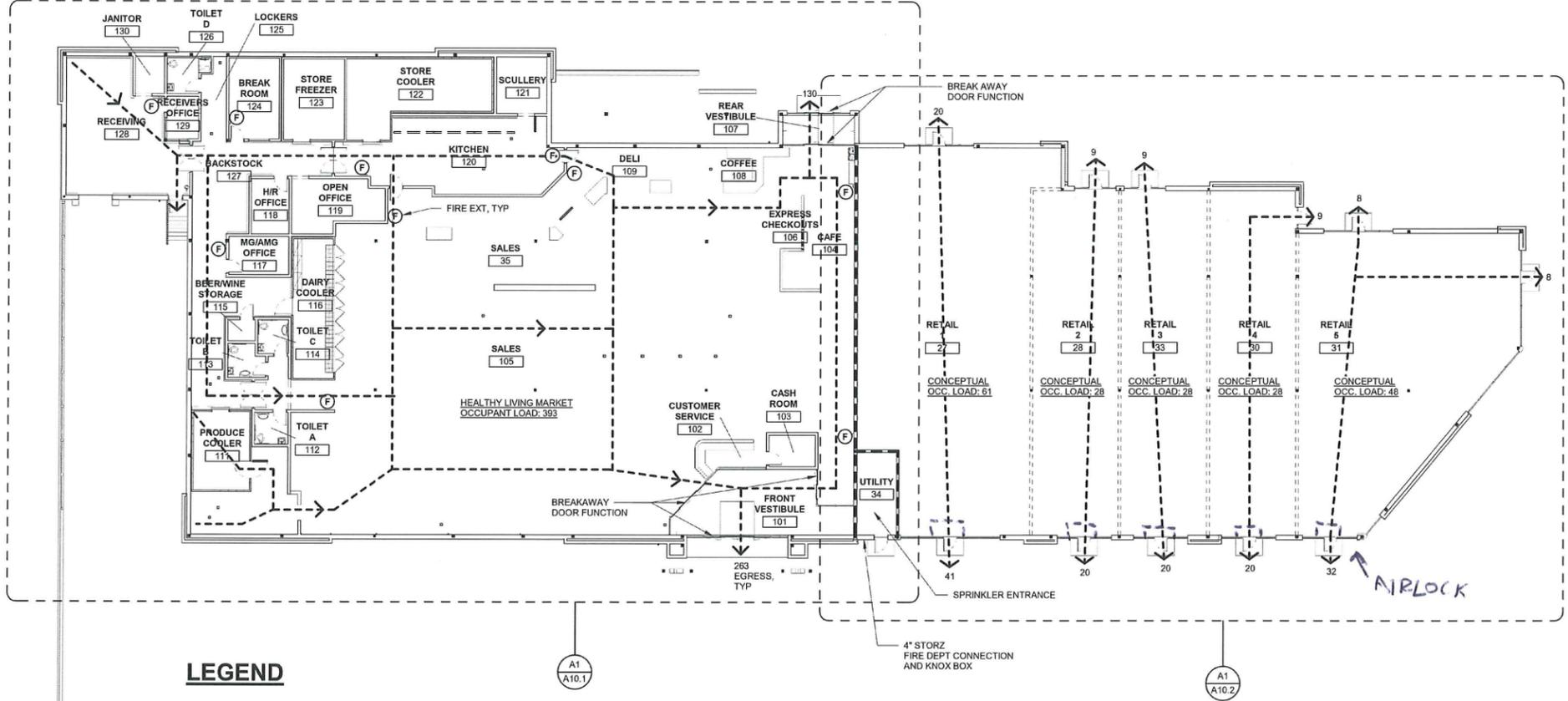
FINAL PLANS

WILKINSON, VERMONT
 Harriman Project No. 18305
 Key Plan Proj North

RECEIVED
 SEP 20 2018

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILKINSON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF 2019.

[Signature]
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



LEGEND
 - - - - - 1 HR RATED WALL

FINAL CONSTRUCTION DOCUMENTS
 August 22, 2019

Rev Date	Revision Description

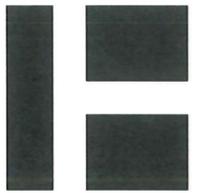


0 4' 8' 12'
 1/8" = 1'-0"

PA/PE: MJB © 2019
 Drawn By: DRE Harriman Associates

FIRST FLOOR CODES PLAN, CODES INFORMATION

A01.1



HARRIMAN

AUBURN BOSTON PORTLAND PORTSMOUTH

FINNEY CROSSING RETAIL

WILLISTON, VERMONT

Harriman Project No. 19305

Key Plan Proj North

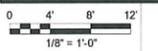


UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF

Matthew S. Long
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

FINAL CONSTRUCTION DOCUMENTS
August 22, 2019

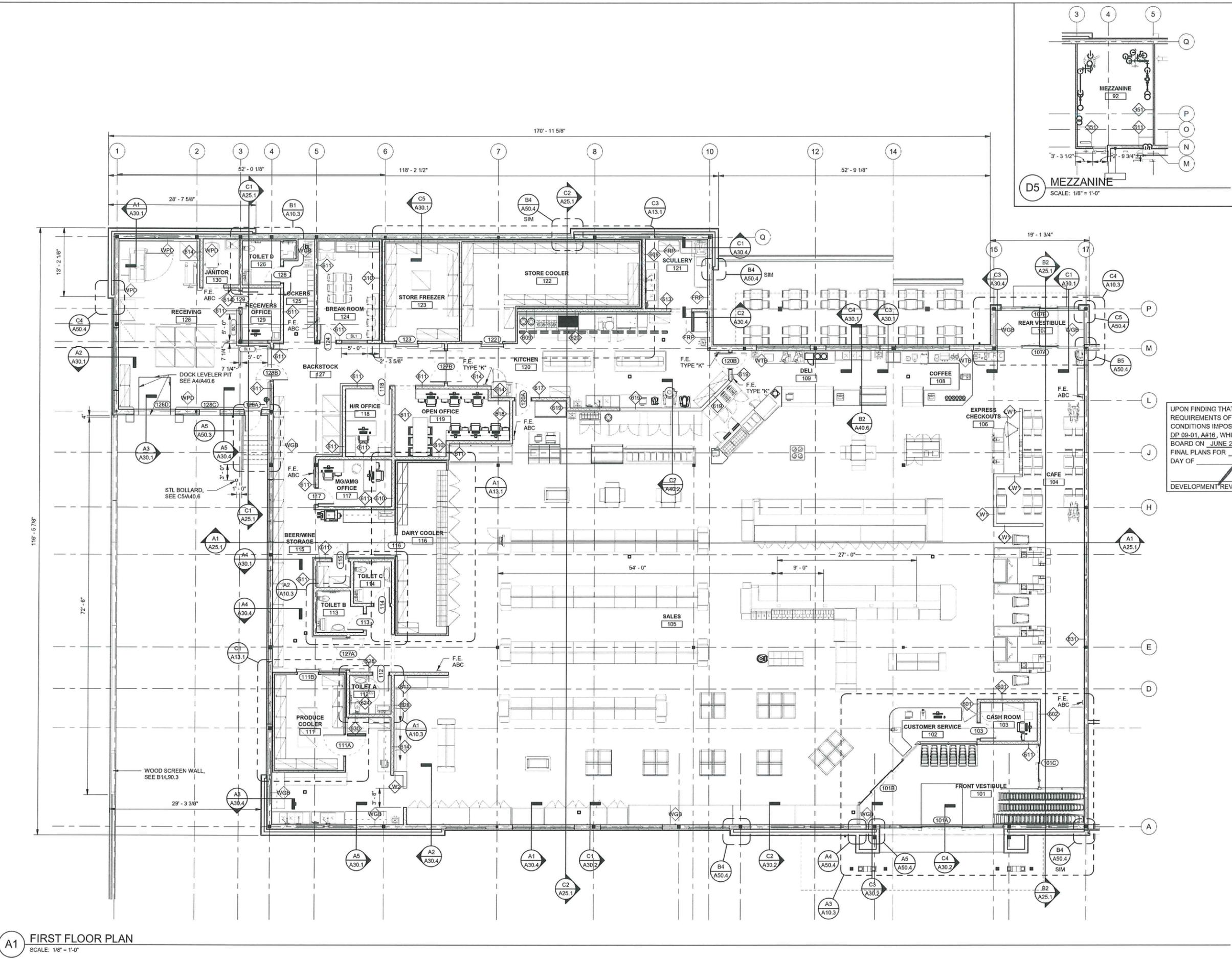
Rev Date	Revision Description



PA/PE: MJB © 2019
Drawn By: DRE Harriman Associates

FIRST FLOOR PLAN -
HEALTHY LIVING MARKET

A10.1



A1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



HARRIMAN

AUBURN BOSTON PORTLAND PORTSMOUTH

FINNEY CROSSING RETAIL

WILLISTON, VERMONT

Harriman Project No. 19305

Key Plan Proj North



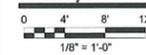
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Matthew Kellogg

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

FINAL CONSTRUCTION DOCUMENTS
August 22, 2019

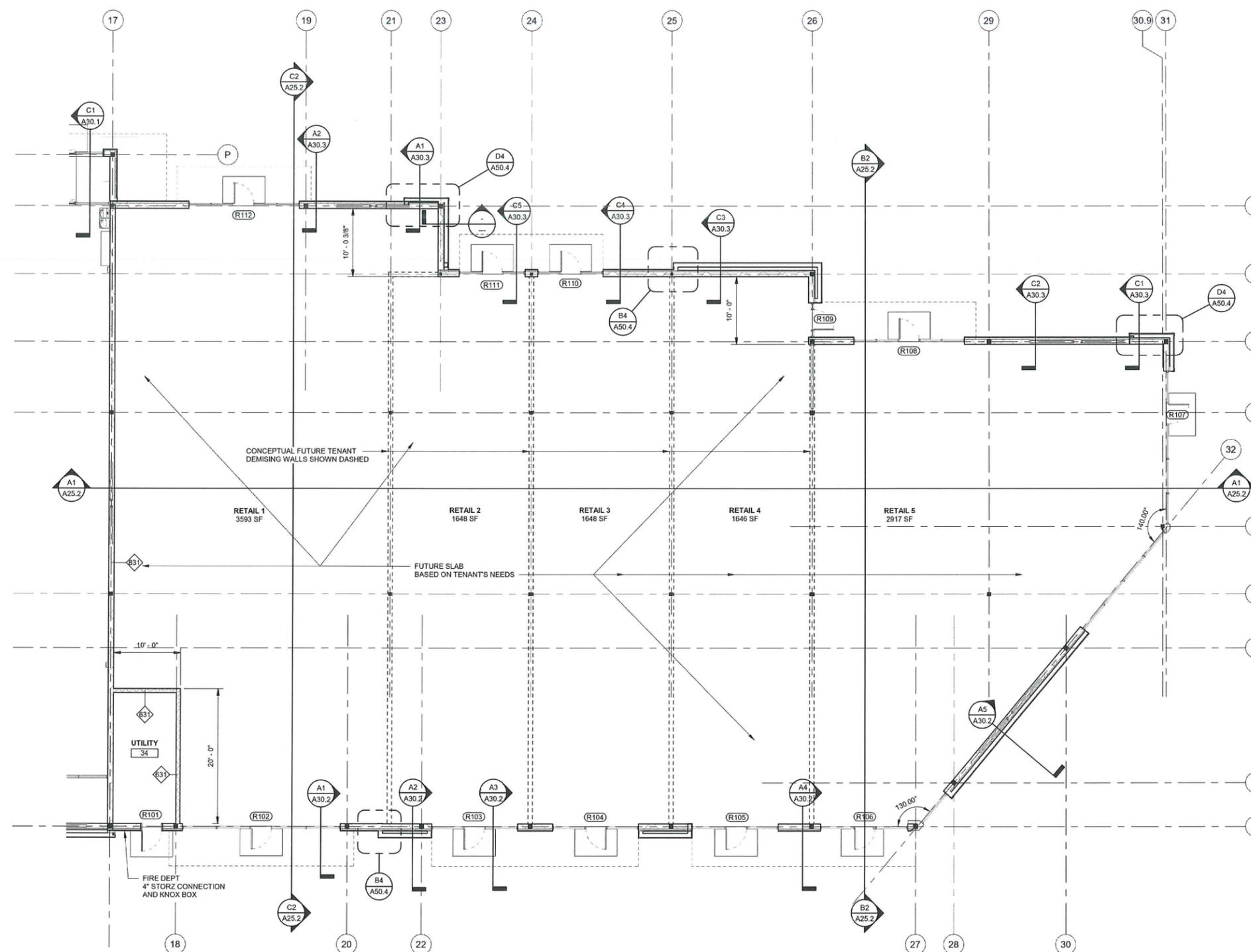
Rev Date	Revision Description



PA / PE: MJB © 2019
Drawn By: DRE Harriman Associates

FIRST FLOOR PLAN - RETAIL

A10.2



GENERAL NOTES:

1. RETAIL UNITS SHOWN ARE CONCEPTUAL AND APPROXIMATE; ACTUAL AREAS TO BE CONFIRMED AS TENANT REQUIREMENTS BECOME FINALIZED.
2. ENTRANCES SHOWN ON BOTH SOUTH AND NORTH SIDES OF THE BUILDING ARE TO BE OPERATIONAL - FOR USE ON THE PARKING LOT SIDE AS WELL AS THE ROUTE 2 SIDE.
3. AT LEAST ONE AIRLOCK IS TO BE CONSTRUCTED AT EACH FUTURE TENANT SPACE.

A1 FIRST FLOOR PLAN - RETAIL
SCALE: 1/8" = 1'-0"



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE *WILLISTON DEVELOPMENT BYLAW* AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 28, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE ____ DAY OF MAY, 2019.

[Signature]

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

NORTH ELEVATION

NOT TO SCALE 05/31/19



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE *WILLISTON DEVELOPMENT BYLAW* AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE _____ DAY OF _____, 2019.

Matt Salang
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

SOUTH ELEVATION

NOT TO SCALE 05/31/19



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Matt Belong

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

EAST ELEVATION

05/31/19



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE *WILLISTON DEVELOPMENT BYLAW* AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE ____ DAY OF ____ 2019.

Matt Selinger
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

WEST ELEVATION - RETAIL

NOT TO SCALE 05/31/19



NORTH ELEVATION

FC1 RE1 CM1 MT1 FC1 ST1 SF1 RE1 FC3 FC2 FC1 SF1 CAN FC2



EAST ELEVATION

ST1 FC2 RE1 FC1

FINAL PLANS



SOUTH ELEVATION

CAN FC1 CAN FC3 RE1 SF1 FC2 ST1 MT1 CM1 ST1 MT1 FC1 CM1 MT1



WEST ELEVATION

FC2 FC3 RE1 SF1

MATERIALS LEGEND

MATERIAL	CODE No.	MANUFACTURER / SERIES	COLOR / FINISH
CANOPY	CAN	MASA, EXTRUDECK	CLEAR ANODIZED
CORRUGATED METAL PANELS	CM1	CORTEN	7/8" CORRUGATED AZP RAW
FIBER CEMENT WALL PANELS	FC1	NICHIHA VINTAGEWOOD	CEDAR
FIBER CEMENT WALL PANELS	FC2	JAMES HARDIE, HARDIE PLANK, ROUGH	SHERWIN WILLIAMS
FIBER CEMENT WALL PANELS	FC3	JAMES HARDIE, HARDIE PANEL	SHERWIN WILLIAMS
METAL WALL PANELS	MT1	BRIDGER STEEL, SNAP BATTEN	BRONZE
ROOF EDGE	RE1	ATAS	SLATE GRAY
STOREFRONT	SF1	KAWNEER 451T	BLACK ANODIZED
MANUFACTURED STONE	ST1	CERTAINTEED STONEFACADE	ADIRONDACK SNOWFALL



HEALTHY LIVING MARKET

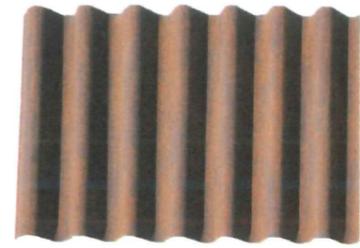
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF _____, 2019.

Matthew Blaney

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

ELEVATIONS - PROPOSED

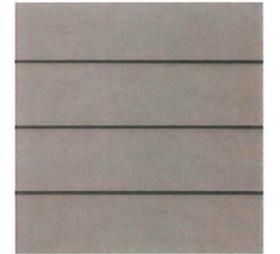
NOT TO SCALE 05/31/19



CORTEN
7/8" CORRUGATED AZP RAW



NICHIHA FIBER CEMENT BOARD
VINTAGEWOOD



HARDIE PLANK
FIBER CEMENT BOARD
6" EXPOSURE



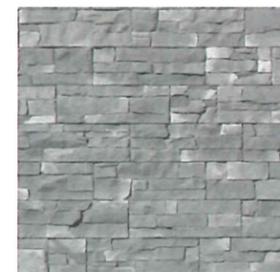
HARDIE PANEL
FIBER CEMENT PANEL



BRIDGER STEEL
ULTRA BATTEN PANELS



KAWNEER
CLEAR ANODIZED
ALUMINUM



CERTAITEED STONEFACADE
ADIRONDACK SNOWFALL



HEALTHY LIVING MARKET

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 27, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR WINNEY CROSSING AMENDMENT #16 ON THE DAY OF _____, 2019.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

NORTH ENTRY DETAIL

NOT TO SCALE 05/31/19



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE *WILLISTON DEVELOPMENT BYLAW* AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE _____ DAY OF _____, 2019.

Matt Blayney
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

**View from intersection of Holland and
Market Street**



SCREENING AT LARGE ROOF TOP UNITS



NO SCREENING

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE *WILLISTON DEVELOPMENT BYLAW* AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE _____ DAY OF _____, 2019.

Matt Balang

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



HEALTHY LIVING MARKET

View from Third Floor Window of Hotel

05/24/19

FINNEY CROSSING

PROPOSED BUILDING J

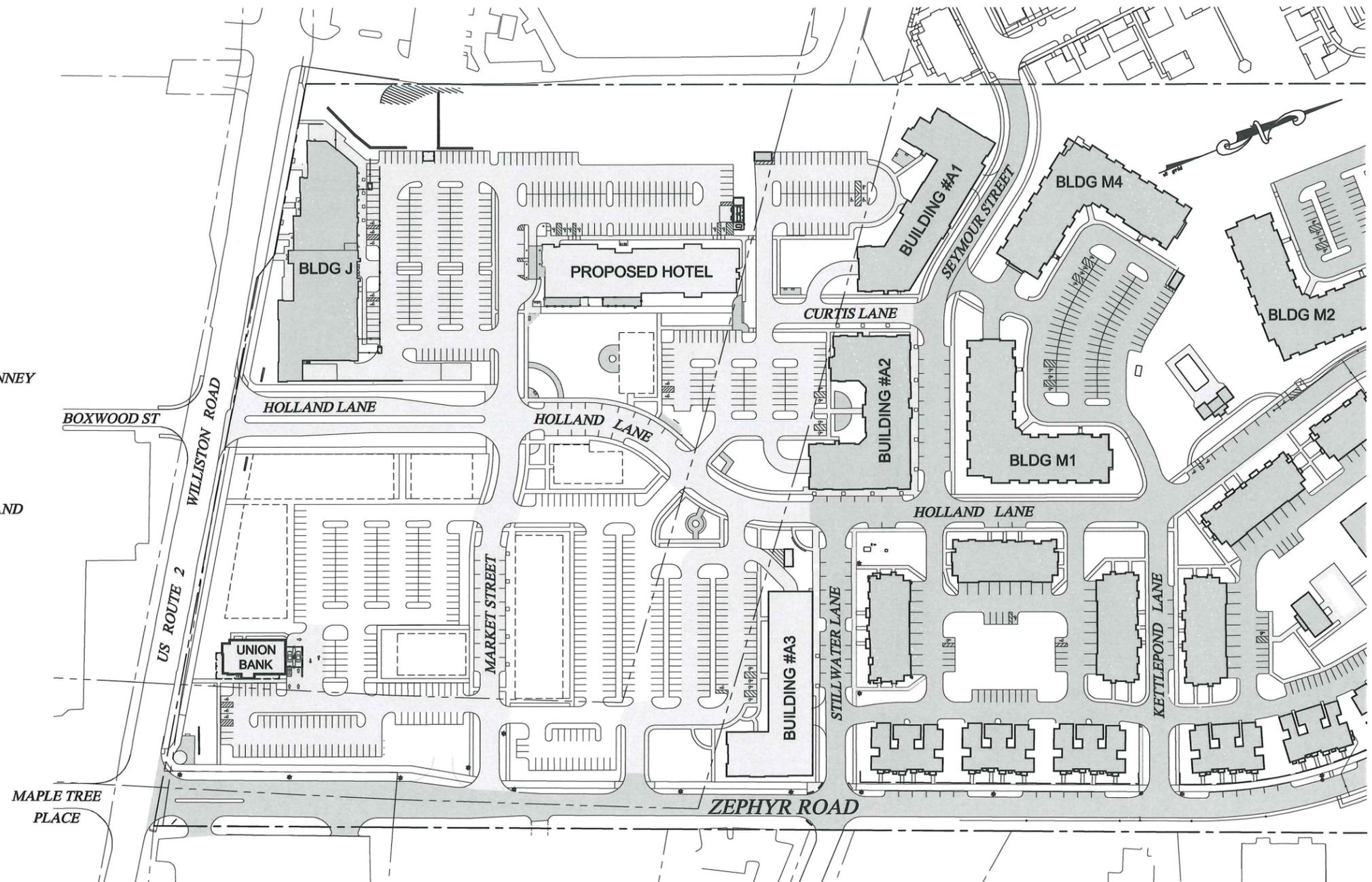
WILLISTON ROAD, HOLLAND LANE & MARKET STREET
WILLISTON, VT

SHEET INDEX

S1	COMMERCIAL AREA SITE PLAN
S2	UTILITY & GRADING PLAN
S3	MISC SITEWORK & EPSC DETAILS
L90.1	SITE PLANTING PLAN
L90.2	PLANTING DETAILS
8A	EPSC - PRE-CONSTRUCTION
8B	EPSC - CONSTRUCTION
8C	EPSC - STABILIZATION
24	SUBDIVISION PLAT (SOUTH)
TS1	TRAFFIC SIGN PLAN

THE FOLLOWING PLANS LISTED BELOW ARE PART OF THE FINNEY CROSSING FINAL PLAN SET, AND SHALL BE USED FOR CONSTRUCTION OF THIS PHASE, WHERE APPLICABLE:

- 14 ROADS DETAILS AND SPECIFICATIONS
- 15 ROADWAY & MISC. DETAILS AND SPECIFICATIONS
- 16 WATER DETAILS AND SPECIFICATIONS
- 17 SEWER AND STORM DETAILS AND SPECIFICATIONS
- 18 EROSION PREVENTION & SEDIMENT CONTROL DETAILS AND SPECIFICATIONS

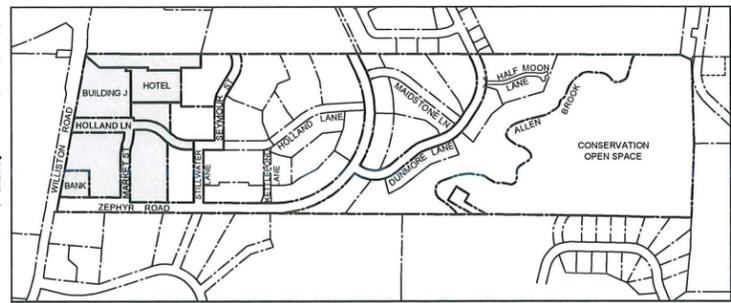
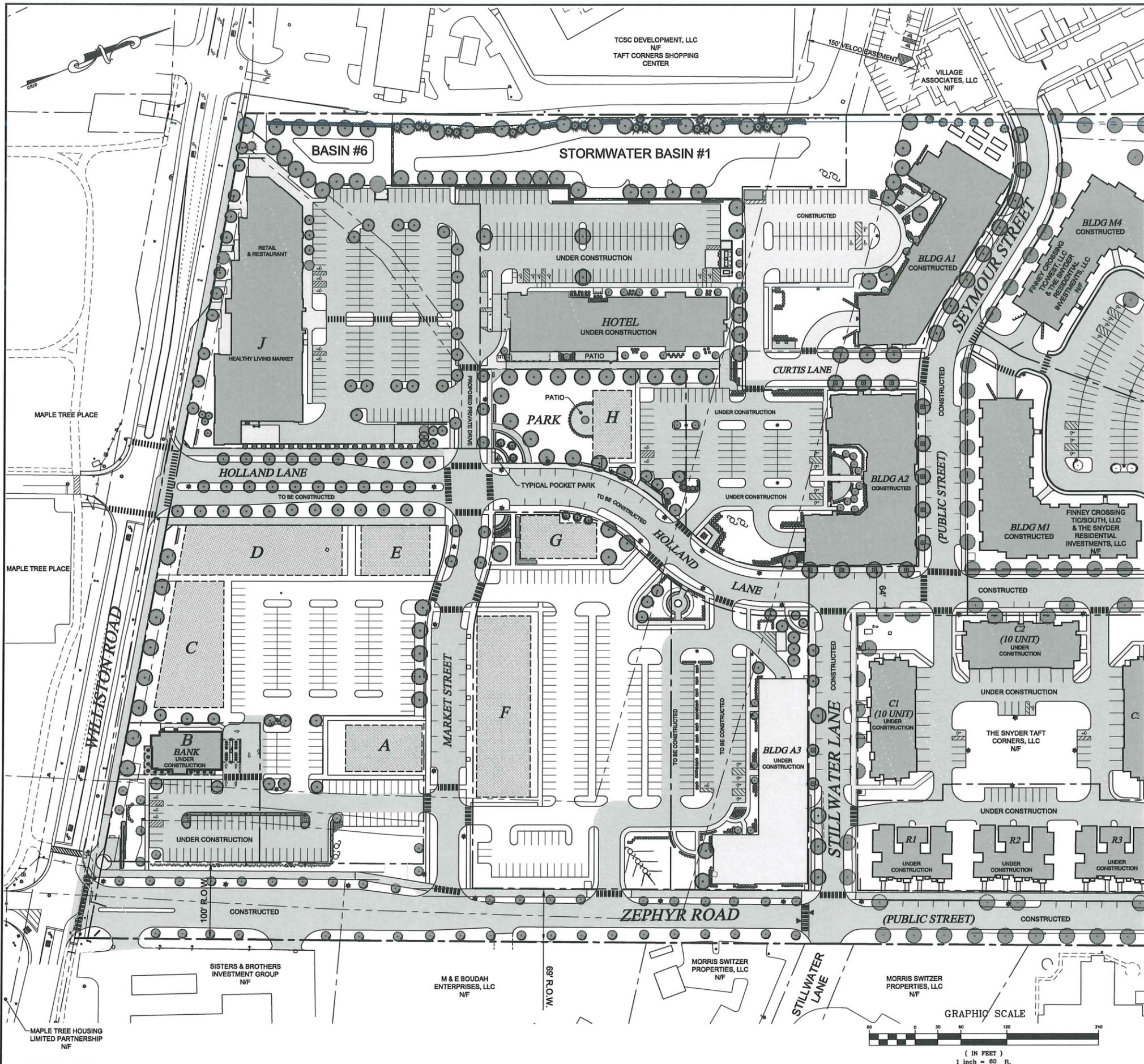


APPLICANT & LANDOWNER:
THE SNYDER FC COMMERCIAL PROPERTIES, LLC
AND RIELEY PROPERTIES, LLC
 4076 SHELBURNE ROAD, SUITE 6
 SHELBURNE, VT. 05482

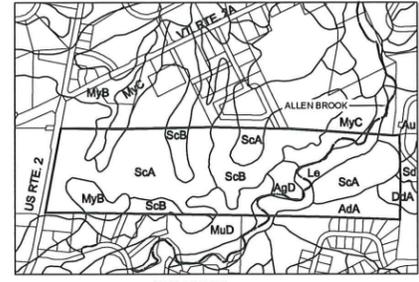
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 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

L LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450

WILLISTON DISCRETIONARY PERMIT #DP-09-01 AMENDMENT #16



- FINNEY CROSSING LOCATION MAP**
N.T.S.
- | | |
|---|---|
| PUBLIC STREET | PRIVATE STREETS |
| ZEPHYR ROAD (CONSTRUCTED) | HALF MOON LANE (CONSTRUCTED) |
| DUNMORE LANE (CONSTRUCTED) | MAIDSTONE LANE (CONSTRUCTED) |
| STILLWATER LANE (CONSTRUCTED) | KETTLEPOND LANE (CONSTRUCTED) |
| SEYMOUR STREET (CONSTRUCTED) | HOLLAND LANE, NORTH OF SEYMOUR ST (CONSTRUCTED) |
| MARKET STREET (TO BE CONSTRUCTED) | |
| HOLLAND LANE, SOUTH OF SEYMOUR ST (PARTIALLY CONSTRUCTED) | |



SOILS MAP
SCALE: 1" = 1000'

SOILS LEGEND

SCS MAPPING UNIT	DESCRIPTION	ERODIBILITY COEFFICIENT
AgD	AGAWAM FINE SANDY LOAM	0.28
MuB	MUNSON & BELGRADE SILT LOAM	0.49
MyB	MUNSON & RAYNHAM SILT LOAM	0.49
MyC	MUNSON & RAYNHAM SILT LOAM	0.49
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE OVERALL LAYOUT OF THE SOUTHERLY PORTION OF THE FINNEY CROSSING PROJECT PARCEL.
 2. SEE ADDITIONAL SHEETS FOR DESIGN INFORMATION RELATED TO PROPOSED BUILDING J, THE HOTEL, BANK, RELATED SITE IMPROVEMENTS, AND THE EXTENSION OF HOLLAND LANE AND MARKET STREET.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JULY 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16, ON THE DAY OF *Matthew Balogh* 2019.
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

DATE	REVISIONS	# OF SHEETS
09-16-19	CONC SLAB & PALLET SCREENING AT LOADING	ABR

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

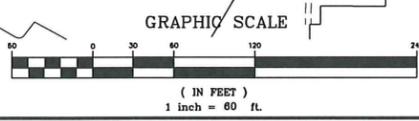
<input type="checkbox"/> SKETCH/CONCEPT	
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> FINAL	
<input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

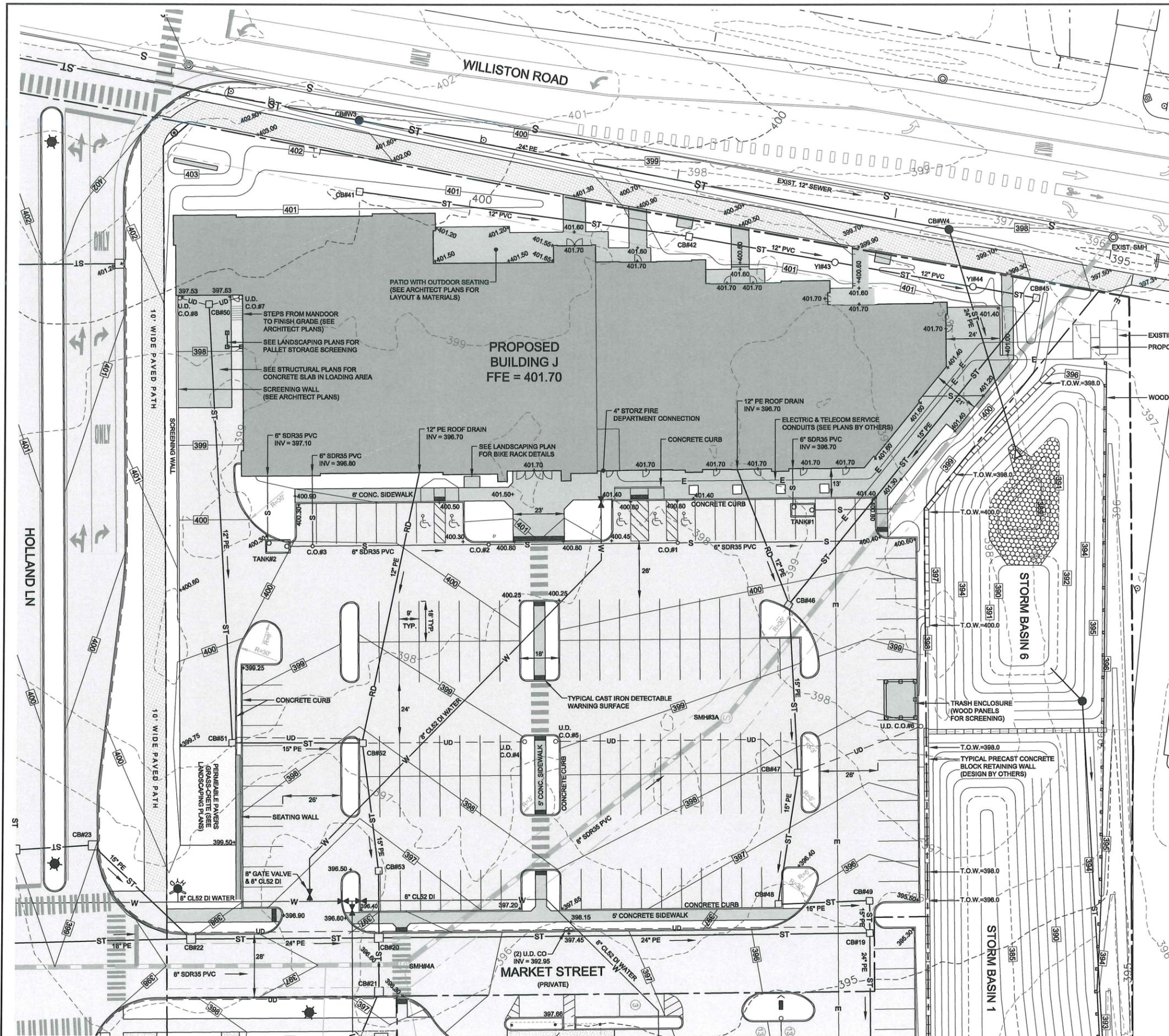
COMMERCIAL AREA
SITE PLAN

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

proj. no. 01-087
survey L&D
design LD/OTHERS
drawn ABR
checked D.J.G.
date 05-15-19
scale 1" = 100'
shl. no. S1



PARCEL 08-143-01-0.000.a & b
WILLISTON DISCRETIONARY PERMIT DP-09-01



CATCHBASIN DATA		SMH DATA	
CB#19	RIM = 395.00 15" IN = 389.00 24" IN = 387.10 24" OUT = 387.05	YI#44	RIM = 399.00 12" PVC IN / OUT = 395.34
CB#20	RIM = 396.20 (2) 6" UD IN = 391.70 (2) 15" IN = 389.30 24" IN = 389.30 24" OUT = 389.25	CB#45	RIM = 398.50 12" PVC IN = 395.20 15" PE IN = 395.15
CB#21	RIM = 396.20 (2) 6" UD IN = 391.70 (2) 15" IN = 389.50 15" OUT = 389.45	CB#46	RIM = 399.70 12" PE IN = 394.75 (ROOF) 15" PE IN = 394.25 15" PE OUT = 394.20
CB#22	RIM = 397.40 6" UD IN = 392.90 6" UD OUT = 393.90 15" IN = 390.10 18" IN = 390.10 24" OUT = 390.05	CB#47	RIM = 397.65 (2) UD IN = 393.00 15" PE IN = 392.65 15" PE OUT = 392.60
CB#23	RIM = 396.00 12" PVC IN = 392.75 24" OUT = 392.70	CB#48	RIM = 396.00 15" IN = 390.05 15" PE IN = 390.00 24" OUT = 390.00
CB#24	RIM = 397.40 UD OUT = 394.50 12" PVC IN = 391.50 15" PE IN = 391.55	CB#49	RIM = 395.35 15" IN = 388.5 24" PE OUT = 387.25
CB#25	RIM = 398.00 12" PVC IN = 392.75 24" OUT = 392.70	CB#50	RIM = 397.40 (2) UD IN = 393.00 12" PE OUT = 392.90
CB#26	RIM = 400.00 12" PVC OUT = 396.80	CB#51	RIM = 399.00 UD OUT = 394.50 12" PE IN = 391.90 15" PE IN = 391.85
CB#27	RIM = 400.00 12" PVC IN = 396.05 12" PVC OUT = 396.00	CB#52	RIM = 397.80 (2) UD IN = 393.30 12" PE IN = 392.85 (ROOF) 15" PE IN = 391.55 15" PE OUT = 391.50
CB#28	RIM = 400.00 12" PVC IN = 395.66	CB#53	RIM = 396.15 15" PE IN = 389.65 15" PE OUT = 389.60
YI#43	RIM = 400.00 12" PVC IN / OUT = 395.66		

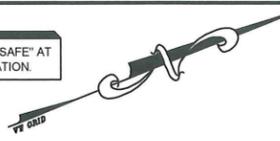
PROJECT DATA:
 ZONING DISTRICT: TAFT CORNERS ZONING DISTRICT
 PROPOSED USES:
 SUPERMARKET 18,000 SF
 RESTAURANT 3,500 SF
 VARIETY RETAIL 4,375 SF
 PERSONAL SERVICES / OFFICE 4,375 SF
 TOTAL 30,250 SF
 REQUIRED PARKING: SEE SHARED PARKING ANALYSIS
 PROPOSED TOTAL PARKING SPACES = 145 SPACES
 REQUIRED ACCESSIBLE PARKING = 5 SPACES (PER BYLAW)
 PROPOSED TOTAL ACCESSIBLE SPACES = 5 SPACES
 PARKING LOT LANDSCAPING (UNIFIED DEVELOPMENT BYLAW 23.5.1)
 - LANDSCAPED ISLANDS OR MEDIANS SHALL OCCUPY A MIN. OF 5% OF PARKING AREA
 - LANDSCAPED ISLANDS = 7% (3,800SF ISLANDS / 55,000 SF PARKING AREA)
 BICYCLE PARKING:
 SHORT TERM BICYCLE PARKING (BIKE RACKS) PROVIDED ON NORTH & SOUTH SIDES OF BUILDING
 MINIMUM REQUIRED EXTERIOR SPACES = 12 SPACES
 INTERIOR BICYCLE STORAGE TO BE PROVIDED INSIDE THE BUILDING.
 MINIMUM REQUIRED LONG TERM SPACES PER BYLAW = 3 SPACES

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01-16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 27, 2018, THE ADMINISTRATOR HAS APPROVED THE FINAL PLAN FOR FINNEY CROSSING AMENDMENT #16, ON THE DAY OF *[Signature]*
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

- NOTES:**
- COORDINATE THE HORIZONTAL LOCATION OF THE WATER, SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICE CONNECTIONS TO THE BUILDING WITH THE OWNER AND ARCHITECTURAL PLANS.
 - PRIOR TO CONSTRUCTION, THE ELEVATIONS OF THE SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICES FROM THE ARCHITECTURAL PLANS SHALL BE COMPARED TO THE ELEVATION OF THE COLLECTION MAINS AND SERVICES SHOWN ON THESE PLANS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
 - COORDINATE THE LOCATION OF THE SIDEWALK ENTRANCES TO EACH BUILDING WITH THE OWNER. UNLESS SHOWN ARE PROPOSED, THE MAXIMUM SLOPE ON ANY SIDEWALK SHALL BE LESS THAN 5%.
 - CAST IRON DETECTABLE WARNING STRIPS SHALL BE INSTALLED AT ALL SIDEWALK AND PAVED PATH RAMP AT CROSSWALKS AND AT ADDITIONAL LOCATIONS NOTED ON THE PLANS. AT PAVED PATHS, DETECTABLE WARNING STRIPS SHALL BE INSTALLED IN CONCRETE.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND / OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREET TO THE STORMWATER BASIN.
 - UTILITY LAYOUTS SHOWN ON THIS PLAN ARE FOR REVIEW PURPOSES ONLY. REFER TO DESIGN DRAWINGS BY EACH RESPECTIVE UTILITY FOR CONSTRUCTION.
 - A SAFETY BARRIER (FENCE) SHALL BE INSTALLED ALONG THE TOP OF RETAINING STRUCTURES. THE TYPE AND LOCATION OF FENCE SHALL BE DETERMINED BY THE DEVELOPER AT THE TIME OF CONSTRUCTION.
 - RAILINGS FOR STEPS TO ENTRANCES ALONG THE SOUTH BUILDING ELEVATION ARE TO BE DESIGNED BY OTHERS.
 - ALL PIPE SLOPES ARE IN FEET / FEET.

09-16-19	CONC SLAB & PALLET SCREENING AT LOADING	ABR
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	# OF SHEETS
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	
FINNEY CROSSING		
A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		
GRADING & UTILITY PLAN		
		proj. no. 01-087 survey L&D design LD/OTHERS drawn ABR checked DJG date 05-15-19 scale 1" = 20' sht. no. S2

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



LEGEND

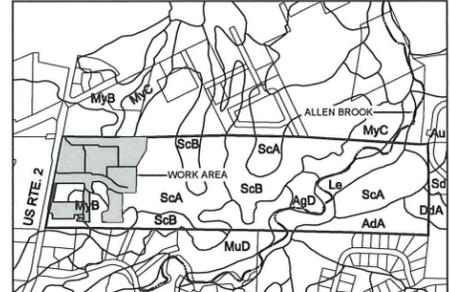
- LOD
- LIMIT OF DISTURBANCE
- SILT FENCE
- EROSION LOG OR SILT FENCE
- STABILIZED CONSTRUCTION EXIT
- EXISTING CATCH BASIN INLET PROTECTION

PRE CONSTRUCTION PLAN
 PURPOSE: THIS PLAN PRESENTS THE EXISTING SITE CONDITIONS AND EROSION PREVENTION & SEDIMENT CONTROL MEASURES THAT MUST BE IMPLEMENTED PRIOR TO INITIATING MAJOR EARTHWORK IN EACH PHASE OF WORK. THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE COMPLETE AND IN PLACE PRIOR TO EARTH DISTURBANCE FOR SITE WORK OR BUILDING CONSTRUCTION.

LIMITS OF DISTURBANCE: LOD SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE. WHERE DELINEATED BY EXISTING PAVEMENT (STREETS OR DRIVES), THE LOD NEED NOT BE MARKED.

STANDARD CONDITIONS: SEE SHEET 10 FOR EROSION PREVENTION AND SEDIMENT CONTROL STANDARD CONDITIONS THAT SHALL APPLY THROUGHOUT THE DURATION OF ALL PHASES OF CONSTRUCTION.

EXISTING SITE CONDITIONS: THE WORK AREA IS A FORMER HAYFIELD AND PASTURE. SMALL TREES AND BRUSH ARE LOCATED AROUND THE PERIMETER OF THE PROJECT BOUNDARY.



SOILS LEGEND

SCS MAPPING UNIT	DESCRIPTION	ERODABILITY COEFFICIENT
AgD	AGAWAM FINE SANDY LOAM	0.28
MuD	MUNSON & BELGRADE SILT LOAM	0.49
MyB	MUNSON & RAYNHAM SILT LOAM	0.49
MyC	MUNSON & RAYNHAM SILT LOAM	0.49
ScA	SCANTIC SILT LOAM	0.32
ScB	SCANTIC SILT LOAM	0.32

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01-A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF 2019.

DEVELOPMENT REVIEW BOARD CHAIRMAN'S SIGNATURE



DATE	DESCRIPTION	BY
05-16-19	AMEND TO INCLUDE BUILDING "J"	NDS
05-22-18	AMEND TO INCLUDE BANK & MARKET STREET	NDS
12-19-17	AMEND TO INCLUDE HOTEL & COMPLETE HOLLAND LN	ABR
12-22-16	REVISED PLAN	NDS
10-27-16	REVISED PLAN & NOTES	ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

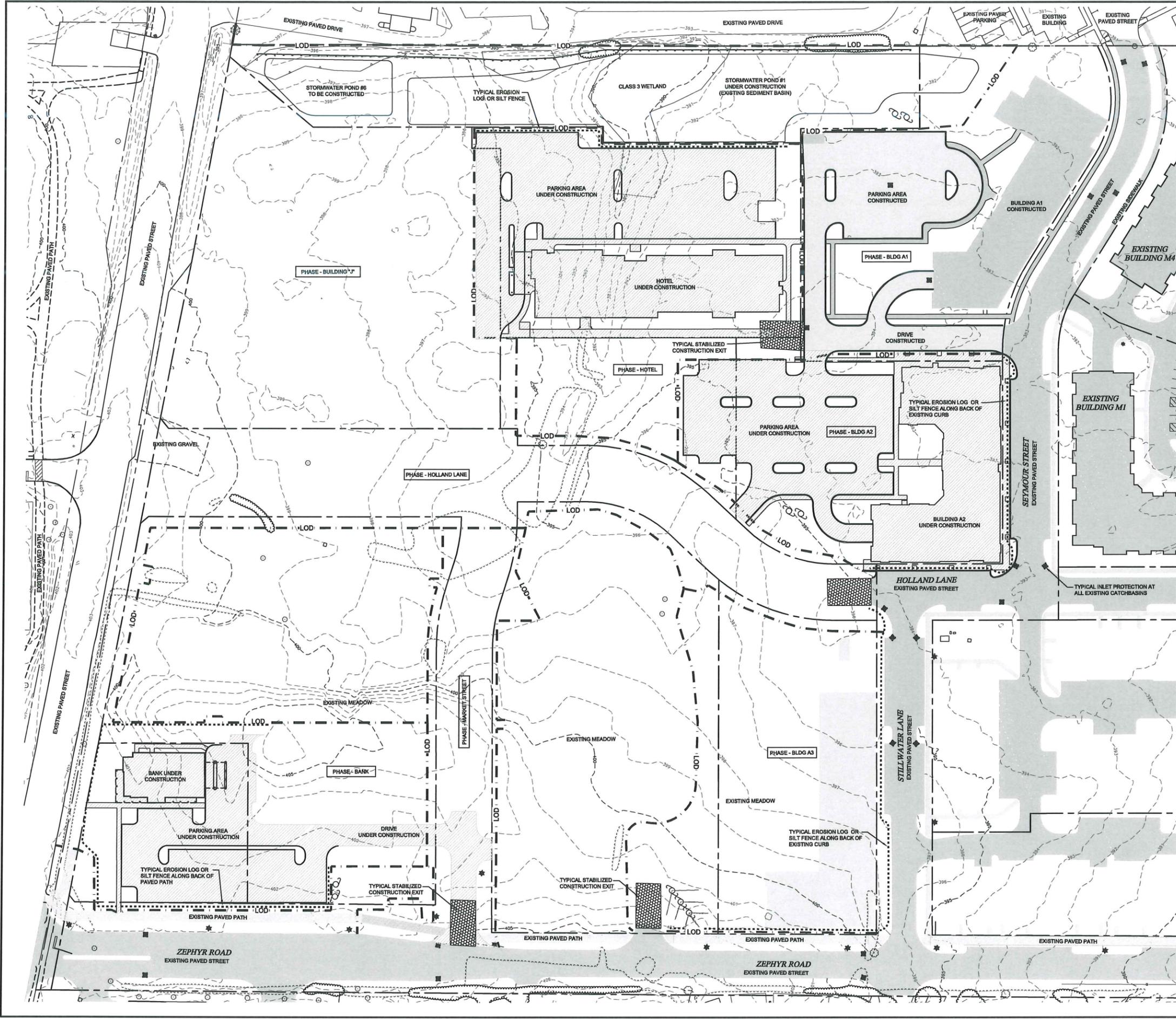
REVISION	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT	
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> FINAL	
<input type="checkbox"/> RECORD DRAWING	

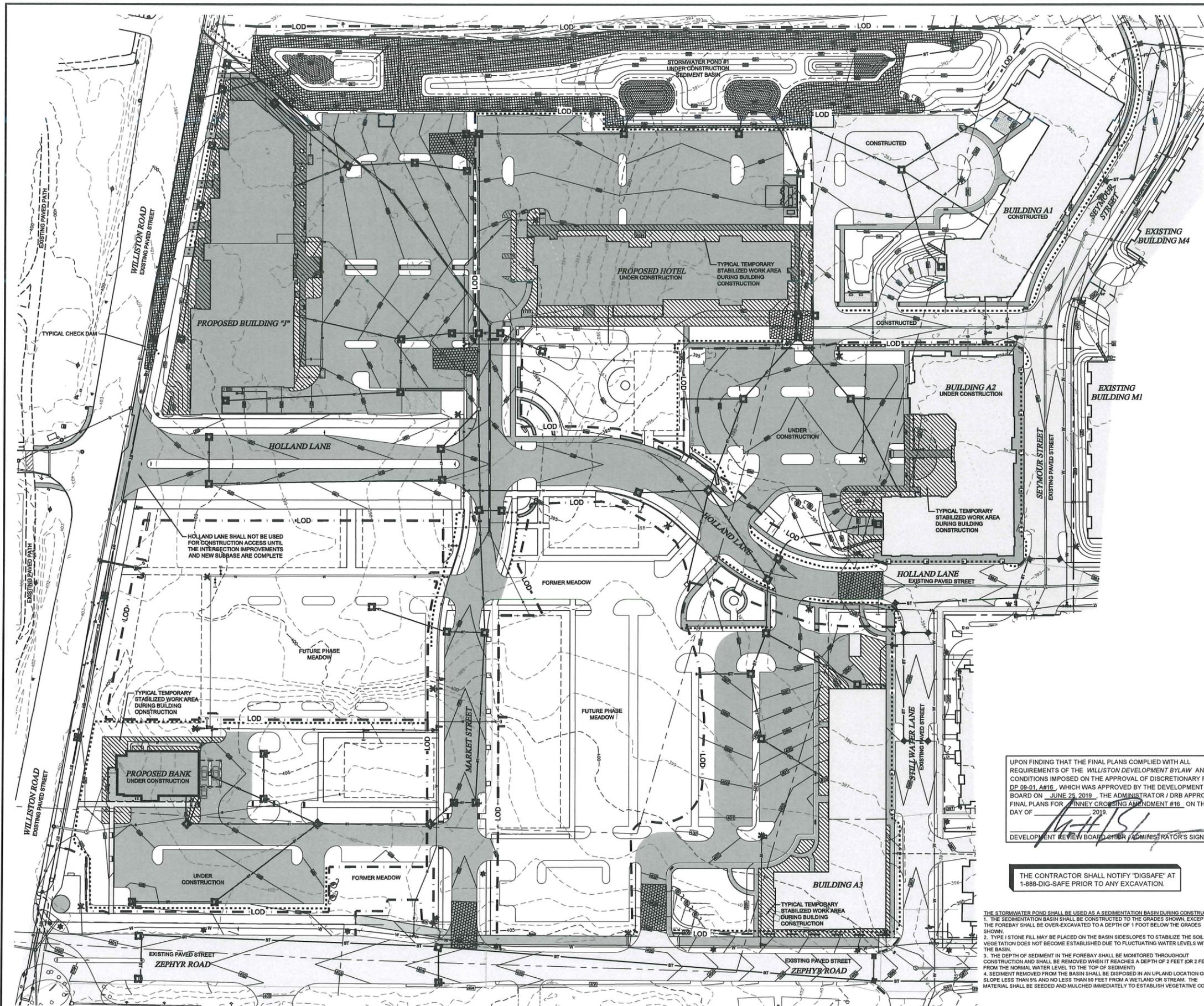
FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

EROSION PREVENTION AND SEDIMENT CONTROL PRE-CONSTRUCTION PLAN

proj. no. 01-087
 survey L&D
 design DJG/ABR
 drawn L&D
 checked DJG/ABR
 date 09/20/16
 scale 1" = 50'
 sht. no. 8A

LAMOREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450





NOTE:
 THE LIMITS OF DISTURBANCE SHALL BE MARKED WITH 4" ORANGE POLYESTER BARRIER TAPE, CONSTRUCTION FENCE, OR SNOW FENCE, EXCEPT IN AREAS WITHIN 50 FEET OF A PRESERVED WETLAND OR STREAM WHERE CONSTRUCTION FENCE SHALL BE USED TO MARK THE LIMITS OF DISTURBANCE.

LEGEND

- LOD --- LIMIT OF DISTURBANCE
- EROSION LOG OR SILT FENCE
- [Pattern] STABILIZED CONSTRUCTION EXIT
- [Pattern] EROSION MATTING
- [Symbol] CATCH BASIN INLET PROTECTION
- [Pattern] TEMPORARY STABILIZED WORK AREA DURING BUILDING CONSTRUCTION
- [Pattern] EXISTING PAVEMENT/ROOFTOPS/WALKS
- [Pattern] PROPOSED PAVEMENT/ROOFTOPS/WALKS

INSPECTION & MONITORING

1. THE ON-SITE COORDINATOR IS BRAD CARTER (802-249-0060)
2. THE ON-SITE COORDINATOR SHALL INSPECT, AND DOCUMENT IN WRITING, THE STATUS OF CONSTRUCTION ON THE PROJECT SITE AND EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES IN PLACE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, PRIOR TO PREDICTED PRECIPITATION, AND AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES A DISCHARGE OF STORMWATER FROM THE CONSTRUCTION SITE.
3. DURING THE WINTER CONSTRUCTION PERIOD (OCT. 15 - APRIL 15) DAILY INSPECTIONS SHALL BE PERFORMED AND DOCUMENTED.
4. INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE PER MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED AND ALL CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED. INSPECTIONS SHALL RESUME PRIOR TO RESUMING CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED ABOVE.
5. IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THIS WILL INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.

PERMIT NOTICE

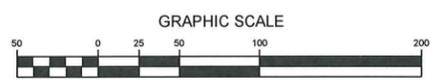
1. A COPY OF THE GENERAL DISCHARGE PERMIT (G-9020), THE AUTHORIZATION TO DISCHARGE, A BRIEF DESCRIPTION OF THE PROJECT, AND THE LOCATION WHERE THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN IS AVAILABLE SHALL BE POSTED AT A LOCATION ON THE PROJECT SITE THAT IS VISIBLE TO THE PUBLIC.

CONSTRUCTION EVENT SEQUENCING

THIS SECTION IS INTENDED TO PROVIDE A SUMMARY OF THE SEQUENCE OF MAJOR CONSTRUCTION EVENTS. THE SCHEDULE FOR PROCEEDING WITH THE CONSTRUCTION OF THE BUILDING MAY AFFECT THE SEQUENCING OF EVENTS. EACH EVENT SHALL BE SUBSTANTIALLY COMPLETED AND STABILIZED PERMANENT (AND/OR TEMPORARY STABILIZATION) PRIOR TO PROCEEDING TO THE NEXT EVENT. HOWEVER, TWO EVENTS MAY PROCEED SIMULTANEOUSLY IF WORK FORCES ARE AVAILABLE AND CAN BE MANAGED WHILE REMAINING IN COMPLIANCE WITH THE REQUIREMENTS OF THE PLAN, INCLUDING, BUT NOT LIMITED TO THE MAXIMUM AREA OF SOIL DISTURBANCE ON THE PROJECT.

SEQUENCE OF MAJOR CONSTRUCTION EVENTS

1. COMPLETE EXCAVATION OF STORMWATER POND 1. STORMWATER POND 1 TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION OF THE BANK, HOTEL, BUILDING J AND BUILDINGS A2-A3.
2. EXTEND UTILITY SERVICES AND EXCAVATE FOR BUILDING FOOTINGS, AND THEN CONTINUE WITH BUILDING FOUNDATION CONSTRUCTION (BUILDING CONSTRUCTION TO RUN CONCURRENTLY WITH REMAINING EVENTS).
3. CONSTRUCT NEW PARKING AREA. PARKING AREA AROUND EACH BUILDING TO BE USED FOR STAGING & STORAGE DURING CONSTRUCTION OF THE BUILDING.
4. CONSTRUCT HOLLAND LANE AND RELATED UTILITIES. CONSTRUCT STREET AND UTILITIES IN SEGMENTS, SO THAT EACH SEGMENT IS TEMPORARILY STABILIZED BEFORE PROCEEDING WITH SUBSEQUENT SEGMENT(S).
5. CONSTRUCT MARKET STREET AND RELATED UTILITIES. CONSTRUCT STREET AND UTILITIES IN SEGMENTS, SO THAT EACH SEGMENT IS TEMPORARILY STABILIZED BEFORE PROCEEDING WITH SUBSEQUENT SEGMENT(S).
6. REPEAT EVENTS 2 & 3 ABOVE FOR SUBSEQUENT BUILDINGS.



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR OR DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16, ON THE DAY OF 2019.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

THE STORMWATER POND SHALL BE USED AS A SEDIMENTATION BASIN DURING CONSTRUCTION.

1. THE SEDIMENTATION BASIN SHALL BE CONSTRUCTED TO THE GRADES SHOWN, EXCEPT THAT THE FOREBAY SHALL BE OVER-EXCAVATED TO A DEPTH OF 1 FOOT BELOW THE GRADES SHOWN.
2. TYPE 1 STONE FILL MAY BE PLACED ON THE BASIN SIDESLOPES TO STABILIZE THE SOIL IF VEGETATION DOES NOT BECOME ESTABLISHED DUE TO FLUCTUATING WATER LEVELS WITHIN THE BASIN.
3. THE DEPTH OF SEDIMENT IN THE FOREBAY SHALL BE MONITORED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 2 FEET (OR 2 FEET FROM THE NORMAL WATER LEVEL TO THE TOP OF SEDIMENT).
4. SEDIMENT REMOVED FROM THE BASIN SHALL BE DISPOSED IN AN UPLAND LOCATION ON A SLOPE LESS THAN 5% AND NO LESS THAN 50 FEET FROM A WETLAND OR STREAM. THE MATERIAL SHALL BE SEEDED AND MULCHED IMMEDIATELY TO ESTABLISH VEGETATIVE COVER.

DATE	REVISIONS	BY
05-16-19	REVISED WITH BUILDING "J"	NDS
05-22-18	REVISED WITH BANK & MARKET STREET	NDS
12-19-17	REVISED WITH HOTEL & HOLLAND LANE	ABR
12-22-16	REVISED EPSC PER DRB PLAN REVISIONS	NDS
10-27-16	REVISED PLAN & NOTES	ABR

REVISIONS	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT <input type="checkbox"/> PRELIMINARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> RECORD DRAWING	

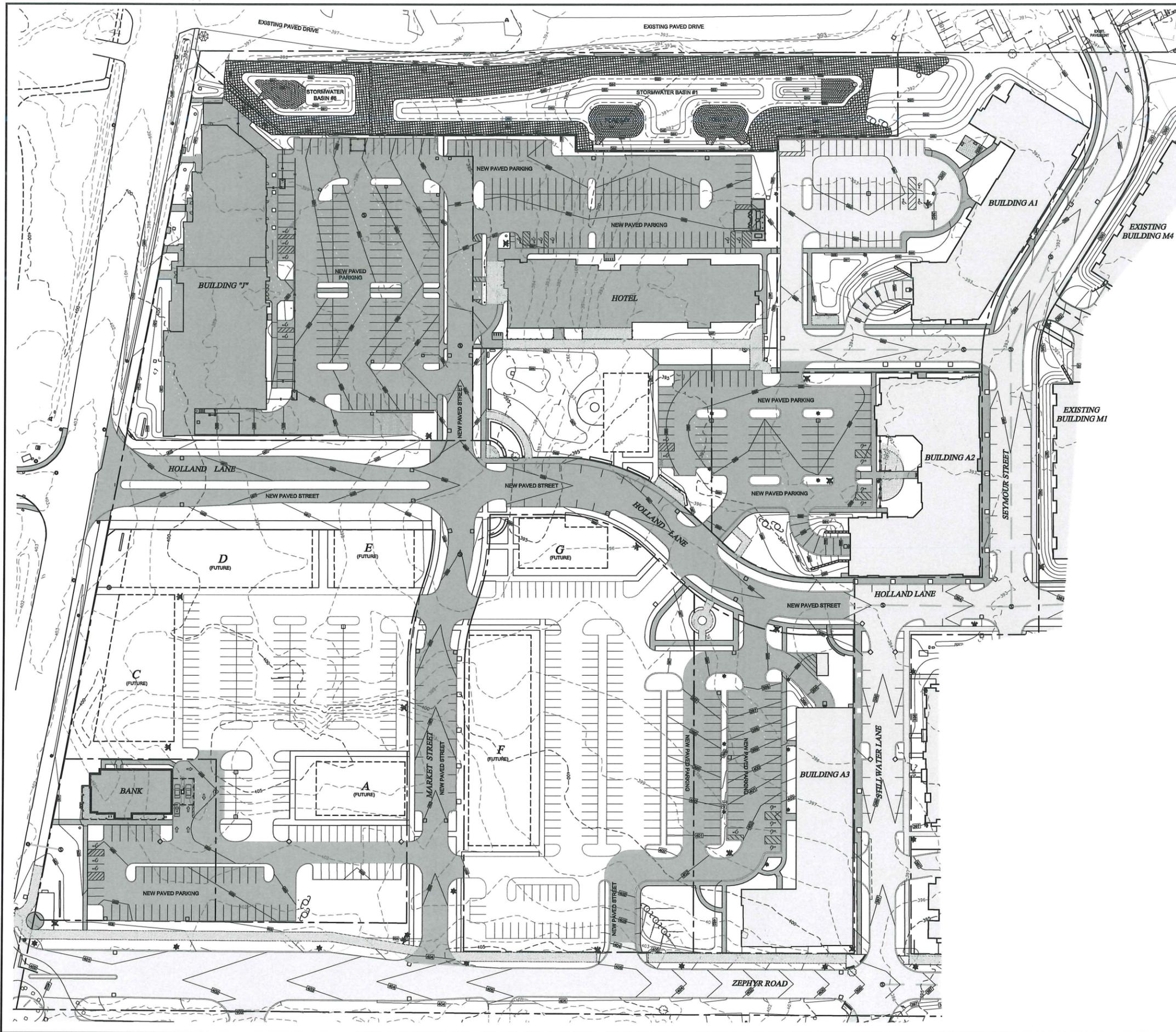
FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

EROSION PREVENTION AND SEDIMENT CONTROL CONSTRUCTION PLAN

proj. no. 01-087
 survey L&D
 design D.J.G./ABR
 drawn L&D
 checked D.J.G./ABR
 date 09/20/16
 scale 1" = 50'
 sht. no. 8B

LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450

WILLISTON DISCRETIONARY PERMIT DP-09-01
 TAX PARCEL # 081066010



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



LEGEND

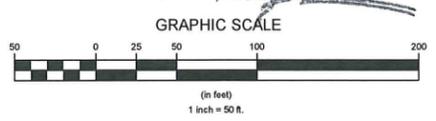
-  EXISTING PAVEMENT/ROOFTOPS
-  PROPOSED PAVEMENT/ROOFTOPS
-  STONE RIP-RAP
-  EROSION MATTING

STABILIZATION NOTES:

- THE PURPOSE OF THIS PLAN IS TO PRESENT THE METHODS OF PERMANENT STABILIZATION FOR ALL AREAS OF SOIL DISTURBANCE DURING CONSTRUCTION:
1. ALL PUBLIC AND PRIVATE STREETS SHALL HAVE A GRAVEL OR PAVED WEARING SURFACE WITH CURBS OR GRAVEL SHOULDERS.
 2. SIDEWALKS SHALL HAVE A TEMPORARY GRAVEL OR PERMANENT CONCRETE WEARING SURFACE.
 3. SWALES, DITCHES, AND OTHER AREAS OF CONCENTRATED FLOW HAVING A FINISH SLOPE LESS THAN 5% SHALL BE LINED WITH EROSION MATTING. THE LIMITS OF THE MATTING SHALL EXTEND UP THE SIDESLOPES.
 4. SWALES, DITCHES, AND OTHER AREAS OF CONCENTRATED FLOW HAVING A FINISH SLOPE GREATER THAN 5% SHALL HAVE A STONE LINING OR OTHER APPROVED TURF REINFORCEMENT.
 5. STONE FILL OR ROCK BORROW SHALL BE PLACED AT CULVERT INLETS AND OUTLETS AT THE LOCATIONS SHOWN (OR AS DIRECTED BY THE OSPC) TO PREVENT EROSION.
 5. BARK MULCH OR CRUSHED STONE MAY BE PLACED AROUND NEW PLANTINGS AND IN LANDSCAPING BEDS. LOOSE MULCH SHALL NOT BE PLACED ON SLOPES OR IN AREAS WHERE IT MAY BE SUBJECT TO WASHING.
 6. A VIGOROUS GROWTH OF VEGETATION SHALL BE ESTABLISHED IN ALL OTHER AREAS OF DISTURBED SOIL. SEE ALSO TURF ESTABLISHMENT REQUIREMENTS.
 7. SITE INSPECTIONS BY THE ONSITE PLAN COORDINATOR SHALL CONTINUE UNTIL A VIGOROUS GROWTH OF PERMANENT VEGETATION HAS BEEN ESTABLISHED AND A NOTICE OF TERMINATION FOR COVERAGE HAS BEEN EXECUTED. AFTER THE ENTIRE SITE HAS BEEN TEMPORARILY STABILIZED, THE INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE (1) PER MONTH.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01_A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF _____, 2019.

[Signature]
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



05-09-19	ADDED BUILDING "J"	NDS
05-22-18	ADDED BANK AND MARKET STREET	NDS
12-19-17	ADDED HOTEL AND EXTENSION OF HOLLAND LANE	ABR
12-22-16	REVISED EPSC PER DRB PLAN REVISIONS	NDS
10-27-16	REVISED PLAN & NOTES	ABR

REVISIONS

THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

	# OF SHEETS
<input type="checkbox"/> SKETCH/CONCEPT	
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> FINAL	
<input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

EROSION PREVENTION AND SEDIMENT CONTROL STABILIZATION PLAN PLAN

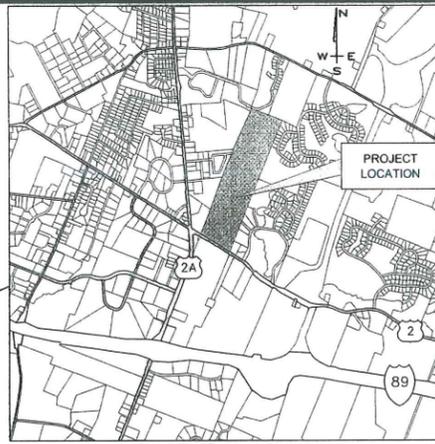
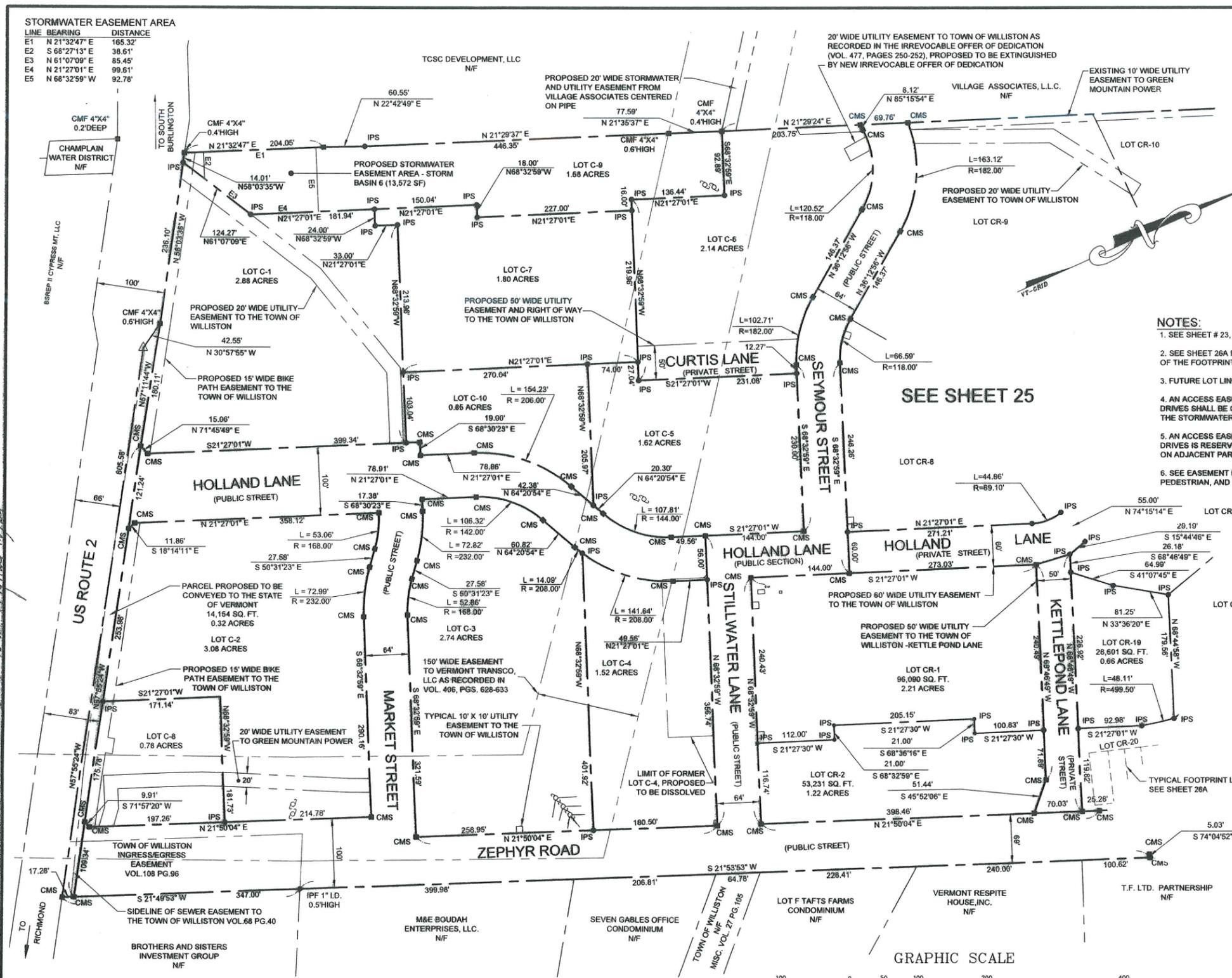
proj. no. 01-087
 survey L&D
 design D.J.G./ABR
 drawn L&D
 checked D.J.G./ABR
 date 09/20/16
 scale 1" = 50'
 sht. no. 8C

LD LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450

WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 08-1046010

STORMWATER EASEMENT AREA

LINE	BEARING	DISTANCE
E1	N 21°32'47" E	165.32'
E2	S 68°27'13" E	36.61'
E3	N 61°07'09" E	85.45'
E4	N 21°27'01" E	99.61'
E5	N 68°32'59" W	92.78'



- NOTES:**
- SEE SHEET # 23, "OVERALL PERIMETER PROPERTY PLAT" FOR SURVEY NOTES.
 - SEE SHEET 26A FOR FOOTPRINT LOT DATA. THE AREA OF LOT CR-2 EXCLUDES THE AREA OF THE FOOTPRINT LOTS.
 - FUTURE LOT LINES AND AREAS ARE SUBJECT TO CHANGE.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND / OR DRIVES SHALL BE CONVEYED TO THE TOWN OF WILLISTON FROM THE PUBLIC STREETS TO THE STORMWATER BASINS.
 - AN ACCESS EASEMENT OF UNDEFINED LOCATION ACROSS PRIVATE STREETS AND/OR DRIVES IS RESERVED FOR THE POTENTIAL FUTURE CONNECTION BETWEEN PARKING AREAS ON ADJACENT PARCELS NEAR THE SOUTHWEST CORNER OF THE PROJECT PARCEL.
 - SEE EASEMENT PLAN(S) FOR THE RESPECTIVE COMMERCIAL LOTS FOR ACCESS, PEDESTRIAN, AND UTILITY EASEMENTS RELATED TO SITE DEVELOPMENT.

This is an original map

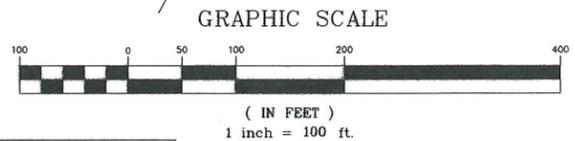
TOWN CLERK'S OFFICE
 TOWN OF WILLISTON, VT. _____, 2019
 RECEIVED FOR RECORD AT _____ O'CLOCK ____ M.,
 AND RECORDED IN SLIDE # _____
 ATTEST _____ TOWN CLERK

date	description	by
05-15-19	ADD LOT C-9 & C-10, REVISE LOT C-1	NDS
08-30-18	ADD BEARINGS/DISTANCES FOR STORM EASEMENT	ABR
07-26-18	ADD EASEMENT FOR STORM BASIN 6	ABR
04-06-18	ADD LOT C-8, REVISE LOT C-2	ABR
08-15-17	REVISE LOTS C-1-5 & CREATED LOT C-7 PER NEW LAYOUT	DLH
12-22-16	REVISE LOT C-6 PER PARKING LOT EDITS PER DRB REVIEW	NDS
10-10-16	RECONFIGURE LOTS C-3 AND C-4, CREATE LOTS C-5 & C-6	DLH
6-25-15	REVISE LOT CR-2 & DEL R1, R2, R3 FOOTPRINT LOTS	ABR
3-28-14	REVISE LOT CR-2 AND FOOTPRINT LOTS	DLH
6-27-07	REVISE LOTS C-1 & C-2	JT
3-16-07	REVISE PER STAFF REVIEW	ABR
1-12-07	GENERAL REVISIONS	DLH

- LEGEND:**
- PROJECT PROPERTY LINE
 - - - ABUTTING PROPERTY LINE
 - - - SIDELINE OF EXISTING EASEMENT
 - - - SIDELINE OF PROPOSED EASEMENT
 - N/F NOW OR FORMERLY
 - N35°25'45"E 124.54' BEARINGS & DISTANCES DETERMINED BY SURVEY
 - △ POINT NOT DETERMINED BY SURVEY
 - IRON PIPE OR REBAR SHOWN ON PREVIOUS SURVEY
 - CONCRETE MONUMENT SHOWN ON PREVIOUS SURVEY
 - IRF IRON REBAR FOUND
 - IPF IRON PIPE FOUND
 - IPS IRON PIPE SET
 - CMF CONCRETE MONUMENT FOUND
 - CMS CONCRETE MONUMENT SET

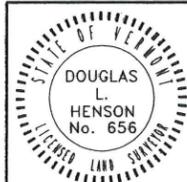
UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF _____, 2019.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAT IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 V.S.A. & 1403.

DATED THIS 10th DAY OF Sept, 2019



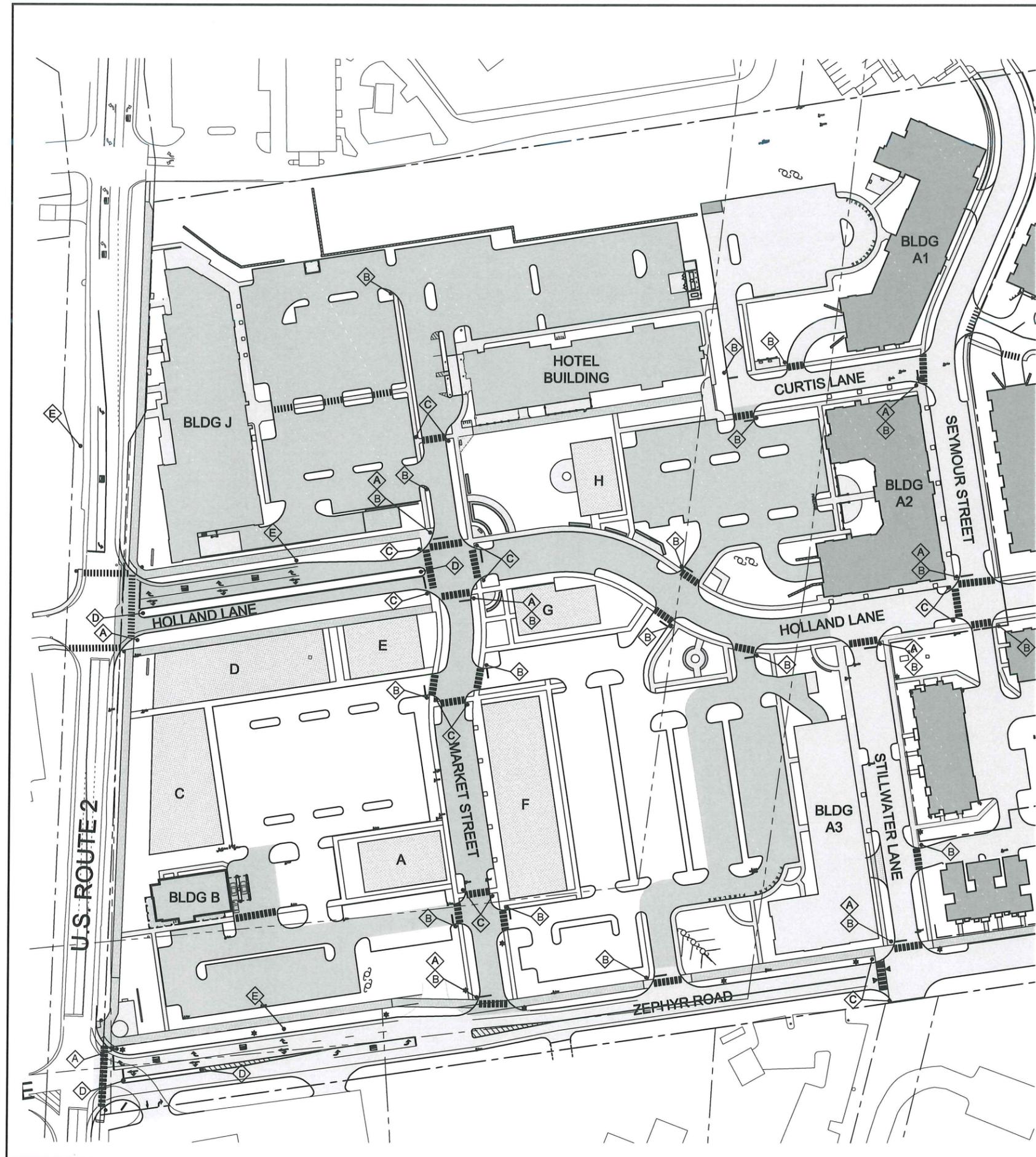
DP-09-01

FINNEY CROSSING
 5987 WILLISTON ROAD, VERMONT 05495

SUBDIVISION PLAT (SOUTH)

LAMOUREUX & DICKINSON
 Consulting Engineers Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 876-4450
 Engineers-Planners-Surveyors

proj. no. 01087
 survey BFD/MJG
 design -
 drawn JMD
 checked LAL/DLH
 date 11-30-05
 scale 1" = 100'
 sht. no. 24
 1 of 4



LEGEND

- STREET SIGN
- STOP SIGN (R1-1)
- PEDESTRIAN CROSSING (W1-2 & W16-7P)
- KEEP RIGHT & OBJECT MARKER SIGNS (R4-7 & OM1-1)
- LANE ASSIGNMENT SIGN (VR-922)

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, #16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16, ON THE DAY OF _____, 2019.

Matthew Balogh
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

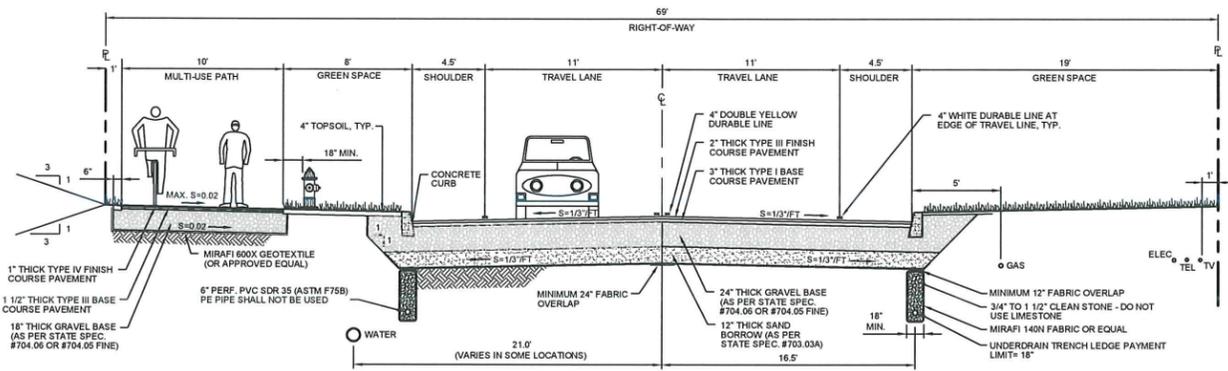
GENERAL NOTES:

1. ALL SIGNS SHALL BE INSTALLED ON 2" SQUARE STEEL POSTS WITH ANCHORS.
2. ALL SIGNS SHALL BE INSTALLED WITH MINIMUM 7 FEET CLEARANCE BETWEEN THE BOTTOM OF THE SIGN AND FINISH GRADE.
3. STREET SIGNS SHALL BE OBTAINED FROM THE TOWN OF WILLISTON PUBLIC WORKS DEPARTMENT (AT THE CONTRACTOR'S COST). STREET SIGN DIMENSIONS MAY WARRANT MORE THAN ONE POST FOR ADEQUATE SUPPORT.
4. SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH VTRANS STANDARD DETAIL DRAWING T-45.

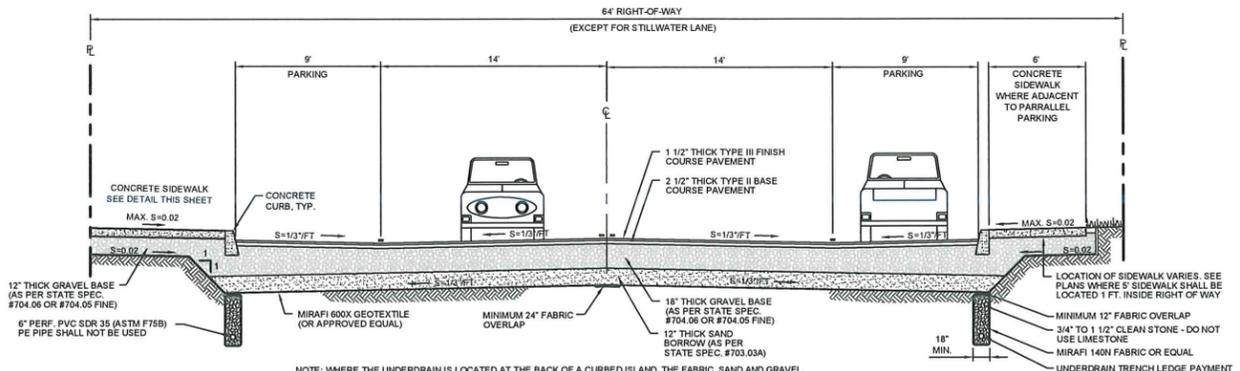
REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT		
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		
FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		proj. no. 01-087
COMMERCIAL AREA TRAFFIC SIGN PLAN		survey L&D
		design LD/OTHERS
		drawn ABR
		checked DJG
		date 05-15-19
		scale
		AS SHOWN sh. no.
		TS1

PARCEL 08745070.000... & b
WILLISTON DISCRETIONARY PERMIT DP-09-01

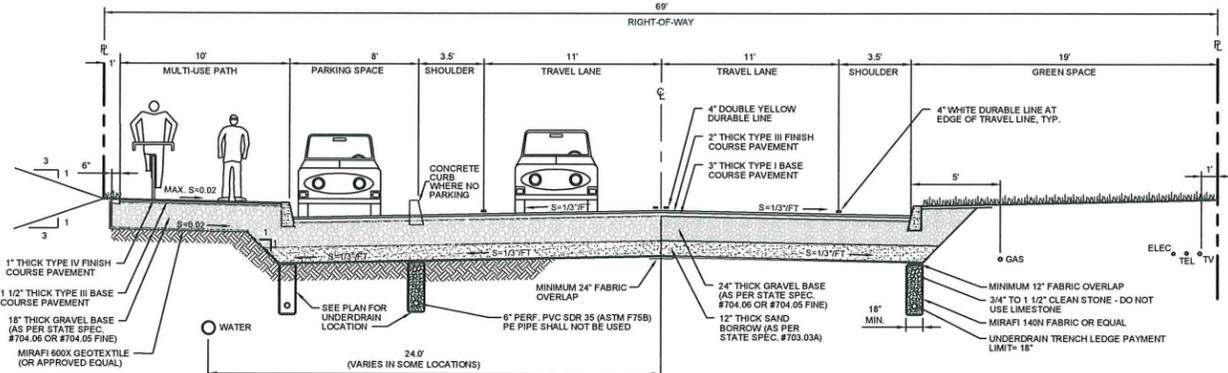
LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450



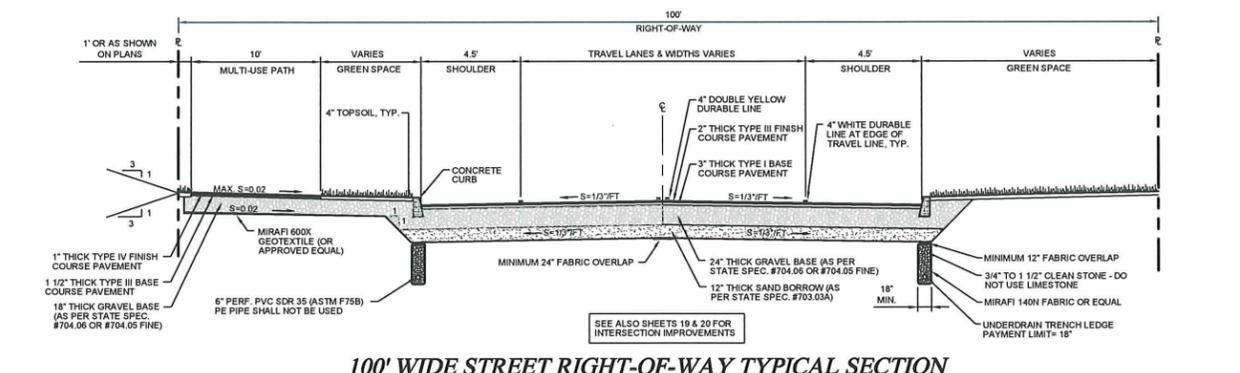
69' WIDE STREET RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD: STATION 106+00 TO STATION 129+82 (STATION 104+50 TO STATION 106+00 PAVEMENT WIDTH VARIES)



64' WIDE SEYMOUR, HOLLAND, STILL WATER, & MARKET ST RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS FOR PORTIONS OF ROADWAY WITH ON-STREET PARALLEL PARKING



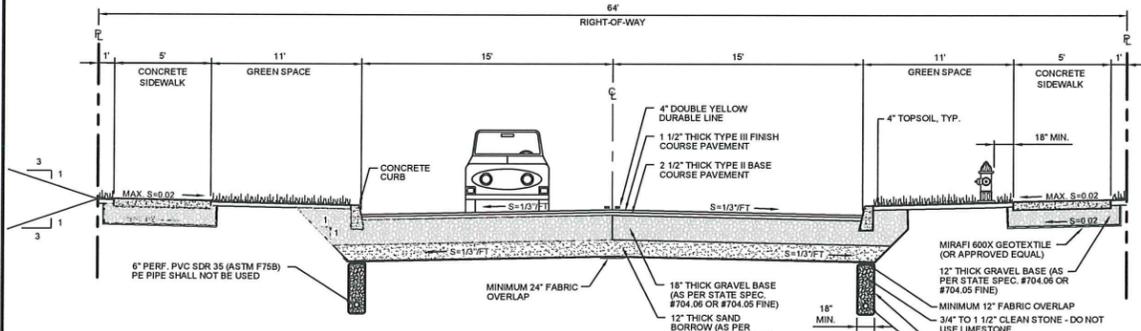
ZEPHYR ROAD ON-STREET PARKING TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD: STATION 110+50 TO STATION 125+50 (ON STREET PARKING IS NOT CONTINUOUS, SEE SITE PLAN)



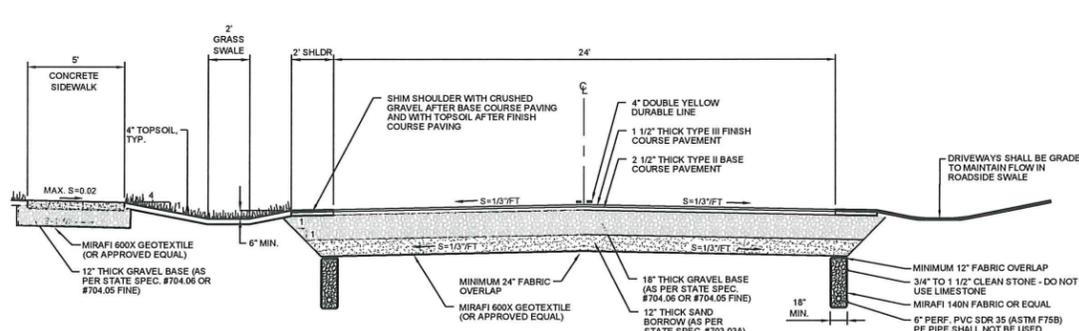
100' WIDE STREET RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS ZEPHYR ROAD: STATION 100+21 TO STATION 104+76 MARKET STREET

NOTES:

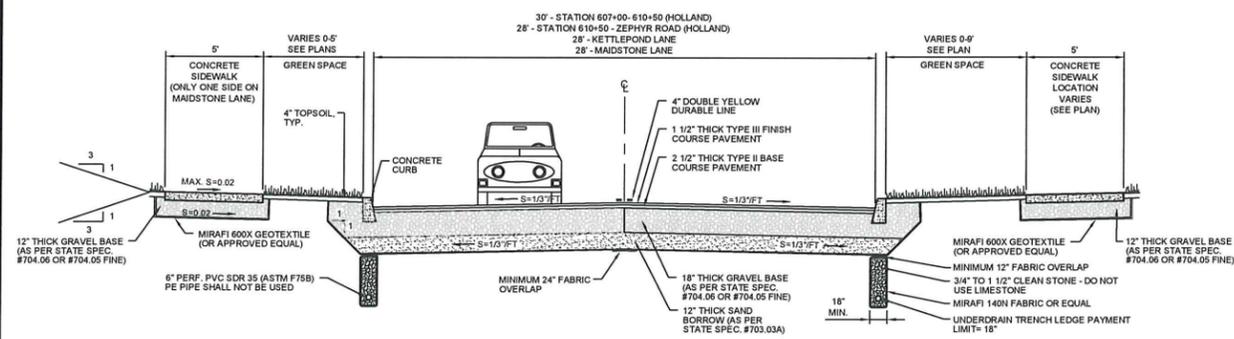
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN PUBLIC WORKS SPECIFICATIONS, THE 2006 VERMONT STATE STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
- EMULSION WILL BE PLACED ON THE FACE OF THE CURB WHERE IT WILL BE IN CONTACT WITH THE PAVEMENT.
- EMULSION WILL BE PLACED BETWEEN THE BASE AND FINISH COATS OF PAVEMENT WHEN THE FINISH COURSE IS NOT PLACED IMMEDIATELY AFTER THE BASE COURSE PLACEMENT.
- THE STREET FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 0.5%.
- WHERE LEDGE EXISTS IT SHALL BE SHATTERED TO A MINIMUM OF 2' 6" BELOW SUBGRADE.
- YELLOW OR ORANGE WARNING TAPE SHALL BE BURIED 15" ABOVE ALL GAS, ELECTRIC, TELEPHONE AND T.V. LINES.
- PRIOR TO INSTALLING THE UNDERDRAINS, THE FABRIC AND GRAVEL, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSPECTION OF THE SUBGRADE SOLE. THE CONTRACTOR SHALL FURNISH A LOADED DUMP TRUCK FOR TRAVELING ON THE SUBGRADE WHEN THE ENGINEER PERFORMS THE INSPECTION. THE CONTRACTOR SHALL OVER-EXCAVATE UNSUITABLE SOILS AND ADD ADDITIONAL SAND BASE AS REQUESTED BY THE ENGINEER.
- PRIOR TO PLACEMENT OF SAND BORROW OR GRAVEL BASE MATERIALS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A GRADATION ANALYSIS FOR EACH MATERIAL SOURCE TO BE USED DEMONSTRATING COMPLIANCE WITH THE REQUIRED SPECIFICATION. THIS GRADATION ANALYSIS SHALL BE REPRESENTATIVE OF THE MATERIAL TO BE USED. SUBSEQUENT SAMPLES SHALL BE TAKEN FROM ON-SITE MATERIAL IN PLACE FOR GRADATION ANALYSIS BY THE ENGINEER.
- ALL PAVEMENT MARKINGS ON PUBLIC STREETS, AND ALL CROSSWALKS (PUBLIC OR PRIVATE STREETS) SHALL BE DURABLE MARKINGS (3M TAPE). TEMPORARY PAINT MARKINGS SHALL BE PROVIDED ON BASE COURSE PAVEMENT.



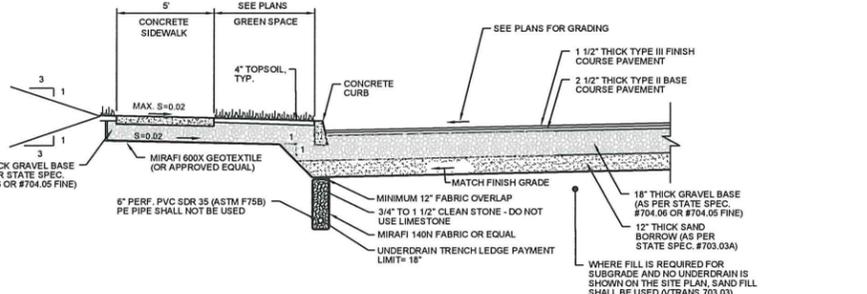
64' WIDE DUNMORE LANE RIGHT-OF-WAY TYPICAL SECTION
SCALE: NTS



HALF MOON LANE TYPICAL SECTION
SCALE: NTS



MAIDSTONE, HOLLAND & KETTLEPOND LANE TYPICAL SECTION
SCALE: NTS MAIDSTONE LANE: STATION 607+00 TO ZEPHYR ROAD KETTLE POND LANE



TYPICAL PRIVATE DRIVE & PARKING AREA SECTION
SCALE: NTS

TYPICAL STREET, DRIVE & PARKING AREA CROSS-SECTION NOTES
SCALE: N.T.S.

DATE	DESCRIPTION	BY
04-06-18	ADD MARKET STREET TO 64' ROW WITH ON-STREET PARKING	ABR
02-29-12	ADD SIDEWALK BOTH SIDES DUNMORE LN, AND ON HALF MOON LANE	ABR
01-27-12	REV. PER DPW REVIEW - ADD SIDEWALK AND SUBGRADE SLOPE	ABR
08-12-11	ADD HALF MOON LN & DRIVEWAY / PARKING SECTION, EDIT GENERAL NOTES	ABR
05-16-07	REVISED PER TOWN AND STATE REVIEWS	DJG/JT
01-12-07	ADDED ZEPHYR ROAD ON-STREET PARKING DETAIL	FMP

REVISIONS	
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:	
<input type="checkbox"/> SKETCH/CONCEPT	# OF SHEETS
<input type="checkbox"/> PRELIMINARY	
<input checked="" type="checkbox"/> FINAL	
<input type="checkbox"/> RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
ROADS

proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale AS SHOWN
sht. no. 14

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01-AB16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF July 1, 2019

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 081069010, 08143502, 064, & 010

WATER DISTRIBUTION SPECIFICATIONS

1.1 GENERAL:

This item shall consist of the labor, equipment, and material required for the complete construction of the watermain and services which shall include excavation, backfilling, pipe, valves, tees, hydrants, elbows, reducers, and all other appurtenances necessary for a complete watermain system as indicated on the accepted drawings. All materials and installations shall be approved by the local municipal water authority.

1.2 WATER MAIN PIPE MATERIALS:

DUCTILE IRON PIPE

Pipe shall be a minimum diameter of eight inches (8") and conform to current AWWA C600 or ANSI Specification A21.51. Push-on joint pipe shall be minimum thickness Class 52.

Pipe shall be cement mortar-lined on the inside in accordance with AWWA C151.51 or ANSI Specification A21.4 except that the cement-lining thickness shall not be less than three-sixteenths inch (3/16"). A plus tolerance of one-eighths inch (1/8") will be permitted.

1.3 FITTINGS:

Ductile iron fittings shall be cement-lined, have 350 pounds working pressure, and be in accordance with AWWA C-110/ANSI A21.10 and AWWA C152/ANSI 21.53 for compact fittings. Mechanical joint nuts and bolts shall be high strength, low alloy steel per ANSI A-21.11. Ductile iron fittings longer than twelve inches (12") shall have a standard body length equal to Class 250 cast iron fittings. Cast iron Class 250 fittings will be allowed in lieu of ductile iron fittings in sizes larger than twelve inches (12").

Megalog retainer glands or an approved equal shall be used on all vertical bends and as shown on the plans.

1.4 GATE VALVE RESILIENT SEAT:

Gate valves shall be AWWA C 509 Standard Gate Valves with mechanical joints of sizes as required on the plans. All valves shall be of cast or ductile iron body, parallel brass seats, non-rising stem, inside screw, double disk construction with "O" Ring Stem Seals. All valves to be equipped with a valve box for a minimum of 5.5' of cover material. The gate valves shall open left and be designed for a working pressure of 200 psi.

Each valve shall have maker's name, pressure rating, and year in which manufactured cast on the body. Prior to shipment from the factory, each valve shall be tested by hydrostatic pressure equal to twice the specified working pressure. Buried valves shall be installed with a valve box.

1.5 VALVE BOXES:

Cast iron three-piece slide-type; five and one-fourths inch (5 1/4") shaft; six foot (6') trench depth.

Cast iron cover marked "WATER" and indicating direction of opening.

1.6 FIRE HYDRANTS:

All hydrants are to be 3-way, 5" minimum diameter and limited to the following makes: Mueller Super Centurion or Kennedy Guardian K-81K, and shall conform with AWWA C502.

Main Valve Opening: 5 1/4 inches
 Nozzle Arrangement: Two 2 1/2 inch hose nozzles NST threads.
 One 4 1/2 inch pumper nozzle NST threads.
 Intel Connection: 6 inch mechanical joint, MEGA-LUG and thrust block
 Operating Nut: Standard 1" pentagon
 Direction of Opening: Counterclockwise
 Color: Enamelled hydrant red body, top color as determined by Town.
 Hydrant to be installed to the manufacturer's instructions with nozzles about 18" above finish grade.

1.7 HYDRANT BRANCHES:

Hydrant assemblies shall consist of a six inch (6") mechanical joint gate valve conforming to AWWA C-509; a length of six inch (6") Class 52 ductile iron pipe with a cement-lining; and the fire hydrant. MEGA-LUG retainer glands or approved equal shall be used.

1.8 WATER SERVICE CONNECTION:

A. GENERAL REQUIREMENTS

The Contractor shall install three-fourths inch (3/4") to two inch (2") copper type K services as indicated on the Contract Drawings or as directed by the Engineer. Each service shall consist of a corporation, curbstop, copper tubing, and a curb box with service rod. Corporation shall be attached to the ductile iron pipe by means of a direct top.

B. CORPORATIONS

Corporations shall be Waterworks Brass and manufactured in accordance with AWWA C600. Corporations shall have Mueller threads, adopted as AWWA Figure # 1, at the inlet and a compression-type fitting at the outlet. Both inlet and outlet shall be of the same size. Corporations shall be used for all tops larger than three-fourths inch (3/4") in diameter.

Corporations shall be directly topped into ductile iron pipe larger than two inches (2") in diameter. In no other instance, except when a tapping sleeve and valve is used, shall a top be made and a corporation installed without the use of a tapping saddle. Corporations shall be Mueller H-1500B or equal.

C. CURBSTOPS

Curbstops shall be a quarter-turn, plug-type valve with an "O" ring-type seal and shall be manufactured of Waterworks Brass in accordance with AWWA C600. The curbstop shall open left and have a positive stop. No curbstop shall have the ability to drain the service line. Both inlet and outlet of the curbstop shall have compression-type fittings. The tee head of the curb-stop shall have provision for the connection of a service rod. Curbstops shall be Mueller H-1500B or equal. (Mueller 300 Ball Valves are not acceptable.)

D. SERVICE LINES

Copper tubing shall be type "K", soft-temper, conforming to ASTM B88. The name or trademark of the manufacturer and type shall be stamped at regular intervals along the pipe. Water services greater than 2" in diameter shall be ductile iron.

All domestic services and domestic fire sprinkler systems that are connected to the public water system shall be protected according to their degree of hazard, with a backflow prevention assembly, and with an appropriate thermal expansion system.

E. CURB BOXES AND RODS

Curb boxes shall be of the sliding adjustable-type capable of adjusting from five feet to six feet (5' - 6'). The base of the box shall be arch-type so as to prevent the box from resting directly on the curbstop. The adjustable upper section shall be one inch (1") in diameter for use with three-fourths and one inch (3/4" and 1") curbstops. For larger curbstops, the upper section shall be one and one-fourths inches (1 1/4") in diameter.

Stationary rods affixed to the key of the curbstop shall be thirty inches (30") in length for three-fourths and one inch (3/4" and 1") curbstops and twenty-four inches (24") for larger curbstops. The cover of the box shall be "Mueller" with the two-hole cover. The word "WATER" shall be inscribed on the cover of the box.

F. HOUSE SERVICES CONSTRUCTION METHODS

The Contractor shall make all necessary taps into the watermain and will install for each lot an approved brass corporation stop.

The Contractor shall also connect the type "K" copper service pipe to the flanged joint, which shall be connected to the brass type curbstop with inlet and outlet for the appropriate type "K" copper service pipe. Such curbstop shall be located not less than six feet (6') below the ground surface and shall be accessible from the surface through an approved valve box.

1.9 CONSTRUCTION METHODS

A. INSPECTION AND TESTING

All pipe and fittings shall be inspected and tested in accordance with the manufacturer's specifications and the aforementioned AWWA Specifications. The Contractor shall furnish for approval certification from the pipe manufacturer that all tests have been performed with satisfactory results. Pipe shall not be installed without the Engineer's or Water Authority's approval.

B. INSTALLATION

Pipes, fittings, and accessories shall be carefully handled to avoid damage. Prior to the date of acceptance of the project work by the Owner, the Contractor shall replace any new pipe or accessory found to be defective at any time, including after installation, at no expense to the Owner. All installation and testing shall be done in accordance with AWWA Standard C-600 and ANSI Specification A21.11.

All pipes showing cracks shall be rejected. If cracks occur in the pipe, the Contractor may, at his own expense and with the approval of the Engineer, cut off the cracked portions at a point of at least twelve inches (12") from the visible limits of the crack and use the sound portion of the pipe. All pipes and fittings shall be cleared of all foreign matter and debris prior to installation and shall be kept clean until the time of acceptance by the Owner.

At all times, when the pipe laying is not actually in progress, the open ends of the pipe shall be closed by temporary water/tight plugs or by other approved means. If water is in the trench when work is resumed, the plug shall not be removed until all danger of water entering the pipe has passed. The pipe shall be installed in trenches and at the line and grade shown on the Contract Drawings.

Any deflection joints shall be within the limits specified by the manufacturer. All piping and appurtenances connected to the equipment shall be supported so that no strain will be imposed on the equipment. If the equipment manufacturer's specifications include that piping loads are not to be transferred, the Contractor shall submit certification of compliance.

Concrete thrust blocks shall be installed on all plugs, tees, and bends deflecting 1/4 degree or more. Care shall be taken to ensure that concrete will not come in contact with flanges, joints, or bolts. The required area of thrust blocks are indicated on the plans or shall be as approved by the Engineer.

Whenever sewers cross under watermain, the watermain shall be laid at such an elevation that the bottom of the watermain is at least 18 inches above the top of the sewer. This vertical separation shall be maintained for that portion of the watermain located within ten feet (10') horizontally of any sewer it crosses.

There shall be no physical connection between the distribution system and any pipes, pumps, hydrants, or tanks which are supplied or may be supplied with water that is, or may be, contaminated. In instances where the use of different types of pipe require joining, the Contractor shall furnish and install all necessary adapters.

All trenching safety standards shall be in conformance with all applicable State and Federal Guidelines and as specified on the Plans.

The Contractor shall, at all times, keep the trenches entirely free of water until all work is finished and ready for backfilling. After the various pipelines have been installed, the trenches and other areas to be filled shall be backfilled to subgrade with, wherever possible, material excavated from the trench. No backfilling will be allowed until any concrete masonry has set sufficiently, as determined by the Engineer.

All material for backfilling shall be free of roots, stumps, and frost. Materials used for backfilling trenches shall be free of stones weighing over 30 pounds. No stones measuring over one and one-half inches (1 1/2") in the longest dimension shall be placed within one foot (1') of the pipeline being backfilled.

Backfill for all pipelines shall be placed in six inch (6") layers, each layer being thoroughly compacted to not less than 95 percent of maximum dry density as determined by the ASTM D-1557-99 Standard Proctor. Particular precautions shall be taken in the placement and compaction of the backfill material in order not to damage the pipe or structure. The backfill shall be brought up evenly. All watermain shall be installed with a minimum cover depth of six (6').

Surplus excavated materials not used for backfill shall be disposed of in a manner satisfactory to the Engineer. All surplus material or spoil shall be removed promptly and disposed of so as not to be objectionable to abutters or to the general public.

Valve boxes are to be installed on all buried valves. The boxes shall be cast iron with a minimum live and one-fourths inch (5 1/4") diameter long enough to extend from the valve to finished grade. The boxes shall enclose the operating nut and stuffing box of the valve. Valve boxes shall not transfer loads into the valve. Covers shall be close fitting and set-light with the top of the cover flush with the top of the box rim. Covers shall be marked "Water" with an arrow indicating the direction of opening. Valve boxes shall be three piece slip-type.

The contractor shall provide a stable, temporary PVC marker approved by the Engineer at all gate valves, curb stops, and at the end of waterlines to a point six inches (6") above finish grade. The marker shall be seated securely into the ground.

C. FIELD TESTING

Except as otherwise directed, all pipelines shall be tested. Pipelines laid in excavation or bedded in concrete shall be tested prior to backfilling or the placing of concrete, and any exposed piping shall be tested prior to field pointing. The Contractor shall furnish all gauges, testing plugs, caps, and all other necessary equipment and labor to perform leakage and pressure test in sections of an approved length. Each valued section or a maximum of one thousand feet (1,000') of the pipe shall be tested. All water required for testing shall be potable. All testing shall be conducted in the presence of the Engineer.

For the pressure test, the Contractor shall develop and maintain 200 pounds per square inch for two hours. Failure to the designated pressure for the two-hour period constitutes a failure of the section tested. The leakage test shall be performed concurrently with the pressure test. During the test, the Contractor shall measure the quantity of water required to maintain the test pressure. Leakage shall not exceed the quantity given by:

$$L = SD (\text{Square root of } P) / 148,000$$

where: L = Leakage in gallons/hour
 S = Length of pipeline tested
 D = Diameter of pipe in inches
 P = Average test pressure in psi

All testing shall be conducted in accordance with AWWA C-600 latest revision. Should any section of the pipe fail either the pressure or leakage tests, the Contractor shall do everything necessary to locate and repair or replace the defective pipe, fittings, or joints at no expense to the Owner.

D. DISINFECTION:

Chlorination of the watermain shall be conducted only after the main has been flushed and a clear stream is obtained as determined by the Engineer.

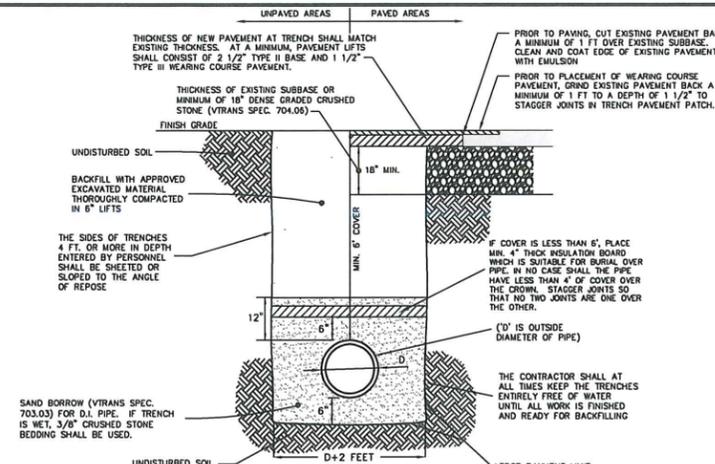
The Contractor shall furnish all labor, equipment, materials, and tools necessary to disinfect the pipe and appurtenances in accordance with the AWWA Standard for Disinfecting Watermains, C-651, with the exception of the tablet method.

The method of disinfection shall be by the continuous feed method unless otherwise approved by the Engineer. After filling, flushing, and the addition of chlorine solution, the free chlorine concentration within the pipe shall be at least 25 mg/L. The chlorinated water shall remain in the main for a period of at least 24 hours. At the end of this period, the treated water in all portions of the main shall not have a residual of less than 10 mg/L of free chlorine. All disinfection shall be performed under the supervision of the Engineer. The disinfection process shall be deemed acceptable only after (2) samples of water from the flushed, disinfected main taken by the Engineer and tested at an approved laboratory show no evidence of bacteriological contamination. Disinfection shall conform to the latest AWWA C-651 revision.

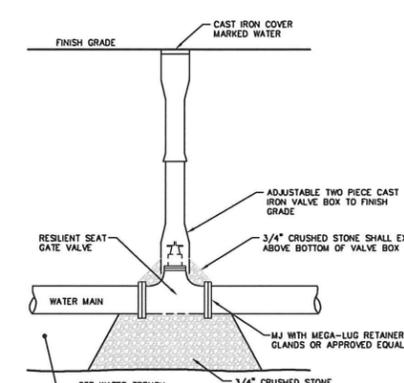
The pipeline and appurtenances shall be maintained in an uncontaminated condition until final acceptance. Disinfection shall be repeated when and where required at no expense to the Owner until final acceptance by the Owner.

E. FROST PROTECTION OF SHALLOW WATERLINES

Waterlines with less than six feet (6') of cover over the crown, or where indicated on the plans, shall be protected against freezing by installation of four inch (4") thick Styrofoam SM insulating sheets with a total width of four feet (4') or twice the pipe diameter, whichever is greater. The sheets shall be placed six inches (6") above the crown of the main over composition of the six inch (6") lift immediately above the crown. Care shall be exercised by the Contractor during backfill and compaction over the styrofoam sheets to prevent damage to the sheets. Styrofoam SM sheets shall meet the compressive strength requirements of ASTM D1621-73 and shall be as manufactured by Dow Chemical Company, Midland, Michigan, or equivalent. In no case shall the waterlines have less than four feet (4') of cover over the top of the pipe.



TYPICAL WATER TRENCH

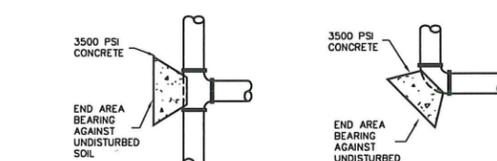


GATE VALVE DETAIL

MINIMUM AREA OF BEARING SURFACE OF CONCRETE THRUST BLOCK (IN SQUARE FEET)

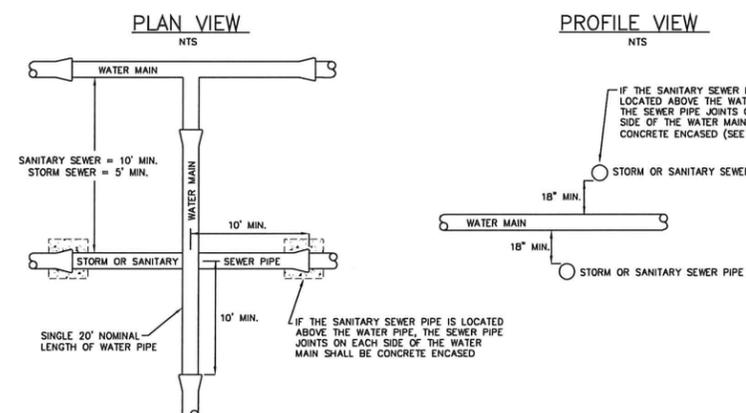
3"		4"		6"		8"		12"		SOIL CONDITION	SAFE BEARING LOAD (PSF)									
END	VALVE	END	VALVE	END	VALVE	END	VALVE	END	VALVE											
1.0	1.0	1.0	1.0	1.0	3.5	5.0	3.0	1.5	6.0	8.5	5.0	2.5	13.0	18.5	10.0	5.0	COARSE & FINE COMPACT SAND			
1.5	2.5	1.5	2.5	3.5	2.0	1.0	5.5	7.5	4.0	2.0	9.0	13.0	7.0	3.5	20.0	27.5	15.0	6.0	MEDIUM CLAY (CAN BE SPADED)	
3.0	4.5	2.5	1.5	5.0	7.0	4.0	2.0	10.5	15.0	8.0	4.0	18.0	25.0	14.0	7.0	39.0	55.0	30.0	15.0	SOFT CLAY

MAXIMUM WATER PRESSURE = 300 PSI; 150 PSI WORKING PRESSURE PLUS A 2:1 SAFETY FACTOR

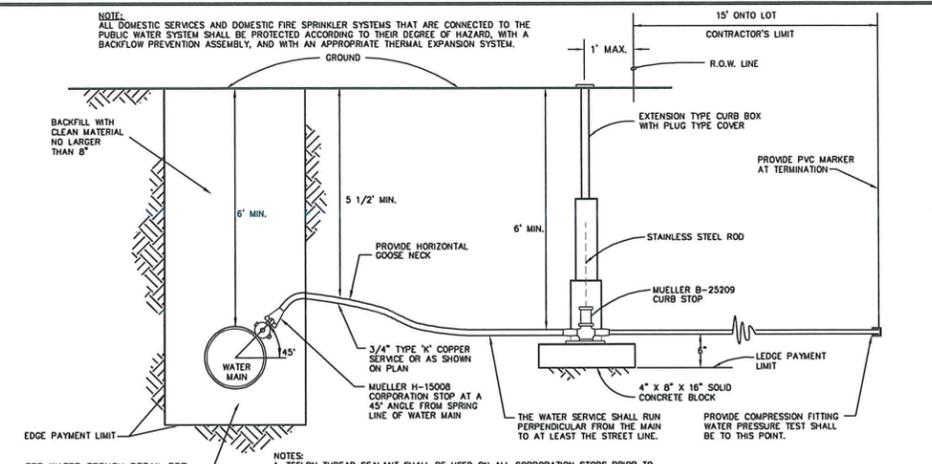


TYPICAL THRU-BLOCK ENDS

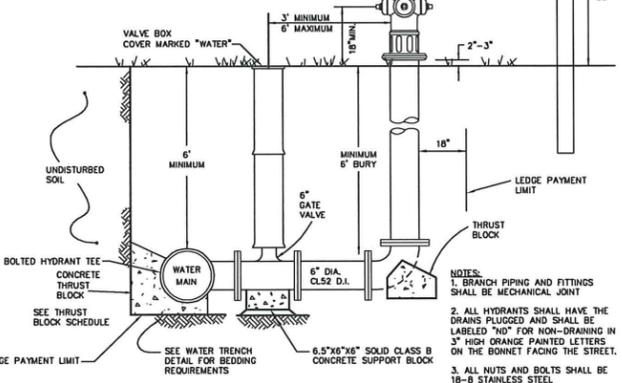
THRUST BLOCK END AREA



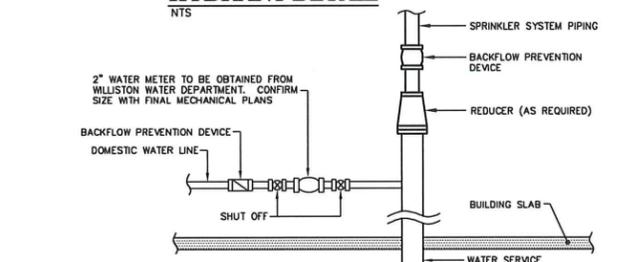
WATER / SEWER PIPE CROSSING



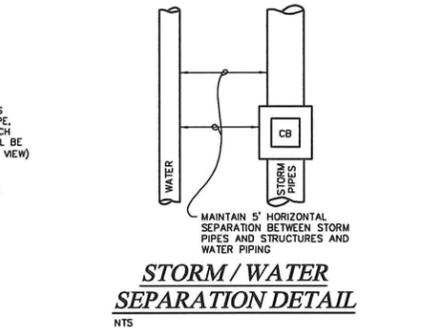
WATER SERVICE DETAIL



HYDRANT DETAIL



WATER SERVICE BACKFLOW PREVENTION DETAIL



STORM / WATER SEPARATION DETAIL

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, #16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR HEREBY APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF 2019.

DEVELOPMENT REVIEW BOARD CHAIRMAN'S SIGNATURE

WILLISTON DISCRETIONARY PERMIT DP-09-01 TAX PARCEL # 08-1076040, 08-1439020, 004, & 010

FINNEY CROSSING
 A PLANNED UNIT DEVELOPMENT
 WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
WATER

LAMOUREUX & DICKINSON
 Consulting Engineers, Inc.
 14 Morse Drive
 Essex Junction, VT 05452
 (802) 878-4450

proj. no. 01-087
 survey L&D
 design DJG/ABR
 drawn JET/BH
 checked DJG/ABR
 date 11/30/05
 scale AS SHOWN
 sht. no. 16

10-18-12 REVISED PER STAFF/DRB REVIEW ABR
 08-12-11 REVISED PER DPW SPECIFICATIONS ABR
 06-15-07 REVISED PER WATER SUPPLY REVIEW JPL
 05-16-07 REVISED PER TOWN AND STATE REVIEWS DJG/JT
 11-08-06 ADD BACKFLOW PREVENTION DETAIL ABR

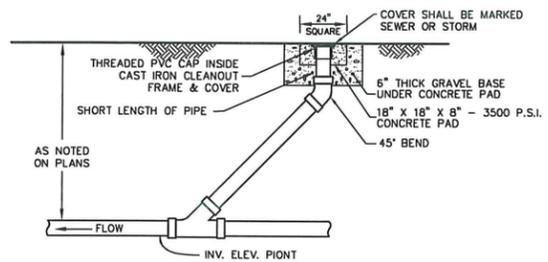
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

SKETCH/CONCEPT
 PRELIMINARY
 FINAL
 RECORD DRAWING

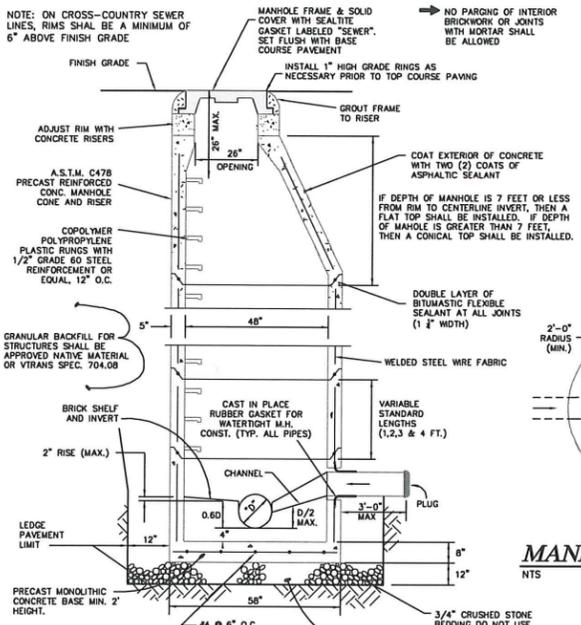
OF SHEETS

SANITARY & STORM SPECIFICATIONS

- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3122, AND ASTM F-477. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-190 FOR ACOGMP PIPE AND AASHTO M-246 TYPE B FOR POLYMERIC COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M294-90, TYPE 5 (SMOOTH LINED).
- 2) ALL NEW GRAVITY SANITARY SEWER MAINS SHALL BE LEAK TESTED BY A LOW PRESSURE AIR TEST AND DEFLECTION TESTED. THE LOW PRESSURE AIR TEST WILL BE USED TO SIMULATE INFLTRATION OR EXFILTRATION INTO OR OUT OF ALL GRAVITY SANITARY SEWERS. ALL TESTING WILL BE CONDUCTED UNDER THE SUPERVISION OF THE ENGINEER. AIR TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C828-80. THE MINIMUM ALLOWED TIME FOR A PRESSURE DROP FROM 3.5 PSI TO 2.5 PSI SHALL BE 1.2 MINUTES PER 100 FEET OF 8" SEWER. AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS, THE DEFLECTION TEST MAY BE PERFORMED. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT (5%). IF THE DEFLECTION TEST IS RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES. ALL MANHOLE AND PIPELINE MATERIALS, METHODS AND TESTING SHALL BE IN ACCORDANCE WITH TOWN AND STATE STANDARDS AND THESE PLANS.
- 3) ALL SANITARY SEWER MANHOLES SHALL BE TESTED PRIOR TO CONSTRUCTION OF THE INVERT BY THE VACUUM TEST METHOD DESCRIBED IN THE TECHNICAL SPECIFICATIONS. FOR MANHOLES UP TO 10' DEEP THE MINIMUM ALLOWED TIME FOR A VACUUM DROP FROM 10" TO 9" OF MERCURY SHALL BE 2 MINUTES. FOR MANHOLES 10'-15' DEEP THE MINIMUM ALLOWED TIME SHALL BE 2 MINUTES AND 30 SECONDS.

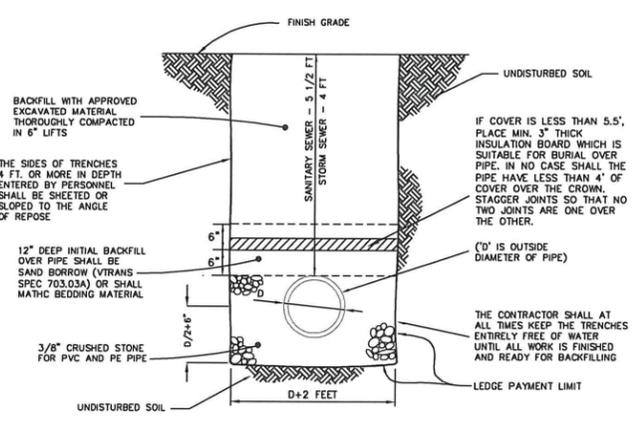


CLEANOUT DETAIL (STORM & GRAVITY SEWER)
NTS

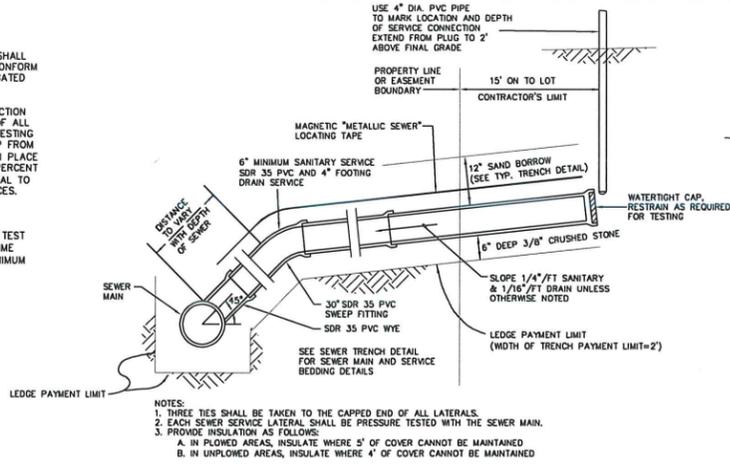


MANHOLE CHANNEL
NTS

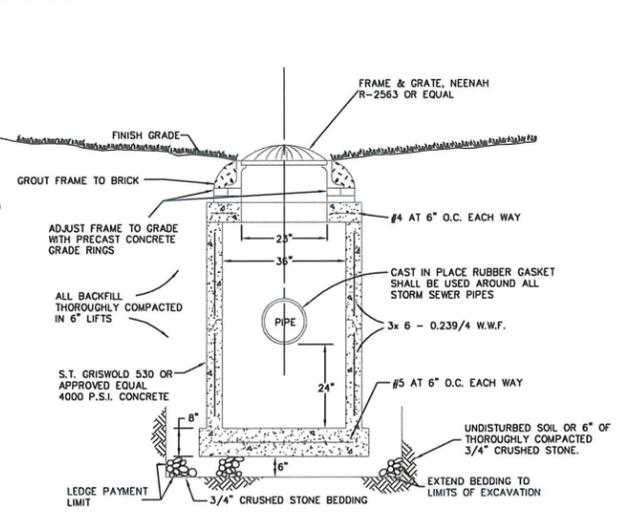
TYPICAL PRECAST SANITARY MANHOLE
NTS



TYPICAL SANITARY SEWER & STORM TRENCH
NTS



SANITARY SEWER OR FOOTING DRAIN SERVICE CONNECTION
NTS

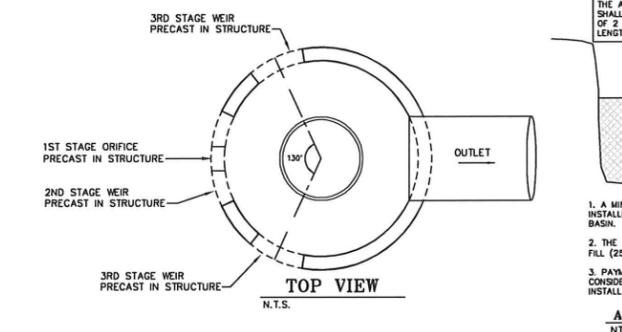


YARD INLET
NTS

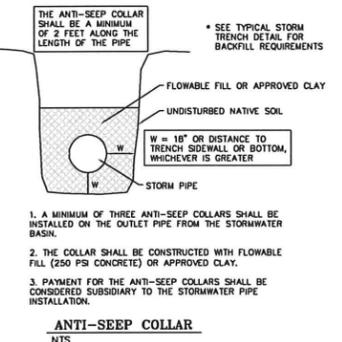
BASIN OUTLET STRUCTURE ELEVATIONS

OUTLET STRUCTURE	1ST STAGE ORIFICE	2ND STAGE ORIFICE	3RD STAGE WEIR(S)	OVERFLOW WEIR(S)	TOP / GRATE	TYPE GRATE
BASIN #1	SEE PLANS FOR BUILDINGS A1-A3					
BASIN #2	2" ORIFICE=380.00	5" ORIFICE=380.50	12" X 36" WEIR = 382.00	N / A	GRATE=383.66	NEENAH R-2560-G
BASIN #3	4.5" ORIFICE=374.00	4.5" ORIFICE=375.75	15" X 36" WEIR = 378.00	(2) 12"X24" WEIRS=379.25	TOP=381.25	2'X2' OPENING W/ RACK
BASIN #4	1" ORIFICE=373.00	2" ORIFICE=373.30	6" X 24" WEIR = 374.50	N / A	GRATE=376.25	LEBARON LF 248
BASIN #5	2.8" ORIFICE=375.00	-	(2) 12" W X 24" H = 378.00	N / A	GRATE=379.67	LEBARON LF 248

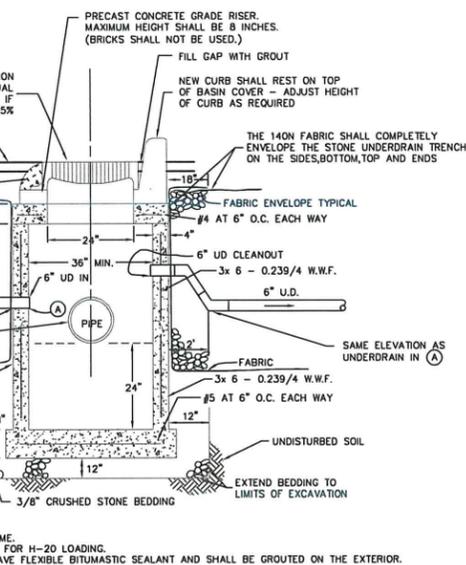
- WEIR DIMENSIONS ARE WIDTH X HEIGHT
- ALL ELEVATIONS ARE FOR THE INVERT OF THE ORIFICE AND BOTTOM OF WEIR
- RACKS SHALL BE HDPE STRUCTURAL PLASTIC AS MANUFACTURED BY PLASTIC SOLUTIONS, INC. OR APPROVED EQUAL.
- STRUCTURE SHALL BE BOLTED TO TOP OF STRUCTURE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.



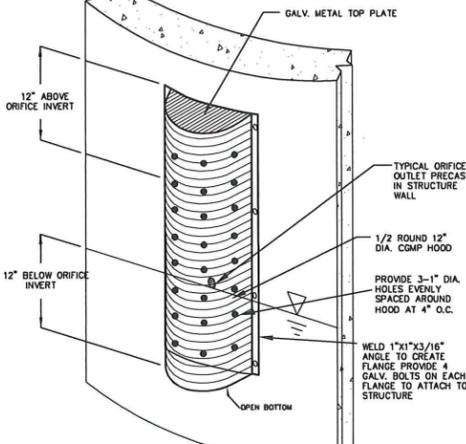
TOP VIEW
N.T.S.



ANTI-SEEP COLLAR
NTS



PRECAST CATCH BASIN
NTS



BASIN OUTLET STRUCTURE ORIFICE HOOD DETAIL

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01-016, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING, PHASE 1B, ON THE DAY OF _____, 2019.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

DATE	REVISIONS	BY
10-27-16	REVISE BASIN OUTLET STRUCTURE ELEVATIONS (1 & 2)	ABR
08-06-14	REVISED BASIN #4 OUTLET STRUCTURE ORIFICE ELEV. CED	
01-27-12	REV PER DPW - DROP MANHOLE STRAPS & STEPS	ABR
11-07-11	REVISED OUTLET STRUCTURE DETAIL FOR POND 5	ABR
08-12-11	REVISED PER DPW SPECIFICATIONS	ABR
05-16-07	REVISED PER TOWN AND STATE REVIEWS	DJG/JT
1-22-07	REVISIONS FOR STORMWATER PERMITTING	ABR

- THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:
- SKETCH/CONCEPT
 - PRELIMINARY
 - FINAL
 - RECORD DRAWING

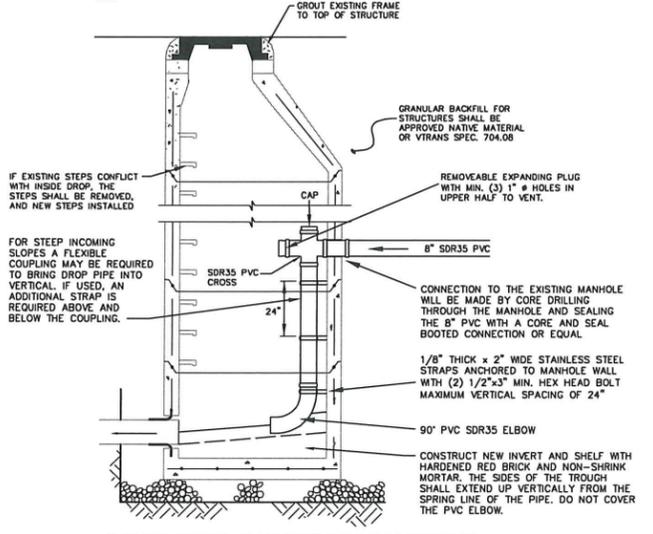
FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILISTON, VERMONT

DETAILS & SPECIFICATIONS
SEWER & STORM

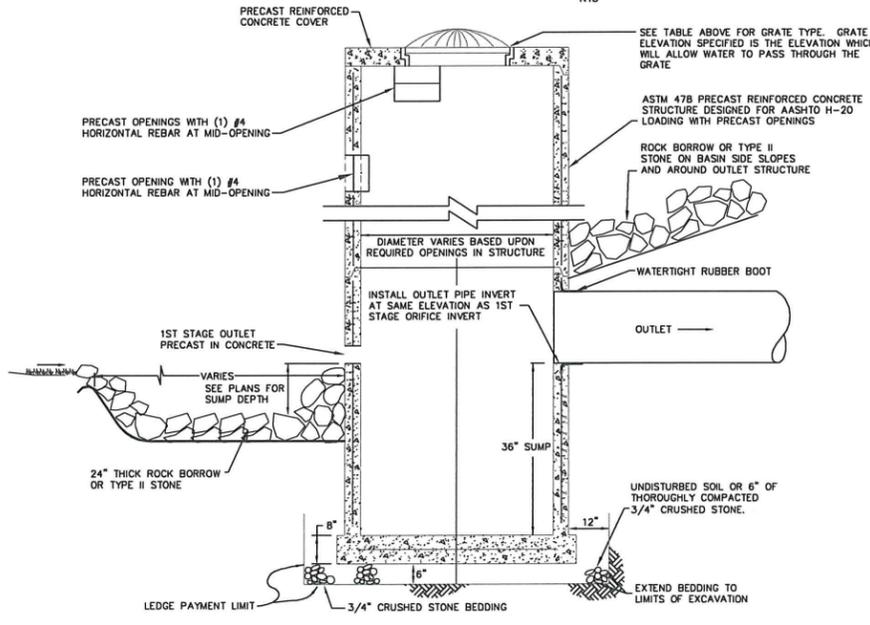
proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale AS SHOWN
shl. no. 17

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

TYPICAL PRECAST STORM MANHOLE
NTS

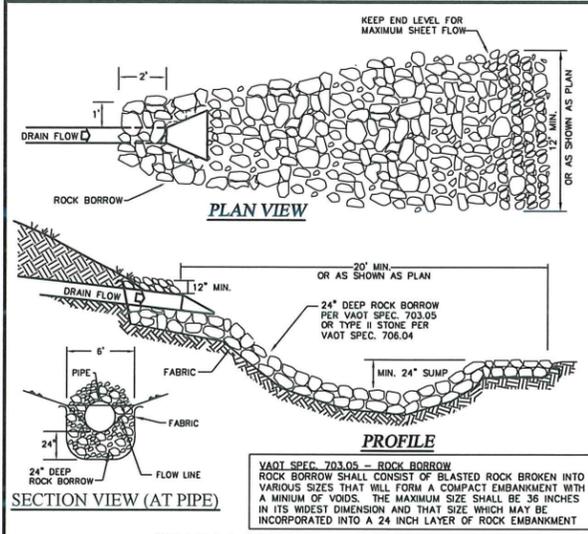


DROP INTO EXISTING MANHOLE
NTS (EXISTING SEWER MANHOLE TO BRENNAN P.S.)

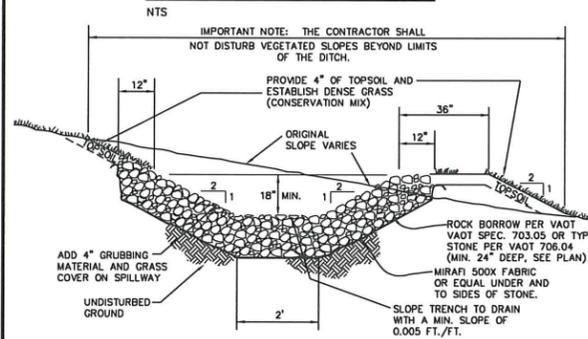


BASIN OUTLET STRUCTURE
NTS

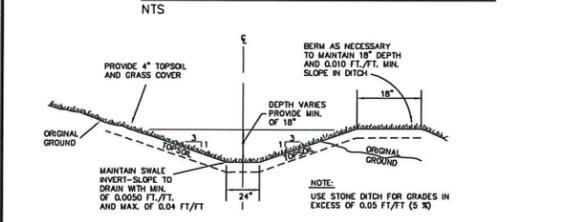
WILISTON DISCRETIONARY PERMIT DP 09-01-016
TAX PARCEL # 08-1046910, 08-1433002, 004 & 010



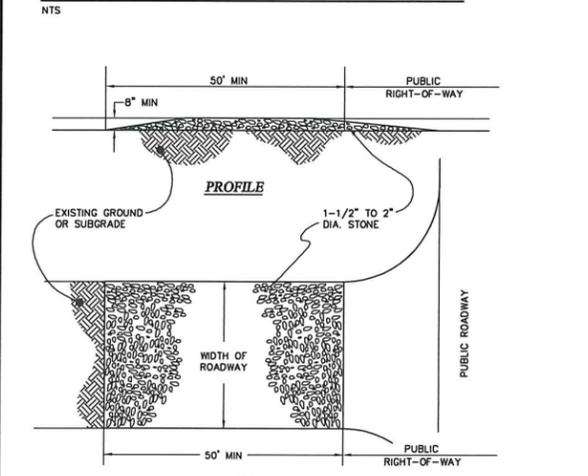
STORM OUTFALL DETAIL



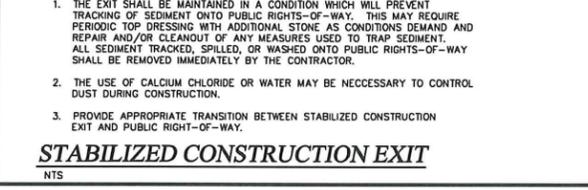
TYPICAL STONE DITCH DETAIL



TYPICAL SPECIAL DRAINAGE SWALE



STABILIZED CONSTRUCTION EXIT



TURF ESTABLISHMENT SPECIFICATIONS

ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETE PRIOR TO SEPTEMBER 15. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- A MINIMUM OF 4" OF APPROVED TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
- URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS AT THE SPECIFIED RATE.
- FERTILIZER SHALL BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL PH TEST.
- MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKIFIER TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKIFIER WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 5% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO BIODEGRADABLE JUTE FIBER NETTINGS, NORTH AMERICAN GREEN S150BN OR EQUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDING, MULCHED, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

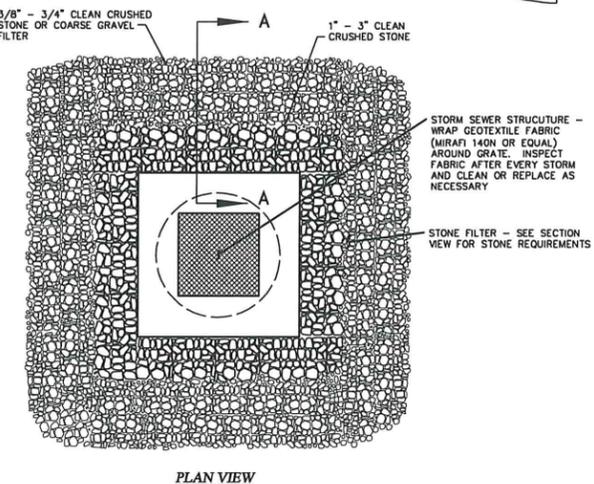
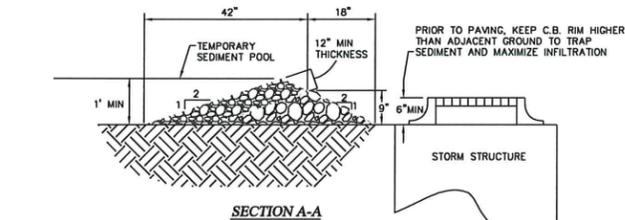
CONSERVATION MIX GRASS SEED			URBAN MIX GRASS SEED		
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED	% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED
35	35	CREeping RED FESCUE	31.5	45	CREeping RED FESCUE
23	23	KENTUCKY BLUEGRASS	37.25	37.5	KENTUCKY BLUEGRASS
15	15	ANNUAL RYE	31.25	37.5	WINTER HARDY, PERENNIAL RYE
11	11	WINTER HARDY, PERENNIAL RYE (VARIETY PENNFINE, MANHATTAN OR SIMILAR VARIETY)	100	120 #	LIVE SEED PER ACRE
6	6	WHITE CLOVER			
10	10	HIGHLAND BENTGRASS			
100	100#	LIVE SEED / ACRE			

CONSERVATION SEED MIX SHALL BE USED IN ALL OPEN SPACE AREAS

STUMP DISPOSAL SPECIFICATIONS

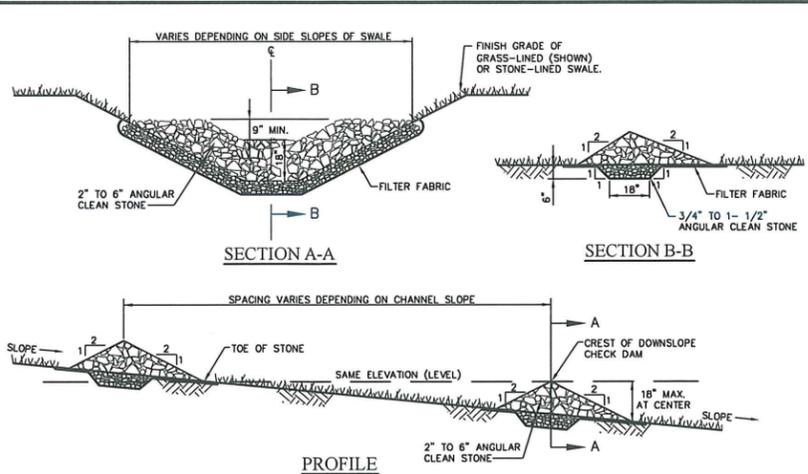
THE TREES THAT MUST BE CUT WILL BE USED AS FIREWOOD. THE STUMPS, BRUSH, AND EXCESS UNSUITABLE EARTH WILL BE DISPOSED OF AT THE LOCATION DESIGNATED BY THE ENGINEER AS A STUMP DISPOSAL AREA WELL ABOVE THE SEASONAL HIGH WATER OR HAULED OFF-SITE TO A STATE-APPROVED LANDFILL. IF ON-SITE STUMP DISPOSAL IS IMPLEMENTED, THE FOLLOWING GUIDELINES SHALL BE MET:

- WHENEVER POSSIBLE, STUMP DISPOSAL SITES SHOULD BE LOCATED ON NEARLY LEVEL TO MODERATELY SLOPING LANDS (SLOPES LESS THAN 12%).
- DISPOSAL SITES WILL NOT BE LOCATED IN OR WITHIN 100 FEET OF FLOWING WATERCOURSES OR STREAMS OR IN ACTIVELY ERODING GULLIES.
- DISPOSAL SITES SHALL NOT BE LOCATED IN FLOODED OR FLOOD-PRONE LANDS, MARSHES, OR OTHER AQUIFER RECHARGE AREAS.
- STUMPS WILL BE PLACED ON THE SITE IN A SINGLE LIFT PRIOR TO BACKFILLING. WHEN ADDITIONAL STUMPS ARE TO BE DEPOSITED ON THE SAME SITE, EACH SUCCESSIVE LAYER OR LIFT OF STUMPS WILL BE BACKFILLED.
- A MINIMUM OF TWO FEET (2') OF OVERBURDEN WILL BE PLACED OVER ALL DISPOSAL SITES.

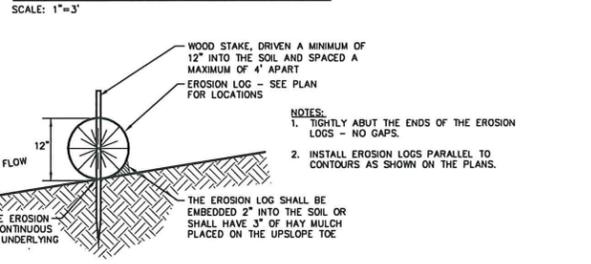


CATCH BASIN INLET PROTECTION

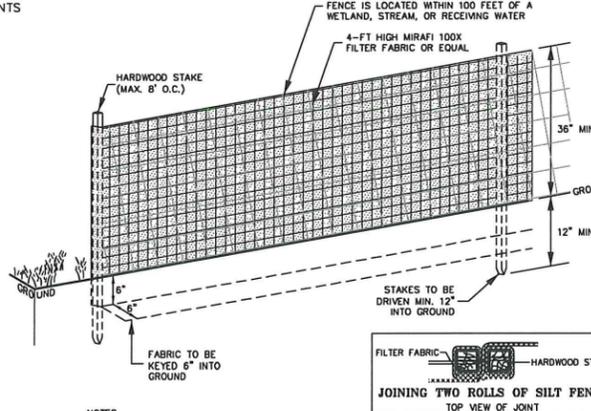
NTS



STONE CHECK DAM DETAIL



EROSION LOG SECTION

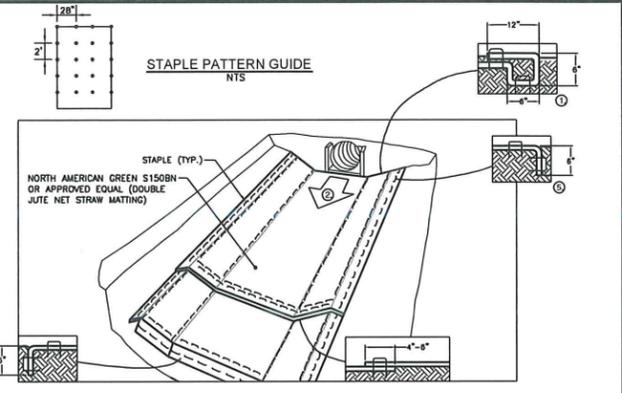


TEMPORARY SILT FENCE

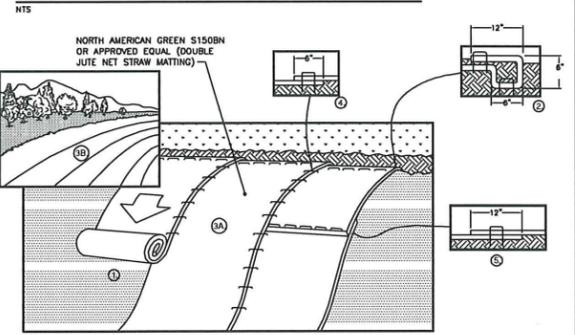


SLOPE GRADING

NTS



EROSION MATTING FOR CHANNELS



EROSION MATTING FOR SLOPES

NO.	REVISIONS	DATE	BY
06-27-19	ADDED LIMITS OF DISTURBANCE FENCE		NDS
10-27-16	DEL. TEMP STONE SPREADER, ADD EROSION LOG DETAIL		ABR
01-06-14	REPLACE FIBER FILTER WITH STONE CB INLET PROTECTION		ABR
10-30-12	ADD FIBER FILTER CB INLET PROTECTION		ABR
02-14-12	ADD REIN. TO SILT FENCE/REV. RECP BIODEGRAD. SPEC.		ABR

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/>	SKETCH/CONCEPT	
<input type="checkbox"/>	PRELIMINARY	
<input checked="" type="checkbox"/>	FINAL	
<input type="checkbox"/>	RECORD DRAWING	

FINNEY CROSSING
A PLANNED UNIT DEVELOPMENT
WILLISTON, VERMONT

DETAILS & SPECIFICATIONS
EROSION PREVENTION & SEDIMENT CONTROL

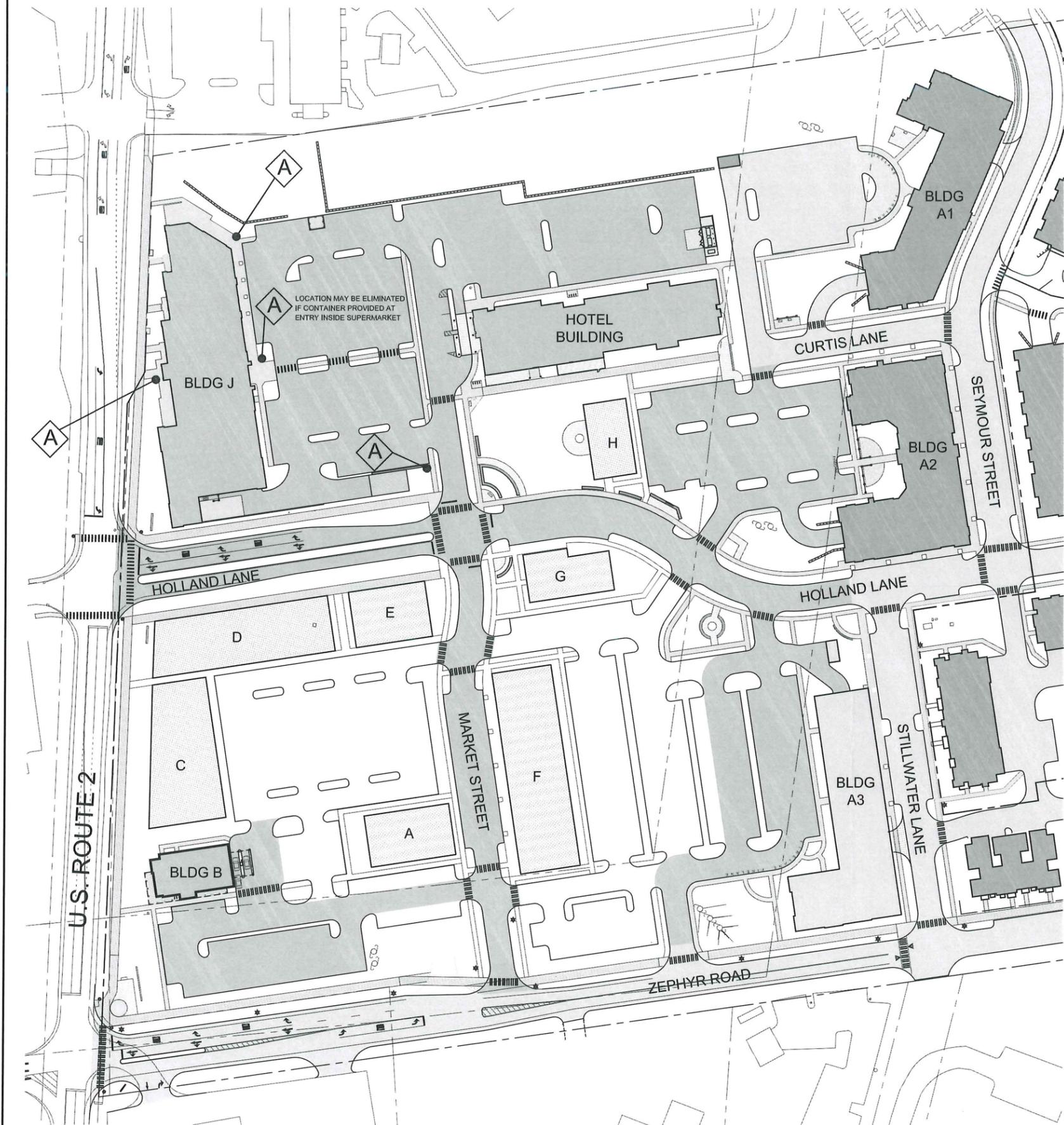
proj. no. 01-087
survey L&D
design DJG/ABR
drawn JET/BH
checked DJG/ABR
date 11/30/05
scale AS SHOWN
sht. no. 18

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
(802) 878-4450

WILLISTON DISCRETIONARY PERMIT DP-09-01
TAX PARCEL # 061060910, 061450302, 0604, 0610

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, AB16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 16, 2016, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING, W/REVISION #16 ON THE DAY OF _____, 2019.

DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE



A TRASH / RECYCLING CONTAINER

- 32 GALLON MINIMUM CAPACITY
 - STEEL CONSTRUCTION WITH CONTINUOUS WELD SEAMS
 - TWO SEPARATE HALF MOON HD PLASTIC LINERS
 - STEEL LID WITH OPENINGS AND LABELS/SYMBOLS FOR TRASH & RECYCLING
 - LID TO BE SECURED WITH ANTI-THEFT LANYARD
 - COLOR: BLACK POWDER COATED
 - ELEVATED SUPPORTS WITH OPENING TO SECURE IN PLACE
 - MINIMUM 3 YEAR WARRANTY
- UNITS TO BE SECURED WITH 1/2" DIAMETER STAINLESS STEEL EXPANSION ANCHOR BOLTS DRILLED INTO CONCRETE. ADDITIONAL CONCRETE PAD AREA MAY BE REQUIRED BASED UPON INSTALLATION LOCATION.

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP-09-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 26, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16, ON THE DAY OF _____, 2019.

[Signature]
 DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

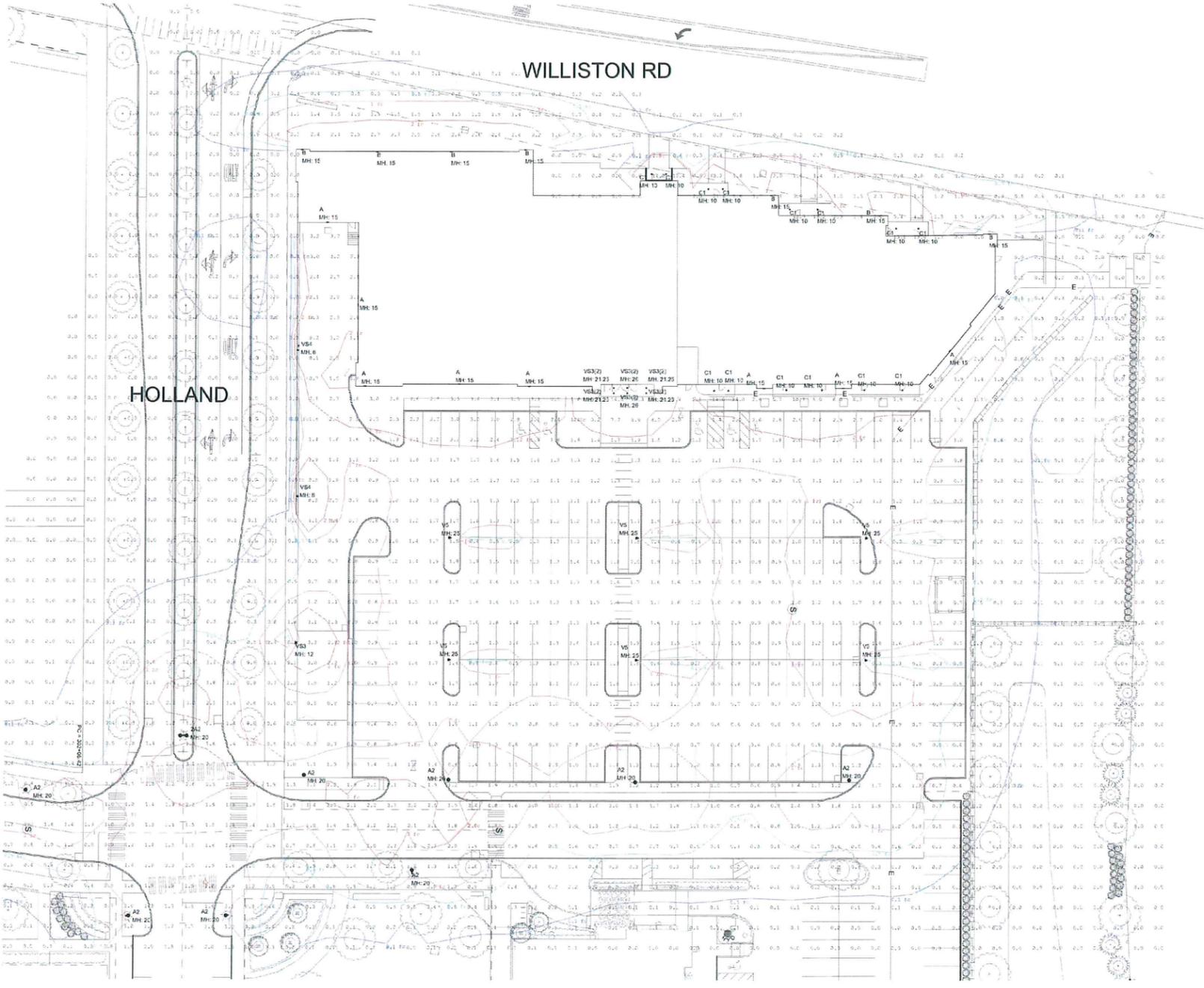
- GENERAL NOTES:**
1. INSTALLED LOCATIONS MAY VARY TO AVOID CONFLICT WITH UTILITIES AND LANDSCAPING, AND IN RESPONSE TO PEDESTRIAN USAGE PATTERNS. ADDITIONAL CONCRETE PAD AREA MAY BE REQUIRED BASED UPON INSTALLATION LOCATION.
 2. ADDITIONAL CONTAINER LOCATIONS TO BE DETERMINED WITH FUTURE COMMERCIAL SITE DEVELOPMENT.

REVISIONS		# OF SHEETS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT		
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> FINAL		
<input type="checkbox"/> RECORD DRAWING		
FINNEY CROSSING A PLANNED UNIT DEVELOPMENT WILLISTON, VERMONT		proj. no. 01-087
		survey L&D
		design LD/OTHERS
COMMERCIAL AREA SITE WASTE & RECYCLING MANAGEMENT		drawn ABR
		checked DJG
		date 09-26-19
		scale
LD LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 (802) 876-4450		AS SHOWN sh. no. SW1

PARCEL 08:1430:00.000.a & b
 WILLISTON DISCRETIONARY PERMIT DP-09-01

Luminaire Schedule						Lighting Controls
Tag	Qty	Watts	Lumens	LLF	Description	
A2	8	73.7	5820	0.900	UCM-ANG-T2-32LED-4K-700-FTG (POLE MOUNT, 20' HEIGHT)	STREET LIGHTING FIXTURES WILL BE CONTROLLED BY A PHOTOCELL.
2A2	1	73.7	5820	0.900	TWIN UCM-ANG-T2-32LED-4K-700-FTG (POLE MOUNT, 20' HEIGHT)	
VS3	1	50	3972	0.900	CREE ARE-EDG-3M-DA-02-E-UL-BZ-700-DIM-P (POLE MOUNT, 12' HEIGHT)	PARKING AREA ILLUMINATION MUST BE REDUCED BY AT LEAST 75% WITHIN 1/2 HOUR OF THE CLOSE OF BUSINESS. THE PARKING LOT FIXTURES WILL HAVE A DIMMING CONTROL OPTION AND WILL BE OPERATED BY A TIMECLOCK.
VS4	2	50	3972	0.900	CREE ARE-EDG-3M-DA-02-E-UL-BZ-700-DIM-P (MOUNT ON FENCE, 8' HEIGHT)	
V5	6	101	11,074	0.900	CREE ARE-EDG-5M-DA-06-E-UL-BZ-350-DIM-P (POLE MOUNT, 25' HEIGHT)	
B	7	23.3	3028	0.900	DSXW1 LED 20C 350 40K T2S MVOLT (WALL MOUNT, 15' HEIGHT)	SECURITY BUILDING MOUNTED FIXTURES WILL BE OPERATED BY A PHOTOCELL FOR SECURITY PURPOSES.
A	8	45.7	5453	0.900	DSXW1 LED 20C 700 40K T3M MVOLT (WALL MOUNT, 15' HEIGHT)	
C1	14	18.5	1596	0.900	EVO 40_15 6AR WD LSS (RECESSED)	
C2	6	23.2	2064	0.900	EVO 40_20 6AR WD LSS (RECESSED)	

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
parking	1.2	3.0	0.2	6.15	15.0



Iso Footcandle Legend	
Color	Footcandles
Red	2.0 fc
Blue	0.1 fc
Magenta	1.0 fc
Cyan	0.5 fc

SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 30'



UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP 09-01, #16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR WINNEY CROSSING AMENDMENT #16 ON THE DAY OF 7/18/2019.

Matthew Blaine
DEVELOPMENT REVIEW BOARD CHAIR / ADMINISTRATOR'S SIGNATURE

ISSUED FOR PERMIT 5/28/19

Pearson & Associates
MECHANICAL & ELECTRICAL ENGINEERS
A Subsidiary of Burgess & Nire, Inc.
P.O. BOX 101 TEL: (802) 243-9887
www.pearsonandassociates.com

REVISION	DATE	NUMBER	BY

PROJECT NAME: **HEALTHY LIVING**
WILLISTON, VT

SHEET TITLE: **SITE LIGHTING PHOTOMETRIC PLAN**

DATE: 5/28/19
SCALE: AS NOTED
JOB NO: 19-016
DRAWN BY: CLD
APPROVED BY: ASG
DWG. NO. SE1.1

19-016-00X - Bldg Systems Gen. Ipkg. 2019 Division Proposals/Healthy Living/Electrical/Healthy Living Site Photometric.dwg

SHEET 1 OF 2



HARRIMAN

AUBURN PORTLAND PORTSMOUTH BOSTON

FINNEY CROSSING RETAIL

WILLISTON, VERMONT

Harriman Project No. 19305

Key Plan

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DE 08-01, A#16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF 2019. DEVELOPMENT REVIEW BOARD CHAIRMAN'S SIGNATURE

FINAL CONSTRUCTION DOCUMENTS AUGUST 22, 2019

Rev Date Revision Description

Drawing Scales

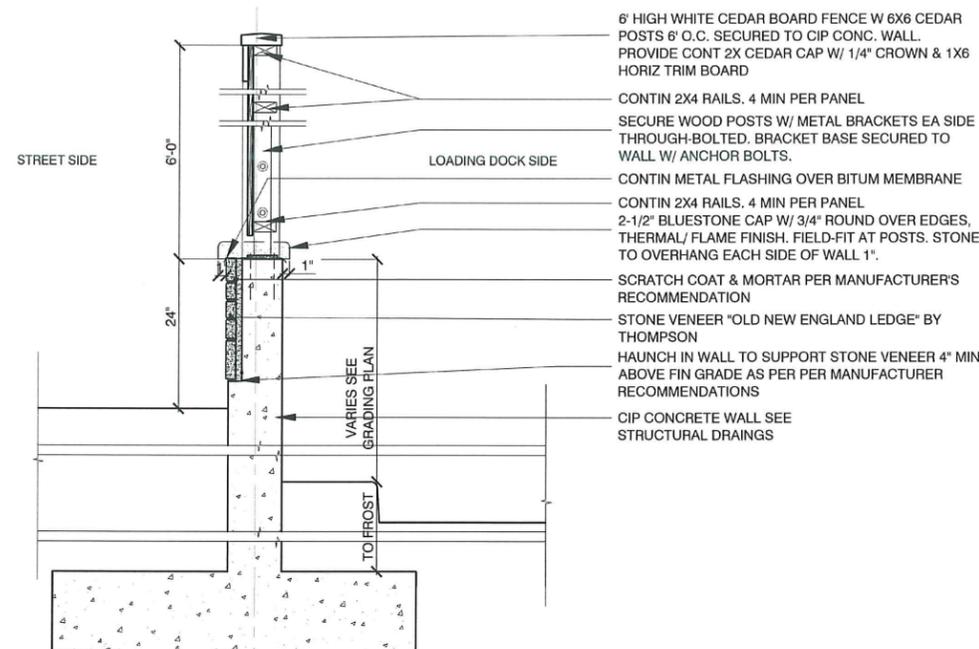
PA / PE: MJB © 2019 Harriman Associates
Drawn By: TNE

HARDSCAPE DETAILS

L90.3

NOTES:

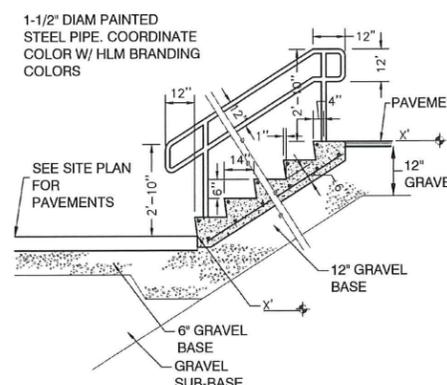
1. ANCHOR & SECURE FENCE AND POSTS INTO CIP CONC WALL. DETAIL PROVIDED IS SCHEMATIC.
2. SEE STRUCTURAL DRAWINGS FOR CIP RETAINING WALL DESIGN.
3. WHITE CEDAR VERTICAL BOARD FENCE. SEE ARCHITECTURAL DRAWINGS FOR FENCE ELEVATION.
4. SECURE STONE CAP W/ STAINLESS STEEL ANCHORS TO CONCRETE WALL.
5. PROVIDE SLOT IN UNDERSIDE OF CAP EA FACE OF WALL TO PREVENT WATER FROM RUNNING BACK TOWARD WALL.



B1 SCREEN WALL SECTION DETAIL Scale: Not to Scale

NOTES:

1. 4000 PSI CONCRETE AT 28 DAYS.
2. STAIR IS CHEM-TREATED PRIOR TO INSTALLATION.
3. STAIR WILL HAVE (4) LIFTING INSERTS. CAP AFTER INSTALLATION.
4. RAILINGS ARE 1 1/2" O.D. STEEL PIPE.
5. PLACE RAIL POSTS IN 4 1/2" DEEP HOLE AND GROUT WITH NON-SHRINK MORTAR.
6. REINFORCING: #5 BARS AT 12" O.C., BOTH WAYS WITH (1) #4 BAR IN EACH NOSE.
7. SEE SITE PLAN FOR NUMBER OF RISERS.



B2 SITE STAIR TYP SECTION DETAIL Scale: Not to Scale

NOTES:

1. STONE WALL CAP: PROVIDE CONTIN. METAL FLASHING EACH SIDE; APPLY SELF-STICKING BITUM FLASHING OVER METAL FLASHING ENTIRE WALL WIDTH. HOLD BACK 1/2" FROM EACH FACE.
2. SECURE WALL CAP TO CONCRETE WALL WITH STAINLESS STEEL ANCHORS.
3. RAKE MORTAR INTO STONE CAP HEAD JOINTS BACK 1/2" & FILL WITH SEALANT.
4. REFER TO MANUFACTURER'S & BUILDING STONE INSTITUTE RECOMMENDATIONS FOR INSTALLATION OF NATURAL STONE VENEER USING PORTLAND CEMENT LIME MORTAR.
5. PROVIDE SLOT IN UNDERSIDE OF CAP EA SIDE OF WALL TO PREVENT WATER FROM DRAINING BACK UNDER AND TOWARD THE WALL.

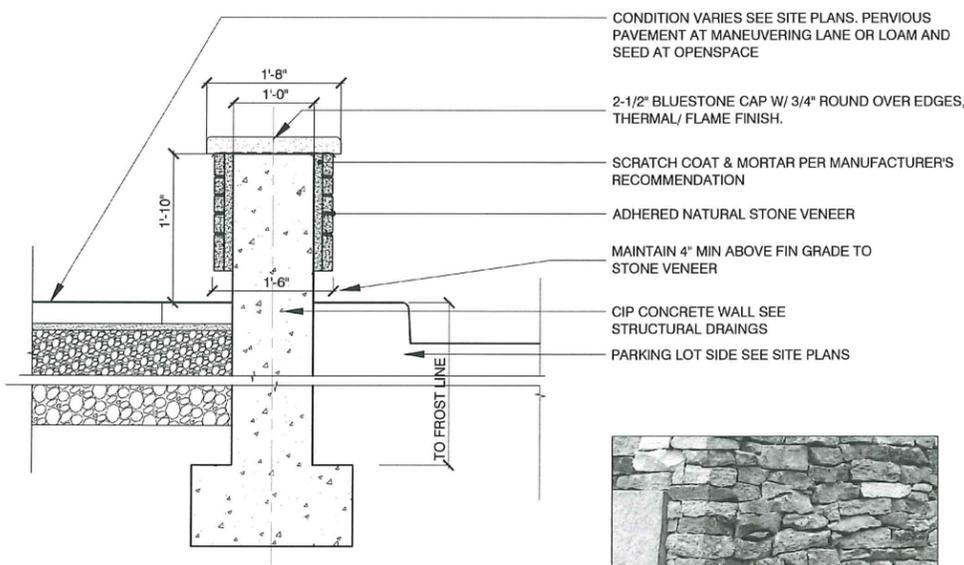
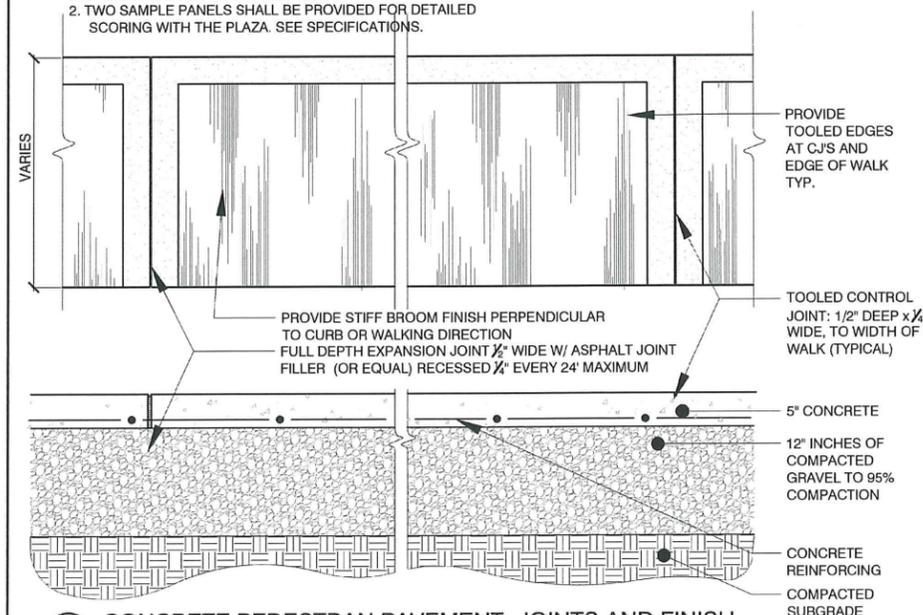


IMAGE THOMPSON OLD NEW ENGLAND LEDGE STONE VENEER

A1 SEAT WALL SECTION DETAIL Scale: Not to Scale

NOTE:

1. VERIFY WALKWAYS WITH CIVIL PLANS PRIOR TO CONSTRUCTION.
2. TWO SAMPLE PANELS SHALL BE PROVIDED FOR DETAILED SCORING WITH THE PLAZA. SEE SPECIFICATIONS.



A2 CONCRETE PEDESTRIAN PAVEMENT: JOINTS AND FINISH Scale: Not to Scale



HARRIMAN

AUBURN PORTLAND PORTSMOUTH BOSTON

FINNEY CROSSING RETAIL

WILLISTON, VERMONT

Harriman Project No. 19305

Key Plan

UPON FINDING THAT THE FINAL PLANS COMPLIED WITH ALL REQUIREMENTS OF THE WILLISTON DEVELOPMENT BYLAW, AND ALL CONDITIONS IMPOSED ON THE APPROVAL OF DISCRETIONARY PERMIT DP.0601.AF16, WHICH WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2019, THE ADMINISTRATOR / DRB APPROVED THE FINAL PLANS FOR FINNEY CROSSING AMENDMENT #16 ON THE DAY OF _____ 2019.

DEVELOPER: HARRIMAN ASSOCIATES
 ADMINISTRATOR'S SIGNATURE: _____

FINAL CONSTRUCTION DOCUMENTS
AUGUST 22, 2019

Rev Date Revision Description

Rev Date	Revision Description

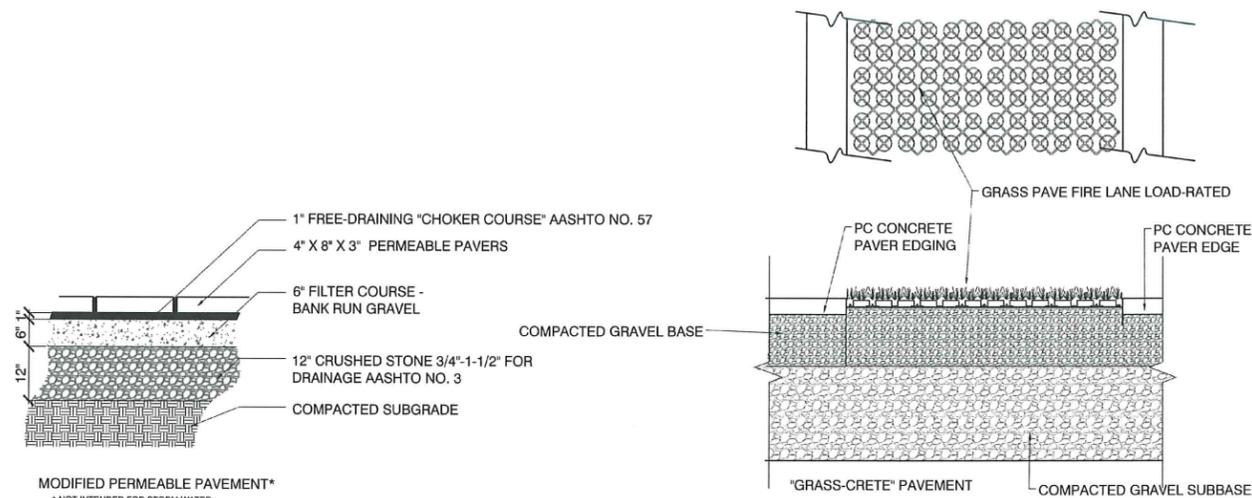


Drawing Scale

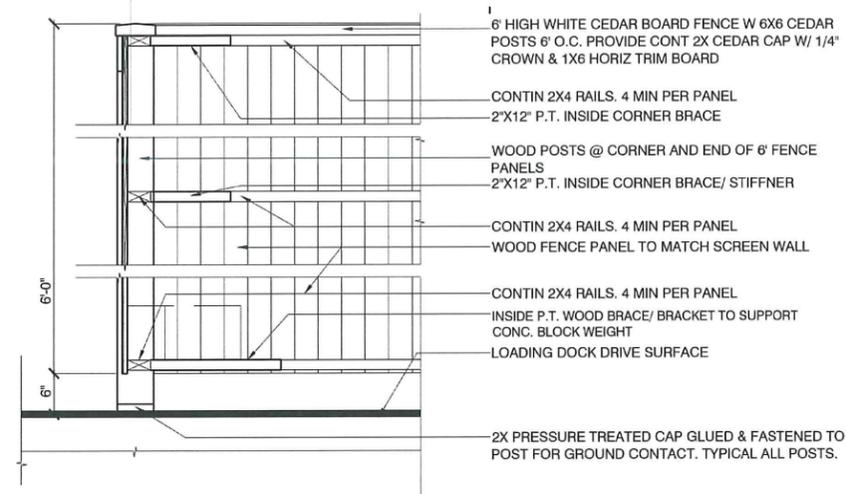
PAI/PE: MJB © 2019 Harriman Associates
Drawn By: TNE

HARDSCAPE DETAILS

L90.4



B1 MODIFIED PERMEABLE PAVER & "GRASS-CRETE" PAVEMENT
Scale: Not to Scale

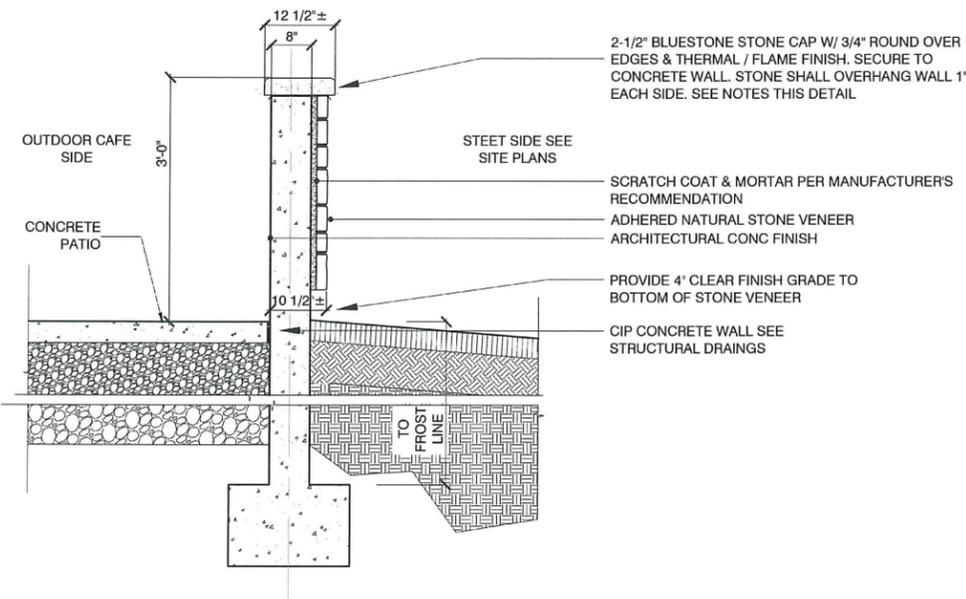


- NOTES:
1. PALLET SCREEN IS 6' X 6' L-SHAPED WOOD FENCE PLACED ON LOADING DOCK DRIVE.
 2. PROVIDE CMU COUNTER WEIGHT AT INSIDE CORNER PER SECTION
 3. WHITE CEDAR VERTICAL BOARD FENCE. SEE ARCHITECTURAL DRAWINGS FOR FENCE ELEVATION.
 4. FENCE PANELS TO ORIENT TO TOP OF LOADING DOCK DRIVE & AWAY FROM BUILDING WALL

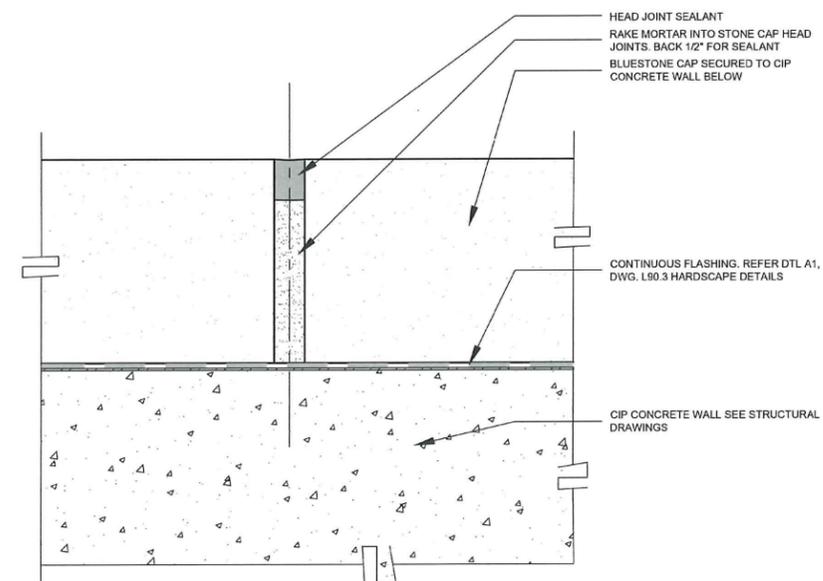
B2 PALLET SCREEN FENCE - INSIDE CORNER SECTION/ ELEVATION
Scale: Not to Scale

NOTES:

1. STONE WALL CAP: PROVIDE CONTIN. METAL FLASHING EACH SIDE; APPLY SELF-STICKING BITUM FLASHING OVER METAL FLASHING ENTIRE WALL WIDTH. HOLD BACK 1/2" FROM EACH FACE. SEE DETAIL A2, DRAWING L90.4.
2. SECURE WALL CAP TO CONCRETE WALL WITH STAINLESS STEEL ANCHORS.
3. RAKE MORTAR INTO STONE CAP HEAD JOINTS BACK 1/2" & FILL WITH SEALANT.
4. FIELD VERIFY STONE CAP WIDTH BASED ON 1" OVERHANG ON BOTH SIDES OF WALL.
5. PROVIDE SLOT IN UNDERSIDE OF CAP STONE EACH SIDE OF WALL TO PREVENT WATER FROM DRAINING BACK TOWARD WALL.
6. REFER TO MANUFACTURER'S & BUILDING STONE INSTITUTE RECOMMENDATIONS FOR INSTALLATION OF STONE VENEER USING PORTLAND CEMENT LIME MORTAR.



A1 DINING TERRACE WALL SECTION DETAIL
Scale: Not to Scale



A2 SEAT WALL STONE CAP SECTION DETAIL
Scale: 1"=1"